

SECTION 32

STATEMENT

PURSUANT TO DIVISION 2 OF PART II
SECTION 32 OF THE SALE OF LAND ACT 1962 (VIC)

Vendor:	Andrew John Benjamin Ferguson and Katie Ferguson
Property:	38 Meridian Drive, Traralgon VIC 3844

VENDORS REPRESENTATIVE

Cardinia Conveyancing
4 Gloucester Avenue
BERWICK VIC 3806

Tel: 03 9769 8995

Email: contactus@cardiniaconveyancing.com.au

Ref: 26/0725

SECTION 32 STATEMENT
38 Meridian Drive, Traralgon VIC 3844

32A FINANCIAL MATTERS

Information concerning any rates, taxes, charges or other similar outgoings AND any interest payable on any part of them is as follows-

Their total does not exceed \$4,200

Any further amounts (including any proposed Owners Corporation Levy) for which the Purchaser may become liable as a consequence of the purchase of the property are as follows:- None to the Vendors knowledge save and except that land tax may apply if land value exceeds \$50,000 or a change of use occurs.

At settlement the rates will be adjusted between the parties, so that they each bear the proportion of rates applicable to their respective periods of occupancy in the property.

Commercial and Industrial Property Tax Reform Act 2024 (Vic) (CIPT Act)

The Australian Valuation Property Classification Code (within the meaning of the CIPT Act) most recently allocated to the land is set out in the attached Municipal rates notice or property clearance certificate.

The land is not land tax reform scheme land within the meaning of the CIPT Act.

32B INSURANCE

- (a) Where the Contract does not provide for the land to remain at the risk of the Vendor, particulars of any policy of insurance maintained by the Vendor in respect of damage to or destruction of the land are as follows: - Not Applicable
- (b) Where there is a residence on the land which was constructed within the preceding six years, and section 137B of the *Building Act 1993* applies, particulars of the required insurance are as follows:- Not Applicable.

32C LAND USE

(a) **RESTRICTIONS**

Information concerning any easement, covenant or similar restriction affecting the land (whether registered or unregistered) is as follows:-

- Easements affecting the land are as set out in the attached copies of title.
- Covenants affecting the land are as set out in the attached copies of title.
- Other restrictions affecting the land are as attached.
- Particulars of any existing failure to comply with the terms of such easement, covenant and/or restriction are as follows:-

To the best of the Vendor's knowledge there is no existing failure to comply with the terms of any easement, covenant or similar restriction affecting the land. The Purchaser should note that there may be sewers, drains, water pipes, underground and/or overhead electricity cables, underground and/or overhead telephone cables and underground gas pipes laid outside any registered easements and which are not registered or required to be registered against the Certificate of Title.

(b) **BUSHFIRE**

This land is in a designated bushfire- prone area under section 192A of the Building Act 1993.

SECTION 32 STATEMENT
38 Meridian Drive, Traralgon VIC 3844

(c) ROAD ACCESS

There is access to the Property by Road.

PLANNING

☒ The required specified information is as follows:

- | | | |
|-----|-------------------------------|--------------------------------|
| (a) | Name of planning scheme | Latrobe City Planning Scheme |
| (b) | Name of responsible authority | Latrobe City Council |
| (c) | Zoning of the land | Neighbourhood Residential Zone |
| (d) | Name of planning overlay | None |

32D NOTICES

Save and except as attached, the Vendor is not aware of any Notices, Declarations, Property Management Plans, Reports, Recommendations or Orders in respect of the land issued by a Government Department or Public Authority or any approved proposal directly and currently affecting the land however the Vendor has no means of knowing all decisions of the Government and other authorities unless such decisions have been communicated to the Vendor.

32E BUILDING PERMITS

Particulars of any Building Permit issued under the *Building Act 1993* during the past seven years (where there is a residence on the land):-

Is contained in the attached Certificate/s.

32F OWNERS CORPORATION

The Land is NOT affected by an Owners Corporation within the meaning of the *Owners Corporation Act 2006*.

32G GROWTH AREAS INFRASTRUCTURE CONTRIBUTION (GAIC)

- (1) The land, in accordance with a work-in-kind agreement (within the meaning of Part 9B of the *Planning and Environment Act 1987* is NOT –
- land that is to be transferred under the agreement.
 - land on which works are to be carried out under the agreement (other than Crown land).
 - land in respect of which a GAIC is imposed

32H SERVICES

The services which are marked with an 'X' in the accompanying square box are **NOT** connected to the land.

Electricity supply ☐
Gas supply ☐
Water supply ☐
Sewerage ☐
Telephone services ☒

The Purchaser should be aware that the Vendor may terminate any account with a service provider before settlement, and the purchaser may need to have the service reconnected.

32I TITLE

Attached are the following document/s concerning Title:

- (a) In the case of land under the *Transfer of Land Act 1958* a copy of the Register Search Statement/s and the document/s, or part of the document/s, referred to as the diagram location in the Register Search Statement/s that identifies the land and its location.

ATTACHMENTS

Attached to this Section 32 Statement please find:-

- All documents noted as attached within this Section 32 Statement
- **Due Diligence Checklist**

DATE OF THIS STATEMENT

	/		/20	
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Name of the Vendor

Andrew John Benjamin Ferguson and Katie Ferguson

Signature/s of the Vendor

31/07/2026 x Signed by: <i>Katie Ferguson</i> A25BE7E9B680766D	03/08/2026 Signed by: <i>Andrew Ferguson</i> A0A0BC7F968881F8
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The Purchaser acknowledges being given a duplicate of this statement signed by the Vendor before the Purchaser signed any contract.

The Purchaser further acknowledges being directed to the DUE DILIGENCE CHECKLIST.

DATE OF THIS ACKNOWLEDGMENT

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Name of the Purchaser

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Signature/s of the Purchaser

x

Due diligence checklist

What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](http://consumer.vic.gov.au/duediligencechecklist) (consumer.vic.gov.au/duediligencechecklist).

Urban living

Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

Growth areas

Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

Flood and fire risk

Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

Rural properties

Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

Soil and groundwater contamination

Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

(04/10/2016)

Land boundaries

Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

Planning controls

Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

Safety

Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

Building permits

Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

Utilities and essential services

Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

Buyers' rights

Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.

Mr A J B Ferguson and Mrs K Ferguson
38 Meridian Dr
TRARALGON VIC 3844

Rates and Charges at your property - 1 July 2025 to 30 June 2026

Assessment Number	754028
Property	38 Meridian Drive, TRARALGON VIC 3844
Description	L 34 PS 826061
Property Owner/s	Mr A J B Ferguson & Mrs K Ferguson
Property Valuation Date	01 January 2025, effective as 01 July 2025
Capital Improved Value (CIV)	\$620,000
Site Value (Land value included in your CIV)	\$280,000
Net Annual Value	\$31,000
AVPCC	110 - Detached Home

Council Rates & Charges - 2025/2026

General Rates Residential (0.00301496 x CIV)

\$1,869.30

Municipal Charge

\$155.00

Waste Services Charges

(Rubbish x1, Recycling x1, Green Waste x1)

\$409.00

State Government ChargesThese charges are collected by Latrobe City Council on behalf of the State Government.
All funds are remitted in full to the State Government.

Emergency Services & Volunteers Fund Levy - Residential (0.000173 x CIV)

\$107.25

Emergency Services & Volunteers Fund Fixed Charge

\$136.00

EPA Victoria Landfill Levy

\$37.00

Rebates (if applicable)

Payments made on or after 12 August 2025 may not be included

TOTAL AMOUNT DUE**\$2,713.55****See reverse for payment options, methods and important information. **Would you like to receive your rates notice by email? Visit erates.latrobe.vic.gov.au or see page four for details.

PAYMENT OPTIONS

Pay in full

\$2,713.55

by **15 February 2026**

Any arrears are due and payable immediately as listed on page one and are not included in the pay in full amount listed here.

Pay by instalments

30 September 2025	\$678.50
30 November 2025	\$678.35
28 February 2026	\$678.35
31 May 2026	\$678.35

Please note: refunds will only be considered for rates accounts that have a credit balance. Early payment of instalments or full rates are not eligible for a refund.

To qualify for the instalment program option and receive instalment reminder notices, **you must pay the correct amount of the first instalment plus any arrears, by 30 September 2025.**

Payments made after the due date may be charged interest at 10% p.a.

UPCOMING CHANGES TO NEXT YEARS RATES PAYMENT OPTIONS

Effective from 1 July 2026 Latrobe City Council will no longer be offering the option for ratepayers to pay their rates in a lump sum on the 15 February, instead the standard payment option will be by four equal instalments.

We are providing advanced notice of this change to allow ratepayers who currently pay via a lump sum in February to adjust their household budgets for the change.

You will still be able to pay your rates account in a single payment, however if you elect to do this it will need to be by the first instalment date of 30 September.

For those preferring to utilise other more flexible payment options we will still be offering weekly, fortnightly and monthly direct debit options.

PAYMENT METHODS

ONLINE PAYMENT

Visit: www.latrobe.vic.gov.au/pay

Ref: 754028

BPAY

Pay using BPAY via your online banking



Billers Code: 6072
Ref: 754028

IN PERSON

Council Use Only



You can also pay in person at our Customer Service Centres or Libraries or mail a cheque to **PO Box 264, Morwell VIC 3840.**

POST BILLPAY

Pay 24 hours a day by credit card



*359 754028



Billers Code: 0359
Ref: 754028

Online: www.auspost.com.au/postbillpay
Phone: 13 18 16

DIRECT DEBIT

To arrange regular deductions, including weekly, fortnightly, monthly, quarterly or in full annually, from your bank account.

Visit www.latrobe.vic.gov.au/directdebit or call 1300 367 700 to obtain a direct debit form.

CENTREPAY

To arrange regular deductions from your Centrelink payment, please use your Centrelink online account, Express Plus Centrelink mobile app or you can contact centrelink in person or by phone and quote ref number (CRN) 555 070 553H.

HAVING TROUBLE PAYING?

Payment Plans

Council recognises our residents may experience financial difficulty at times. If you are having difficulty in making or maintaining your rates payments by the dues dates, Council may be able to offer you a payment plan to assist you to get back on track with your payments. We may also suspend interest from accruing and further debt collection action while you are actively engaged in an approved payment plan to ensure your balance remains manageable. Please make contact with Council as soon as possible if you feel that you may need further assistance.

Financial Hardship Applications

The *Local Government Act 1989* allows Council to waive or defer payment of any rate, charge or interest if a person can demonstrate financial hardship. Residents who are experiencing extreme financial difficulties and are struggling to pay their Council rates and charges, may qualify for assistance under Council's Hardship Policy.

To apply for hardship visit latrobe.vic.gov.au/rates-assistance. If you require assistance, please contact our Customer Service Team on 1300 367 700.

HOW YOUR RATES ARE CALCULATED

General rates, payments, rebates and other charges

The **Capital Improved Value (CIV)** is the total market value of your property, including the **Site Value** (land value) plus the value of any buildings or other improvements. Your rate charge is the CIV of the property multiplied by the rate in the dollar. The Valuer General of Victoria (VGV) reassesses the valuation of your property every year. The most recent valuation has been determined as of 1 January 2025.

For more information regarding how your rates and charges are calculated and spent, including information regarding the calculation of rates, please visit latrobe.vic.gov.au/understanding-rates

Waste Charges including State Government Landfill Levy

The waste services charges fund kerbside collections and processing including garbage, recycling and green waste disposal and the cost of transfer stations. The State Government Landfill Levy is a state government charge Council must pay when waste is disposed in landfill. Waste service charges are not subject to rate capping.

State Government Emergency Services and Volunteers Fund

The Emergency Services and Volunteers Fund is collected by Council on behalf of the State Government to fund the fire and other emergency service agencies. This amount is set by the State Government. The levy includes a fixed charge payable by all property owners, plus a variable levy which is calculated on your Australian Valuation Property Classification Code (AVPCC) and CIV of your property. This levy is not subject to rate capping. For any queries relating to the ESVF please contact ESVF support line on 1300 819 033.

Rating Differentials

All rating differentials adopted by Council for 2025/26 are shown for comparative purposes. Refer to page one of this notice for the amount that you are being charged. The rates shown are based on the same rateable valuation.

Differential Rates Type	Rates in \$	Rate amount \$
General	0.00301496	\$1,869.30
Farm	0.00226122	\$1,401.95
Derelict	0.00904488	\$5,607.85

PAYMENT OF RATES

Option 1 - Paying in full

Lump sum payment made by 15 February 2026

Option 2 - Paying by four instalments

Four instalment amounts paid by the dates listed on the second page of this notice. To be eligible for the instalment program, and to receive instalment reminder notices, the first instalment (plus any arrears) must be paid by **30 September 2025**.

PENALTIES FOR FAILING TO PAY

If you are late paying your rates, you may be charged interest. The interest rate is set by the State Government Penalty Interest Rates Act 1983 (section 2) at 10% p.a. Penalty interest on any arrears of rates and charges may continue to accrue until full payment of the outstanding amount and interest accrued to the date of payment is received. Interest will not be charged to those on an approved payment of hardship plan. Any default on an approved payment plan may result in interest being applied effective from the date of the last interest update. Council may recover any outstanding amounts plus interest in a Magistrates Court by suing for it as a debt subject to section 180 and 180(A) of the Local Government Act 1989. If applicable, legal costs incurred may be sought from you. Rates and charges and any costs awarded by the courts are a first charge against the property. Council will not accept any responsibility for mail delays or non delivery of correctly addressed notices. If you have concerns regarding your mail service, you may register for your notice to be delivered electronically by registering for e-rates. Please see instructions on page four to register.

ALLOCATION OF PAYMENTS

Whenever you make a payment, the money is allocated in the following order as applicable:

1. Payment dishonour fees (if any)
2. Legal fees (if any)
3. Penalty interest charges (if any)
4. Overdue rates and charges (arrears) (if any)
5. Current rates and charges

RATE CAPPING

Council has complied with the Victorian Government's maximum rate cap of 3% by applying an average increase of 1.5%. The cap applies to the average annual increase of rates and charges. The rates and charges for your property may have increased or decreased by a different percentage amount for the following reasons:

- the valuation of your property relative to the valuation of other properties in the municipal district
- the application of a differential rate by Council;
- the inclusion of other rates and charges not covered by the Victorian Government's rate cap (such as waste services and State Government charges or levies).

PERSONAL INFORMATION

Personal information collected and held by Latrobe City Council is used for municipal purposes as specified in the Local Government Act 1989 and the Local Government Act 2020. It may also be disclosed to other government agencies in relation to matters that may potentially affect you, or your property, or debt collection agencies where rates remain unpaid. It will not be disclosed to any other external party without your written consent, unless required or authorised by law.

REPRINT OF RATES NOTICE

Please retain this notice for your records as a fee of \$25.00 may be charged for replacement copies. Or, see the instructions at the bottom of this page on how to register for electronic notices to download a replacement copy free of charge. An additional fee may be charged for requests relating to rates history.

DISHONOUR FEES

A dishonour fee of \$15.00 will be added to your account for each dishonoured direct debit payment. A fee of \$40.00 will be added to your account for any dishonoured payment made at an Australia Post outlet.

NOTICE OF VALUATION

The property described on the front of this notice has been valued as at 1 January 2025 using the Capital Improved Value which is the total market value of the land plus any buildings or improvements. The valuations shown on this notice may be used by other authorities for the purpose of a tax or a rate. If an amendment is made to the valuation to include any changes to the property, additional rates may be payable and a supplementary rates notice may be served.

RIGHT OF OBJECTION TO RATES, VALUATIONS AND CHARGES

How to object to your valuation

The grounds of objection are limited and are described under section 17 of the *Valuation of Land Act 1960*. Please visit ratingvaluationobjections.vic.gov.au and complete the online form to lodge an objection. This must be done within **two months (60 days)** from the date of issue of this notice listed in the top right corner of page one. **Late objections cannot be accepted. Regardless of any objection to the valuation, the rates must be paid as assessed by the due date, otherwise interest may be charged. Where this results in an overpayment, a refund will be provided upon request.**

Other objections

If you disagree with any other rate or charge you have the right under the Local Government Act 1989 (the Act) to:

- Apply to the Victorian Civil and Administrative Tribunal (VCAT) under section 183 of the Act for a review in relation to a differential rating.
- Appeal to the County Court under section 184 of the Act for a review in relation to a rate or a charge.
- Apply to VCAT for a review under section 185 of the Act in relation to a decision by Council to impose a special rate or charge.

Your appeal must be lodged within **60 days** from the issue date on page one of this notice. The grounds for appealing and the procedure for making an application are set out in the respective sections of the Act listed above.

STATE GOVERNMENT PENSION CONCESSION

If you are the holder of a Pensioner Concession Card or DVA Gold Card with war widow or TPI classification, you may be eligible for a rebate on your rates for your principal place of residence.

You must:

- have any one of the eligible concession cards and your card must be valid at the time of your application.
- be the person responsible for payment of the rates account
- be named on the rates notice
- have a name and address on the account that matches that on the concession card.

For those persons who remain eligible from the previous year, the amount of this rebate is already shown on page one of this notice.

If your concession does not appear on this notice, to apply:

- visit latrobe.vic.gov.au/ratesconcession for more details and to download a form; or
- contact our Customer Service Team by phone or in person for a Municipal Rates Concession Form

Health Care Card or Seniors Card holders are not eligible for this concession.

EMERGENCY SERVICES AND VOLUNTEERS FUND

If you believe that your land has been incorrectly classified (based on your AVPCC) for the purposes of this levy, you have the right to object within **60 days** of the date of issue of this notice (listed on page 1). You must submit your objection online at ratingvaluationobjections.vic.gov.au

The owner of land may also apply for a waiver, deferral or concession in respect of the leviable land under section 27 of the Emergency Services and Volunteers Fund Act 2012 for rateable land and section 28 for non-rateable land. For more information visit <https://www.sro.vic.gov.au/emergency-services-and-volunteers-fund>

CHANGE OF OWNERSHIP OR CONTACT DETAILS

It is the responsibility of the owner of a property to notify Council of changes of address, contact details, ownership or occupancy within 30 days of the change taking effect. You can do so by completing the online form at latrobe.vic.gov.au/changemydetails, or contact us.

WANT TO RECEIVE YOUR RATES NOTICE BY EMAIL?

- Step 1** Head to erates.latrobe.vic.gov.au
- Step 2** Read the instructions
- Step 3** Input your details
- Step 4** Accept the declarations and click the button to register

After registering, you will receive an email. It is important that you **click the link** in this email to activate your account. You will then be registered to receive your **rates notices via email**.

Please note: Supplementary or amended rates notices cannot be sent by email and will be posted to your mailing address if issued.

TO OBTAIN A COPY OF YOUR RATES NOTICE FREE OF CHARGE

- Step 1** Head to erates.latrobe.vic.gov.au
- Step 2** Click the **create your account** button
- Step 3** Input your details
- Step 4** Click the **create your account** button

After registering, you will receive an email. It is important that you **click the link** in this email to activate your account.

You will then be registered to view and download your rates notices. Note: If you wish to also receive your rates notice by email follow the steps under the 'Want to receive your rates notice by email' section.

How to read your new notice

VALUATION AND RATES NOTICE
1 July 2025 to 30 June 2026

Date of Issue

1 Rates and Charges at your property - 1 July 2025 to 30 June 2026

Assessment Number
Property
Description
Property Owner/s

2 Property Valuation Date 1 January 2025, effective at 1 July 2025
Capital Improved Value (CIV)
Site Value
(Land value included in your CIV)
Net Annual Value
AVPCC

3

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PAYMENTS

Council Rates & Charges - 2025/2026

Waste Services Charges

State Government Charges
These charges are collected by Latrobe City Council on behalf of the State Government.
All funds are remitted in full to the State Government.

Rebates (if applicable)

TOTAL AMOUNT DUE

See reverse for payment options, methods and important information.

Would you like to receive your rates notice by email? Visit rates@latrobe.vic.gov.au or see page four for details

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PAYMENT OPTIONS

Pay In full
by 15 February 2026

Any arrears are due and payable immediately as listed on page one and are not included in this pay in full amount listed here.

Pay by Instalments
30 September 2025
30 November 2025
28 February 2026
31 May 2026

Please note: refunds will only be considered for rates accounts that have a credit balance. Early payment of instalments or full rates are not eligible for a refund.

To qualify for the instalment program option and receive instalment reminder notices, you must pay the correct amount of the first instalment plus any arrears, by 30 September 2025. Payments made after the due date may be charged interest at 10% p.a.

UPCOMING CHANGES TO NEXT YEARS RATES PAYMENT OPTIONS

Effective from 1 July 2026 Latrobe City Council will no longer be offering the option for ratepayers to pay their rates in a lump sum on the 15 February, instead the standard payment option will be by four equal instalments. We are providing advanced notice of this change to allow ratepayers who currently pay via a lump sum in February to adjust their household budgets for the change.

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PAYMENT METHODS

ONLINE PAYMENT
Visit: www.latrobe.vic.gov.au/pay

Ref:

IN PERSON

You can also pay in person at our Customer Service Centres or Libraries or mail a cheque to PO Box 264, Morwell VIC 3640.

DIRECT DEBIT
To arrange regular deductions, including weekly, fortnightly, monthly, quarterly or in full annually, from your bank account. Visit www.latrobe.vic.gov.au/directdebit or call 1300 367 700 to obtain a direct debit form.

BPAY
Pay using BPAY via your online banking

POST BILLPAY
Pay 24 hours a day by credit card

CENTREPAY
To arrange regular deductions from your Centrelink payment, please use your Centrelink online account, Express Plus Centrelink mobile app or you can contact centrelink in person or by phone and quote ref number (CRN) 988 070 6534.

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HAVING TROUBLE PAYING?

Payment Plans
Council recognises our residents may experience financial difficulty at times. If you are having difficulty in making or maintaining your rates payments by the due dates, Council may be able to offer you a payment plan to assist you to get back on track with your payments. We may also suspend interest from accruing and further debt collection action while you are actively engaged in an approved payment plan to ensure your balance remains manageable. Please make contact with Council as soon as possible if you feel that you may need further assistance.

Financial Hardship Applications
The Local Government Act 92BP allows Council to waive or defer payment of any rate, charge or interest if a person can demonstrate financial hardship. Residents who are experiencing extreme financial difficulties and are struggling to pay their Council rates and charges, may qualify for assistance under Council's Hardship Policy. To apply for hardship visit latrobe.vic.gov.au/rates-assistance. If you require assistance, please contact our Customer Service Team on 1300 367 700.

1. PROPERTY DETAILS

Assessment Number: A unique identifier assigned to your property for rates purposes. This number is used by the council to track your property and its associated rates.

Property: The address of your property. This section provides the parcel details or lot and plan numbers associated with this property.

2. PROPERTY VALUATION

The Valuation Completed each year by the Valuer General of Victoria's appointed valuer. This includes the Capital Improved Value (CIV) (Site value + any improvements), Site Value (land value) and Net Annual Value (current value of a property's net annual rent). The CIV is used to calculate your rates and the Emergency Services and Volunteers Fund Levy.

3. AVPCC

(Australian Valuation Property Classification Code)

In accordance with the Emergency Services and Volunteers Fund Act 2012, each property is assigned an Australian Valuation Property Classification Code (AVPCC) according to how your land is used (residential, farming, industrial, etc). This determines how the ESFV levy will be calculated.

4. PAYMENTS AND CHARGES

This section outlines the total amount of rates and charges for your property, including any applicable fees, State Government Levies, rebates or charges for services (such as waste collection).

5. PAYMENT OPTIONS

A summary of the different ways you can pay your rates and the due dates for each option.

6. PAY BY INSTALMENTS

This section outlines the option to pay your rates in smaller, more manageable instalments rather than in one lump sum. The payment schedule will specify the due dates for each instalment, helping you to spread the cost over the year. If you choose this option, ensure payments are made on time to avoid any interest.

7. PAYMENT METHODS

There are several easy ways to pay your rates, online, in person, by direct debit, BPAY, Post Billpay or Centrepay. Choose the option that works best for you. You'll find all the details you need on your notice.

8. HAVING TROUBLE PAYING

If you're having difficulty paying your rates, we're here to help. Council offers payment plans and hardship assistance for those who qualify.

Visit www.latrobe.vic.gov.au/rates-assistance or call 1300 367 700 to speak with our team.

GOT QUESTIONS?

Phone 1300 367 700
(Weekdays 8.30am to 5.30pm)
Email rates@latrobe.vic.gov.au
Web latrobe.vic.gov.au/rates

CUSTOMER SERVICE CENTRES

For opening hours visit
www.latrobe.vic.gov.au/contact_us

- **Churchill Library** - 9-11 Philip Parade
- **Moe Library** - 1-29 George Street
- **Morwell Headquarters** - 141 Commercial Road
- **Morwell Library** - 63-35 Elgin Street
(card only - no cash or cheques)
- **Traralgon Library** - 34-38 Kay Street

Latrobe City Council 2025/26 Budget

How \$1000 of your rates are spent



Roads and Transport
\$57.85



Building Maintenance
\$23.02



Libraries
\$22.52



Running Council
\$96.39



Family and Children
\$113.34



Public Lighting
\$7.44



Environment
\$8.70



Capital Works
\$176.44



Parks and Gardens
\$72.12



Planning and Building
\$30.32



Tourism and Events
\$11.88



Loan Principal
and Interest
\$36.10



Finance and
IT Services
\$61.52



Community Information
and Development
\$36.88



Health
Services
\$6.43



Culture, Leisure
and Recreation
\$80.98



Economic
Development
\$13.83



Waste and
Recycling
\$124.68



Community
Safety
\$19.56

Mr A J B Ferguson and Mrs K Ferguson
38 Meridian Dr
TRARALGON VIC 3844

Below are your coupons for disposal of general hard waste or green waste at transfer stations and green waste drop-off facilities only. Bookings for collections are no longer required.

WHEN CAN I USE THESE COUPONS?

Coupons can be presented at any of our transfer stations and green waste drop-off facilities during normal operating hours and are valid until 31 August 2026.

If you have not received your new waste coupons or misplaced them, you can quote your rates assessment number to the staff at our transfer stations to confirm eligibility.

WHAT DO THE COUPONS ALLOW?

Each coupon allows the free disposal of up to **one cubic metre** of acceptable hard waste items OR up to **one cubic metre** of green waste. For more information visit our website.

www.latrobe.vic.gov.au/waste

Any hard waste in excess of one cubic metre per coupon will be charged at the applicable rate.

WHAT'S NOT HARD WASTE?

Hard waste is not general household rubbish.

It does not include asbestos, liquids, chemicals or other waste types not accepted at the landfill or the PineGro recycling facility.

HARDWASTE COLLECTIONS

Council will commence a free hard waste collection in November 2025.

Any resident who currently receives a kerbside collection will be able to place acceptable items out during their locality's advertised pick up time.

Locality pick up times will be promoted in the Latrobe Valley Express, on social media, local radio and the Council website. **Remember to keep an eye on these channels for the latest updates and information.**

These residents will also have the option of an additional PAID hard waste collection. These can be booked through WM Waste Management Services on 1300 969 278. WM Waste Management Service will then contact residents to notify them of their pickup time.

2025/26 HARD AND GREEN WASTE COUPONS

Present this coupon at any Latrobe City transfer station or PineGro facility for free disposal of:

- Up to **one cubic metre of hard waste** or
- Up to **one cubic metre of green waste**



754028 2026 01

38 Meridian Drive
TRARALGON VIC 3844

Valid to 31 August 2026 (see back for details)

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754028 2026 03

38 Meridian Drive
TRARALGON VIC 3844

Valid to 31 August 2026 (see back for details)

TRANSFER STATIONS

Management Latrobe Waste and Recycling
Phone 0418 260 466

All transfers stations are closed for Christmas Day, Boxing Day, New Year's Day and Good Friday.

Morwell Transfer Station

Porters Road (off Tramway Road), Morwell

Payment facilities EFTPOS and cash only

Opening hours Mon to Fri, 8am to 3pm
Sat to Sun, 9am to 2pm

Traralgon Transfer Station

Depot Road (off Liddiard Road), Traralgon

Payment facilities EFTPOS and cash only

Opening hours Mon to Fri, 11am to 5pm
Sat to Sun, 12pm to 4.30pm

Moe Transfer Station

Haunted Hills Road, Newborough

Payment facilities EFTPOS and cash only

Opening hours Seven days per week
12.30pm to 4.30pm

Yinnar Transfer Station

Whitelaws Track, Yinnar South

Payment facilities EFTPOS and cash only

Opening hours Sat to Sun, 9:30am to 4:30pm

PINEGRO (GREEN WASTE)

Moe

31 Walhalla Road, Moe

Payment facilities Cash only

Opening hours Sat and Sun, 10am to 4pm

Morwell

Monash Way (2 km from freeway entrance), Morwell

Phone (03) 5122 2036

Payment facilities EFTPOS and Cash only
No EFTPOS on weekends or public holidays

Opening hours Mon to Fri, 8.30am to 3.30pm,
Sat and Sun, 9am to 4pm

Traralgon

Rocla Road (0.5 km from Princes Highway), Traralgon

Payment facilities EFTPOS and cash only

Opening hours Sat and Sun, 9am to 4pm

LATROBE CITY COUNCIL

1300 367 700

PO Box 264, Morwell VIC 3840

latrobe@latrobe.vic.gov.au

www.latrobe.vic.gov.au

Printed July 2025

Information within this document was correct at time of print and is subject to change without prior notice.

2025/26 HARD AND GREEN WASTE COUPONS

CONDITIONS OF USE

Please note: Coupons are valid for the intended recipient only and are not transferable.

For all information about what can and can't go in hard waste, how the collection works and other important details, scan the QR code or visit www.latrobe.vic.gov.au/waste



Scan the QR code for more information.

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Scan the QR code for more information.



**Gippsland
Water**

Customer enquiries
1800 050 500

Faults & emergencies 24hrs
1800 057 057

www.gippswater.com.au



A Ferguson & K Ferguson
38 Meridian Dve
TRARALGON VIC 3844



034
1000012
DLX1_23

Account number:
0200849602

Amount due:
\$454.47

Pay by:
03 July 2026

Reminder notice

Date of issue: 24 June 2026

Service address: 38 Meridian Dve Traralgon Vic 3844

We haven't received payment for your last bill. Please pay by 03 July 2026 or call us to arrange a flexible payment plan.

We understand that there are times when it's hard to pay bills – we can help.

Our Customer Care team can tailor financial assistance options to meet your needs. We can:

- set up a flexible payment plan, so you can pay us through regular instalments
- allow more time for you to pay your bill, through a payment extension
- help you register a concession
- help you apply for a government-funded assistance scheme, if you're eligible

To apply for assistance or find out more about our Customer Support policy, visit www.gippswater.com.au/assistance. If you'd like to discuss your situation with us, email customercare@gippswater.com.au or call us on 1800 050 500 between 8.00am and 5.00pm Monday to Friday, and we'll be happy to help.

If you've recently paid your account, please disregard this statement.



How to pay

Direct Debit

To register for direct debit call us or visit www.gippswater.com.au/direct-debit

BPAY

Billers Code: 3475
Ref: 36800002008496020

Centrepay

Use Centrepay to make regular deductions from your Centrelink payment. Centrepay is a voluntary and easy payment option available to Centrelink customers. Go to serviceaustralia.gov.au/centrepay for more information on how to set up your Centrepay deductions.



Online

Scan the QR code with your smartphone or go to my.gippswater.com.au/pay-now to pay with Visa or Mastercard.



Phone

Call 1800 050 500 and select Option 1.



Post Office

Pay in person at any Australia Post outlet.



To mail your payment, detach the bottom section of the next page and mail with your cheque to:
PO Box 348 TRARALGON VIC 3844.



Residential tenants

If you have a tenant living in this property that has not yet registered with us, please notify us immediately.

Sale of property

If you own this property, it is your responsibility, or your legal representative's, to notify us 48 hours prior to the date of settlement to obtain a final reading of your water meter. All conveyancing documentation must also be forwarded to us.

We may recover any amount outstanding at the time of sale.

Eligible residential concessions

- Pensioner Concession Card
- DVA Gold Card (all types except 'Dependant')
- Health Care Card (except payment types CD and FO)

If you own or occupy a property which is your principal place of residence and your residential address matches one of the above cards, you may be entitled to a concession on your water and/or wastewater charges. Please call us on 1800 050 500 to apply.

We are required to verify your concession with the Department of Families, Fairness and Housing to ensure you continue to receive your entitlements. If you do not consent to this, please contact our office.



If you are deaf or find it hard hearing or speaking with people on the phone visit relayservice.gov.au or call 1800 555 677 for the Telephone Typewriter Service (TTY).



For interpreter or translation services call 13 14 50.

Payment slip

Gippsland Water
PO Box 348 TRARALGON VIC 3844

ABN 75 830 750 413



*368 02008496020

Account number: 0200849602

A Ferguson & K Ferguson

Amount Paid

Date Paid

Change of address: Let us know within 14 days if you change your address, or if there's a change of owner or occupancy of this property.

FORM 2
Regulation 37(1)
Building Act 1993
Building Regulations 2018

BUILDING PERMIT No. 3726096783239 ISSUED 14/07/2021
JOB NUMBER: 21/02455

Issued to

Owner/Agent of owner **Metricon Homes Pty Ltd** Telephone **5175 8622**
Postal address **43 Grey Street, TRARALGON** Postcode **3844**
Email **KerriePhillips@metricon.com.au;GippslandAdmin@metricon.com.au** ACN (if applicable)

Ownership details

Owner **Andrew John Benjamin & Katie Ferguson** Telephone **0413 814 900**
Postal address **89 Berwick Springs Promenade, NARRE WARREN** Postcode **3805**
Email **katieferguson@y7mail.com** ACN (if applicable)

Property details

Number **38** Street/road **Meridian Drive** City/suburb/town **TRARALGON** Postcode **3844**
Lot/s **34** LP/PS **PS826061Y** Volume **12278** Folio **279**
Municipal district **Latrobe City Council**

Builder

Name **Metricon Homes Pty Ltd** Telephone **5175 8622**
Address **43 Grey Street, TRARALGON** Postcode **3844**
Building practitioner registration no. **CDB-U 52968** ACN (if applicable)
This builder is specified under section 24B(4) of the Building Act 1993 for the building work to be carried out under this permit.

Natural person for service of directions, notices and orders

Name **Kerrie Phillips** Telephone **5175 8622**
Address **43 Grey Street, TRARALGON** Postcode **3844**

Building practitioner or architect engaged to prepare documents for this permit

Name	Company Name	Category / Class	Personal Reg No.	Company Reg No.
Kerrie Phillips	Australian Building Company Pty Ltd	Builder	CDB-U 52968	CDB-U 52968
Matthew Borzillo	Intrax Consulting Engineers	Civil Engineer		
Tianyang Song	Intrax Consulting Engineers	Civil Engineer	EC 67744	

Details of domestic building work insurance

The issuer or provider of the required insurance policy is **VMIA** and the policy number is **C609188**.

Details of relevant planning permit

Planning permit no. **N/A** Date of grant of planning permit.

Nature of building work

Description of building work **dwelling, garage & retaining wall** Storey Contained **1**
Version of BCA applicable to permit **NCC 2019 Volume 2** Cost of building work for project: **\$276,053**
Stage of building work permitted **all** Total floor area of new building work **258 m²**

Protection work Protection work is not required in relation to the building work proposed in this permit.

Building Classification

BCA	BCA Description	NOW	Part
1a(a)	Detached house	New Building	All
10a	Garage, carport, shed or storage facility	New Building	All of attached garage
10b	Fence, mast or antenna, wall, swimming pool	New Building	All of retaining wall

Prescribed reporting authorities

The following bodies are prescribed reporting authorities for the purposes of the application for this permit in relation to the matters set out below:

Date Approved	Authority	Matter	Regulation
09 Jun 2021	Council	Consent for side and rear setbacks	79
04 Mar 2021	Council	LPOD info from Council	133

Inspection requirements

The mandatory notification stages are:

Prior to placing a footing - retaining wall holes
Prior to placing a footing - concrete piers
Foundation - pre slab
Prior to placing a footing - slab reinforcement
Completion of frame
Final upon completion of all building work

Occupation or use of building

An occupancy permit is required prior to the occupation or use of this building.

If an occupancy permit is required, the permit is required for the whole of the building in relation to which the building work is carried out.

Commencement and completion

This building work must commence by **14/07/2022**.

If this building work to which this building permit applies is not commenced by this date, this building permit will lapse, unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

This building work must be completed by **14/07/2023**.

If this building work to which this building permit applies is not completed by this date, this building permit will lapse, unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

Relevant building surveyor

Name: Watershed Building Consultants Pty Ltd
ACN: 118 532 755

Registration No. CBS-U 65767

Designated building surveyor

Name: M D Curtain

Registration No. BS-U 1590



Signature:

Conditions of Approval Building Permit No. 3726096783239

1. The building permit has been issued pursuant to the *Building Act 1993* (the "Act"), the *Building Regulations 2018* (the "Building Regulations") and the *National Construction Code Series Building Code of Australia 2019 - Volume 2* (the "BCA"); and
2. The builder must carry out all building work authorised by this building permit in accordance with the building permit, approved plans and associated documents. No variations/departures from the approved plans will be accepted by the relevant building surveyor unless amended plans are submitted and approved prior to the commencement of the unauthorised building work; and
3. The builder is responsible to adopt and install appropriate proprietary accredited building products and is to ensure that those products/assemblies are fit for the purpose they are intended and are installed in accordance with the manufacturer's specifications/ requirements for that system. It is recommended that the builder seek manufacturer's product installation instructions and confirmation from the supplier/manufacturer to confirm that the product/assembly has been installed in accordance with the requirements of the manufacturer. No substitution of products from BCA approved products will be accepted by the Relevant Building Surveyor; and
4. **Building is located in an area designated as prone to termite attack. As such termite protection is to be provided in accordance with AS3660; and**
5. **Dwelling is located in a bushfire prone area and as such is to be constructed to a minimum BAL of 12.5 as noted on the approved plans and AS3959 - 2018; and**
6. This building permit does not have the effect of amending or overriding any section 173 agreement, covenant of title, memorandum of common provision, agreement or condition imposed under the local planning scheme. It is not the responsibility

- of the relevant building surveyor to confirm compliance with any covenant, section 173 agreement or memorandum of common provisions or any other restriction which may exist on the property title or any other agreement entered into with an authority or other party. The owner is responsible to ensure compliance with any of the above restrictions and to obtain developer's approval (if required) prior to the commencement of the proposed building work; and
7. Contrary to what is shown on the approved plans, building work is only included as part of this building permit if it is written on the Form 2 building permit; and
 8. Excavations and fill utilising unprotected embankments to comply with Part 3.1.1.1 of BCA, Volume 2 and Table 3.1.1.1; and
 9. The following information and or certificates are to be provided with the application for Occupancy Permit or a request for a Certificate of Final Inspection:
 - (a) All plumbing compliance certificates from the plumber(s) engaged in the works; and
 - (b) An electrical safety certificate from an electrician engaged in the works; and
 - (c) **A statement of compliance from the builder which confirms compliance with the relevant Australian Standards and approved plans and reports for matters such as wet areas, alternative solution for garage wall, glazing, termites, bushfire, artificial lighting plan, energy report and fire ratings for external walls; and**
 10. This permit does not remove or replace the need for an asset protection permit or equivalent consent or approval that may be required from the relevant council and a fee and/or a security that may be required to be paid under a Local Law of the relevant Council; and
 11. This building permit does not override your obligations under the 'Fences Act 1968' which requires you to obtain written permission from an adjoining owner prior to altering or removing a dividing boundary fence. This permit does not authorise the altering or removal of a dividing boundary fence without the adjoining owner's agreement; and
 12. The building work shall be carried out wholly from within the allotment and without removing the boundary fences (unless otherwise agreed to by adjoining owner). It is the responsibility of the owner (or his or her agent) to check the location of boundaries and obtain a re-establishment survey and to seek legal advice before construction commences if there are any boundary discrepancies. The relevant building surveyor does not take any responsibility for any boundary discrepancies or building encroachments. This building permit does not authorise the demolition of any existing adjoining property building that encroaches the title boundary; and
 13. **Manufacturer's roof truss layouts and computations are to be submitted for approval prior to commencing work on the frame; and**
 14. Building work authorised under this permit requires an Occupancy Permit prior to lawful occupation of the building. An application for an Occupancy Permit (Form 15) must be submitted to our office together with the required compliance certificates.

ADDITIONAL GENERAL NOTES TO WORKING DRAWINGS

All work to comply with NCC BCA 2019 Volume 2 (NCC) and the relevant Australian Standards currently referenced under Part A4 of the NCC including the standards listed below:

Glazing to comply with AS1288 (Glass in buildings selection and installation)
 Windows to comply with AS2047 (Windows in building selections and installations)
 Roof sheeting to comply with AS1562 (Design and installation of sheet roof and wall cladding)
 Footings to comply with AS2870 (Residential slabs and footings)
 Timber framing to comply with AS1684.2 (Residential timber-framed construction)
 Roof tiles to comply with AS2049 (Roof tiles) and AS 2050 (Installation of roof tiles)
 Wet area to comply with AS3740 (Waterproofing of domestic wet areas)
 Termite protection to comply with AS3660.1 (Termite management for new building work).

GENERAL

- A minimum 10mm thick flexible bond breaker is to be provided between an existing footing on the adjoining property and a proposed new footing.
- Smoke alarms to comply with AS3786, to be hardwired and interconnected.
- A removable hinge is required to a toilet door when the door hinge is within 1.2m of the closet pan.
- Exhaust fans to discharge directly to the outside at a flow rate of not less than 25 l/s (bathroom, powder room, ensuite) or 40 l/s (laundry or kitchen systems), unless otherwise discharged into a ventilated roof space in accordance with BCA 3.8.7.4.
- A bedroom window which has a floor 2m or more above ground level, must be restricted from opening 125mm or more or be fitted with a screen with secure fittings, if the window is less than 1.7m from the floor.
- If installed, a minimum 2000L rain water tank is required to be connected to all toilets for the purpose of sanitary flushing.
- A balcony waterproofing membrane is to comply with AS4654.1 and AS4654.2.
- Gas heating appliances must be installed in accordance with the manufacturer's specification.

STAIRS AND BARRIER

- Risers to be maximum 190mm
- Goings to be minimum 240mm
- Maximum 125mm gaps between risers.
- All handrails to a flight of stairs must be continuous.
- A barrier (eg balustrading) must not allow a 125mm sphere to pass through it.
- Floors more than 4m above the surface beneath, any horizontal elements within the barrier (eg

balustrading) between 150mm and 760mm above the floor must not facilitate climbing.

- The maximum doorway threshold is 230mm above the external finished surface.
- A landing must extent across the full width of the doorway.
- Stair treads to have a surface with a slip resistance classification not less than P3 or R10 (internal) or P4 or R11 (external) or nosing strips trip with a slip resistance classification not less than P3 (internal) or P4 (external).
- A landing must be provided when the difference between the internal floor level and the finished ground level is greater than 570mm (3 risers).

DRAINAGE

- The stormwater drainage system must comply with AS3500.3 or AS3500.5.
- The stormwater drainage system must discharge to the legal point of discharge nominated by Council.
- The first metre around the perimeter of the dwelling must fall away a minimum of 25mm for a paved external surface and 50mm for a non-paved external surface.
- The internal finished floor level for the slab on ground must be a minimum 50mm above the external paved surface and 150mm above the external permeable surface.

FRAMING

- A wind classification of N2 applies to the site unless otherwise noted on the approved working drawings or structural plans and computations.
- Provide a minimum 150mm subfloor clearance to the underside of the bearer or minimum 400mm in a declared termite area.
- Subfloor ventilation to be provided with minimum aggregate openings of 6000mm² per metre of wall.
- Timber members for the deck and/or verandah must be suitable for external use and have a certain level of durability. For in-ground contact, the timber must be preservative-treated to H5. For above-ground use, the timber must be preservative-treated to H3.

MASONRY

- Masonry walls to comply with AS3700 or AS4773.1 and AS4773.2.
- Weepholes to be provided to masonry veneer walls at 1200mm maximum centres. Window head flashings are also required to be drained by weepholes at 1200mm maximum centres for openings greater than 1200mm in width. Weepholes are to be a minimum 75mm above the external finished ground level.
- Articulation joints must extend to the full height of the wall and be spaced in accordance with the working drawings or structural plans.

CLADDING

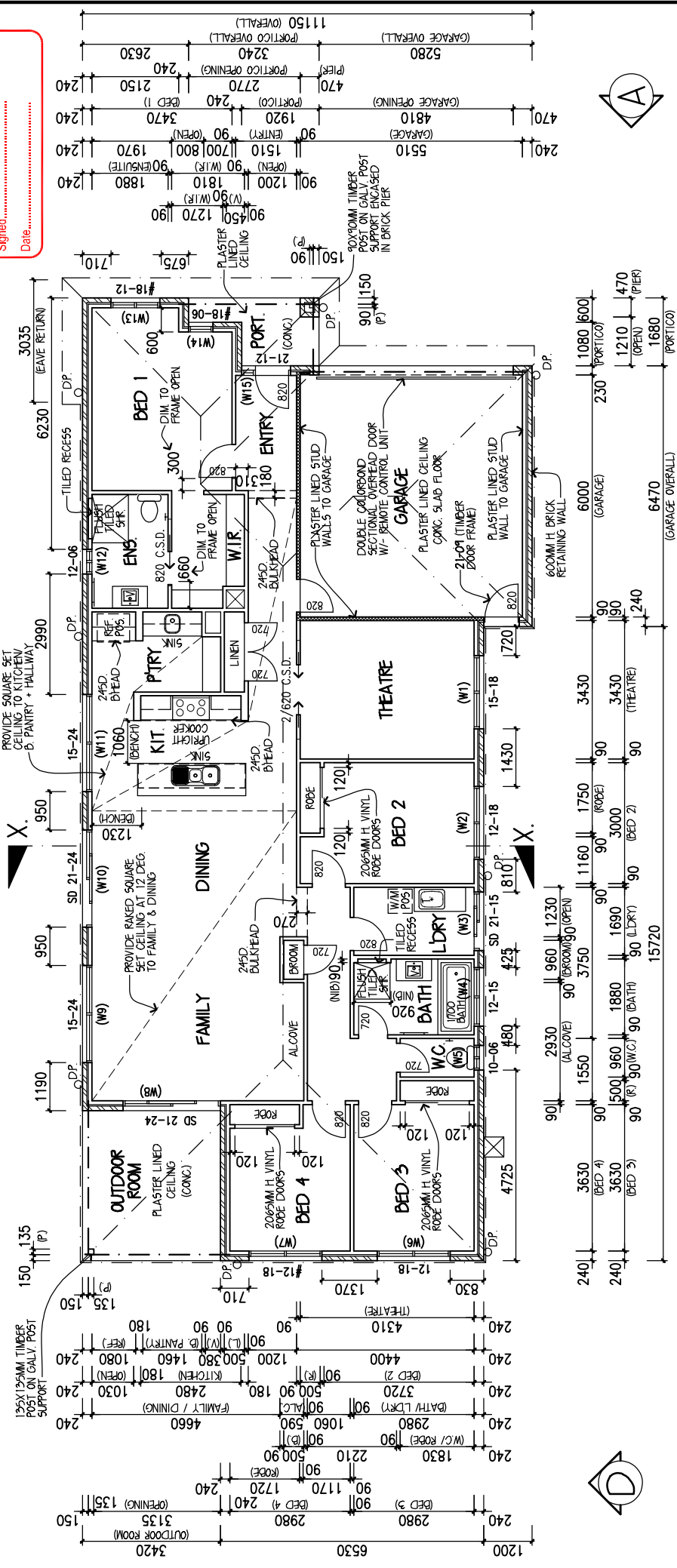
- An autoclaved aerated concrete wall is to comply with AS5146.1 and manufacturer's specifications.
- External walls to be provided with AS 4200.1 compliant vapour permeable m



CONSTRUCTION DRAWINGS 6-JUL-21
The Owner acknowledges that these are the final plans as varied, and supersede any prior plans signed.
No further variations permitted

Signed.....
Date.....

WET AREA ACCESSORIES PACK
700MM W. TOWEL RAIL @ 900MM H.
+ TOILET ROLL HOLDER @ 750MM H.



FLOOR PLAN 1:100

WATERSHED BUILDING CONSULTANTS
APPROVED DOCUMENT

NOTES: * WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY. * WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES. * ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS & A.S. 4005-2012 FOR WINDLOADING. * GARAGE DOORS TO BE SET DOWN MIN. 1200 INTO BROOKWORK. * ENSURE RETURN AIR GRILLE & VDO IS CLEAR OF TRUSS 4/OR FRAMING CONSTRUCTION. * ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 3.8.3. * EXTERNAL FLUABLE MEMBRANES TO COMPLY WITH & BE INSTALLED IN ACCORDANCE WITH NCC 3.8.7.2 & AS/NZS 4200.1 & AS 4200.2 * ALL EXHAUST FANS AND RANGEHOOD, DUCTED TO OUTSIDE AIR VIA EXPOSED FLEPHIPES OR WALL VENTS IN ACCORDANCE W/-NCC 3.8.7.3		PERMIT NO: 3726096733239 ISSUED DATE: 14 JUL 2021 1250 FLP 16557 500 00000-000		DESIGN: LLOYD 25RF CEILING 25 L FAÇADE: LUMI GARAGE: DOUBLE LOCATION: L		AUSTRALIAN BUILDING CO. TRARALGON 501 Boddum Road, Mount Waverley Vic 3146, Tel: 03 9542 4699 Fax: 03 9542 4988 Building Practitioner Reg. No. DB-18829 ACN 603 519 366 www.australianbuildingcompany.com.au © COPYRIGHT 2014. REPRODUCTION FORBIDDEN Unauthorized use, reproduction or caption is forbidden and will be prosecuted.		OWNER: MR A. & MRS K. FERGUSON LOT 34 (NO. 36) MERIDIAN DRIVE TRARALGON JOB NO: 7209164 DATE: 26/04/21 F.C. DATE: 16/06/21 MST VER: 17.09.2020 PERMIT No: DRAWN: PCK CHKD: SHEET: 2 of 9	
FRAMING NOTES: * CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNLESS OTHERWISE NOTED) * PROVIDE 2NO. 90X45 JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL S-TP-DOOR-01 * ENSURE RETURN AIR GRILLE & VDO IS CLEAR OF TRUSS 4/OR FRAMING CONSTRUCTION		PERMIT NO: 3726096733239 ISSUED DATE: 14 JUL 2021 1250 FLP 16557 500 00000-000		DESIGN: LLOYD 25RF CEILING 25 L FAÇADE: LUMI GARAGE: DOUBLE LOCATION: L		AUSTRALIAN BUILDING CO. TRARALGON 501 Boddum Road, Mount Waverley Vic 3146, Tel: 03 9542 4699 Fax: 03 9542 4988 Building Practitioner Reg. No. DB-18829 ACN 603 519 366 www.australianbuildingcompany.com.au © COPYRIGHT 2014. REPRODUCTION FORBIDDEN Unauthorized use, reproduction or caption is forbidden and will be prosecuted.		OWNER: MR A. & MRS K. FERGUSON LOT 34 (NO. 36) MERIDIAN DRIVE TRARALGON JOB NO: 7209164 DATE: 26/04/21 F.C. DATE: 16/06/21 MST VER: 17.09.2020 PERMIT No: DRAWN: PCK CHKD: SHEET: 2 of 9	
LEGEND: LOAD BEARING WALL WALL UNDER STAIR TO BE BUILT AFTER STAIR 70MM STUD WALL 12MM PLY BOARD FIXED TO STUD W/PLASTER OVER INCREASE WIND RATING AS PER ASSO47 TO # NOMINATED GLAZING PANELS		PERMIT NO: 3726096733239 ISSUED DATE: 14 JUL 2021 1250 FLP 16557 500 00000-000		DESIGN: LLOYD 25RF CEILING 25 L FAÇADE: LUMI GARAGE: DOUBLE LOCATION: L		AUSTRALIAN BUILDING CO. TRARALGON 501 Boddum Road, Mount Waverley Vic 3146, Tel: 03 9542 4699 Fax: 03 9542 4988 Building Practitioner Reg. No. DB-18829 ACN 603 519 366 www.australianbuildingcompany.com.au © COPYRIGHT 2014. REPRODUCTION FORBIDDEN Unauthorized use, reproduction or caption is forbidden and will be prosecuted.		OWNER: MR A. & MRS K. FERGUSON LOT 34 (NO. 36) MERIDIAN DRIVE TRARALGON JOB NO: 7209164 DATE: 26/04/21 F.C. DATE: 16/06/21 MST VER: 17.09.2020 PERMIT No: DRAWN: PCK CHKD: SHEET: 2 of 9	
FRAMING NOTES: * CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNLESS OTHERWISE NOTED) * PROVIDE 2NO. 90X45 JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL S-TP-DOOR-01 * ENSURE RETURN AIR GRILLE & VDO IS CLEAR OF TRUSS 4/OR FRAMING CONSTRUCTION		PERMIT NO: 3726096733239 ISSUED DATE: 14 JUL 2021 1250 FLP 16557 500 00000-000		DESIGN: LLOYD 25RF CEILING 25 L FAÇADE: LUMI GARAGE: DOUBLE LOCATION: L		AUSTRALIAN BUILDING CO. TRARALGON 501 Boddum Road, Mount Waverley Vic 3146, Tel: 03 9542 4699 Fax: 03 9542 4988 Building Practitioner Reg. No. DB-18829 ACN 603 519 366 www.australianbuildingcompany.com.au © COPYRIGHT 2014. REPRODUCTION FORBIDDEN Unauthorized use, reproduction or caption is forbidden and will be prosecuted.		OWNER: MR A. & MRS K. FERGUSON LOT 34 (NO. 36) MERIDIAN DRIVE TRARALGON JOB NO: 7209164 DATE: 26/04/21 F.C. DATE: 16/06/21 MST VER: 17.09.2020 PERMIT No: DRAWN: PCK CHKD: SHEET: 2 of 9	

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. S-TYP-LUMI-01

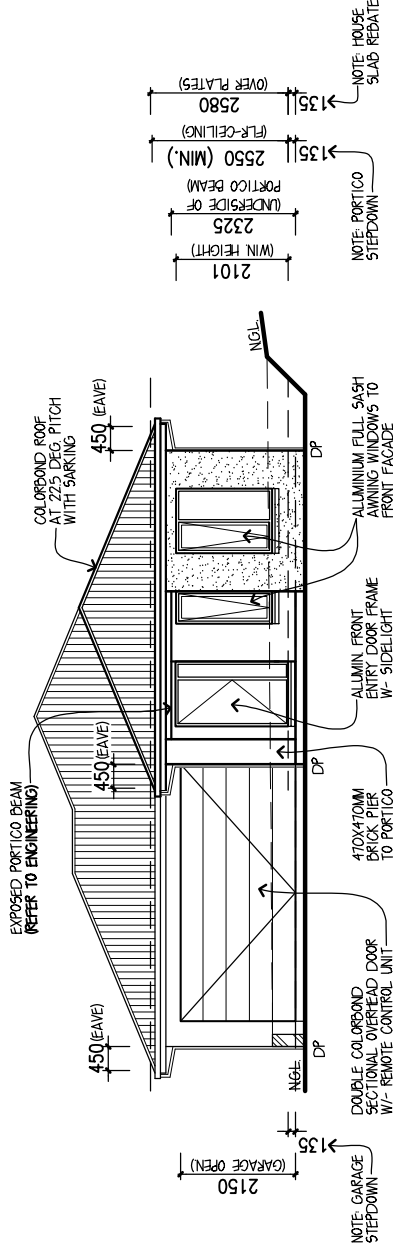
IMPORTANT NOTE:
REFER TO SOIL ENGINEERS PLANS
FOR ARTICULATION JOINT LOCATIONS

PROVIDE F.C. SHEET INFILL ABOVE
ALL SIDE AND REAR ELEVATION
WINDOWS & DOORS UNLESS NOTED
OTHERWISE

PROVIDE BRICKWORK ABOVE FRONT
ELEVATION WINDOWS & FRONT
ENTRY DOOR FRAME AND GARAGE
DOOR OPENING (UNLESS NOTED
OTHERWISE).

IMPORTANT NOTE:
PROVIDE ALUM. MESH INSECT
SCREENS TO ALL STANDARD
OPENABLE WINDOWS
(EXC. GARAGE) & SLIDING DOORS.

2 COAT RENDER
FINISH TO BRICKWORK



ELEVATION A.

WATERSHED BUILDING CONSULTANTS
APPROVED DOCUMENT
PERMIT NO: 3726096783239
ISSUED DATE: 14 Jul 2021



ELEVATION B.

ELEVATIONS 1:100

- NOTES:
- * WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS UNLO.
 - * ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS, & WITH A.S. 4055-2012 FOR WINDLOADING.
 - * WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
 - * WINDOWS TO COMPLY WITH N.C.C. 3.9.2.6 & 3.9.2.7
 - * GUTTER AND DRAINAGE SYSTEM TO COMPLY WITH A.S. 3500
 - * ROOF PITCH IS TO BE VERIFIED BY THE ARCHITECT
 - * ROOF PITCH IS TO BE VERIFIED BY THE ARCHITECT
 - * ARTICULATION JOINTS AS PER METRICON STANDARD PRACTICES
 - * SARKING TO ROOF TO BE INSTALLED AS PER NCC3.5.2.4
 - * ANTI-PONDING DEVICE/BOARD TO BE INSTALLED AS PER NCC 3.5.2.5 TO TILED SARKED ROOFS W/ PITCH LESS THAN 20°
 - * TILED ROOFS W/ - NO EAVES (REFER S-TYP-ROOF-06)

CONSTRUCTION DRAWINGS ... 16 JUN 21 ...
The Owner acknowledges that these are the final plans as varied, and supersede any prior plans signed,
No further variations permitted
Signed:
Date:

VARIATIONS(V), RE-PREPS(R), AMENDMENTS(A):			
No:	Date:	Drawn/Checked:	No:
A01	26/04/21	PKC	--
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

DESIGN: LLOYD 25RF	CEILING 25. L
FACADE: LUMI	LOCATION L
GARAGE: DOUBLE	
ELEVATIONS	
VA6L025LUM5IR	
AUSTRALIAN BUILDING COMPANY OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.	

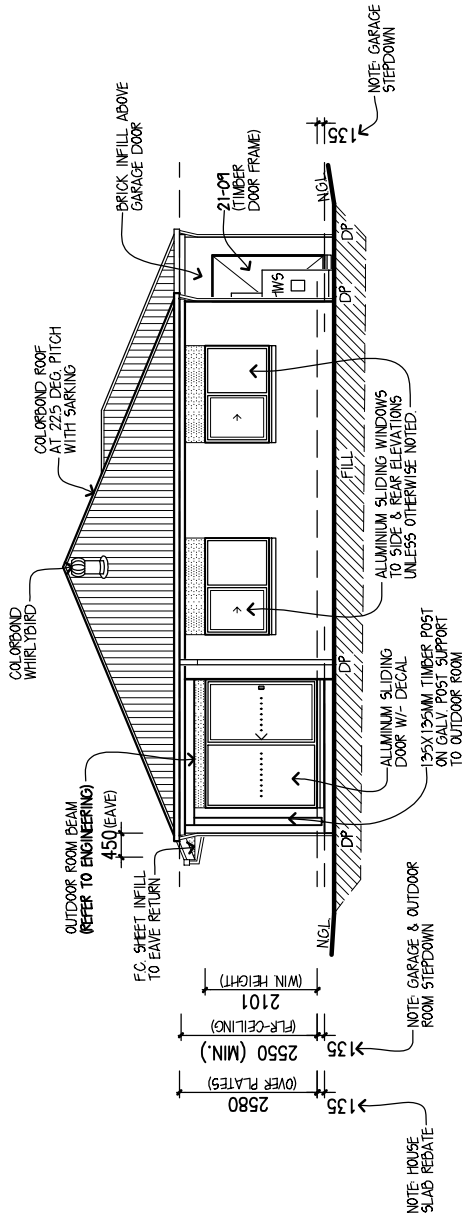
OWNER: MR A. & MRS K. FERGUSON	
LOT 34 (NO. 36) MERIDIAN DRIVE	
TRARALGON	
JOB NO: 720964	DATE: 26/04/21
F.C. DATE: 16/06/21	MST VER: 17.09.2020
PERMIT NO:	
DRAWN: PKC	CHECKED:
SHEET: 3 of 9	

IMPORTANT NOTE:
REFER TO SOIL ENGINEERS PLANS
FOR ARTICULATION JOINT LOCATIONS

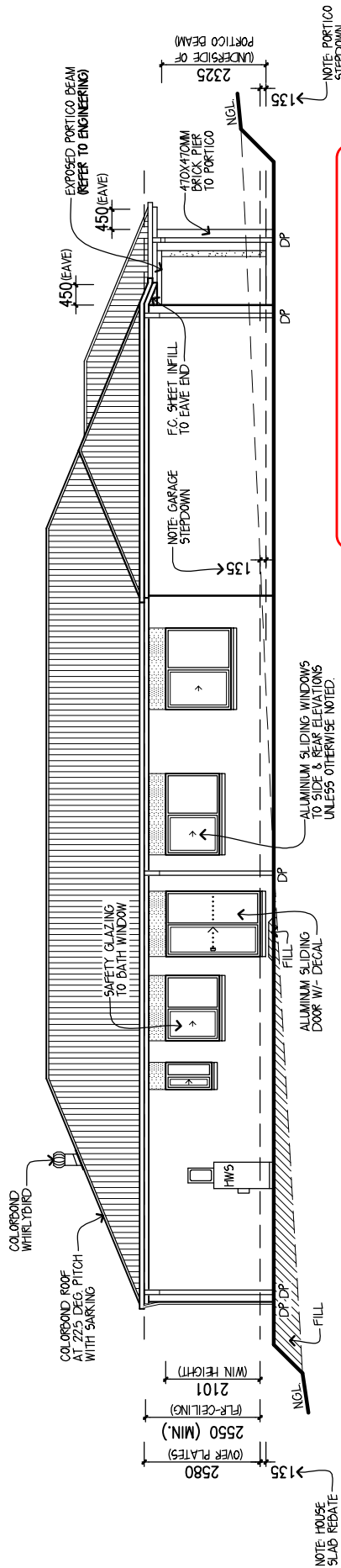
PROVIDE F.C. SHEET INFILL ABOVE
ALL SIDE AND REAR ELEVATION
WINDOWS & DOORS UNLESS NOTED
OTHERWISE

IMPORTANT NOTE:
PROVIDE ALUM. MESH INSECT
SCREENS TO ALL STANDARD
OPENABLE WINDOWS
(EXC. GARAGE) & SLIDING DOORS.

2 COAT RENDER
FINISH TO BRICKWORK



ELEVATION C.



ELEVATION D.

WATERSHED BUILDING CONSULTANTS
APPROVED DOCUMENT
PERMIT NO: 3726096783239
ISSUED DATE: 14 Jul 2021

ELEVATIONS 1:100

- NOTES:
- * WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS UNLO.
 - * ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS, & WITH A.S. 4055-2012 FOR WINDLOADING.
 - * WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
 - * WINDOWS TO COMPLY WITH N.C.C. 3.9.2.6 & 3.9.2.7
 - * GUTTER AND DRAINAGE SYSTEM TO COMPLY WITH A.S. 3500
 - * ROOF PITCH IS TO BE APPLIED OVER THE ENTIRE ROOF AREA UNLESS OTHERWISE NOTED
 - * ARTICULATION JOINTS AS PER METRICON STANDARD PRACTICES
 - * SARKING TO ROOF TO BE INSTALLED AS PER NCC 3.5.2.4
 - * ANTI-PONDING DEVICE/BOARD TO BE INSTALLED AS PER NCC 3.5.2.5 TO TILED SARKED ROOFS W/-PITCH LESS THAN 20°
 - * TILED ROOFS W/- NO EAVES (REFER S-TYP-ROOF-06)

CONSTRUCTION DRAWINGS 6.11.21

The Owner acknowledges that these are the final plans as varied, and supersede any prior plans signed.

No further variations permitted

Signed:
Date:

DESIGN: LLOYD 25RF	25. L
FACADE: LUMI	CEILING
GARAGE: DOUBLE	LOCATION L
ELEVATIONS	
VA6L025LUM5IR	
AUSTRALIAN BUILDING COMPANY OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTION IS FORBIDDEN AND WILL BE PROSECUTED.	

OWNER: MR A. & MRS K. FERGUSON	
LOT 34 (NO. 36) MERIDIAN DRIVE	
TRARALGON	
JOB NO: 720964	DATE: 26/04/21
F.C. DATE: 16/06/21	MST VER: 17.09.2020
PERMIT NO:	
DRAWN: PCK	CHECKED:
SHEET: 4 of 9	

FORM 16
Regulation 192
Building Act 1993
Building Regulations 2018

Occupancy Permit

For Building Permit Number: 3726096783239
Job No. 21/02455

Property details

Number 38	Street/road Meridian Drive	City/suburb/town TRARALGON	Postcode 3844
Lot/s 34	LP/PS PS826061Y	Volume 12278	Folio 279
Crown allotment	Section	Parish	County
Municipal District Latrobe City Council			

Building permit details

Building permit number **3726096783239**
Version of BCA applicable to building permit **NCC 2019 Volume 2**

Description of building work: **dwelling, garage & retaining wall**

BCA	BCA Description	NOW	Part
1a(a)	Detached house	New Building	All
10a	Garage, carport, shed or storage facility	New Building	All of attached garage
10b	Fence, mast or antenna, wall, swimming pool	New Building	All of retaining wall

Reporting authorities *(delete if inapplicable)*

The following bodies are prescribed reporting authorities for the purposes of the application for this permit in relation to the matters set out below:

Date Approved	Authority	Matter	Regulation
09 Jun 2021	Council	Consent for side and rear setbacks	79
04 Mar 2021	Council	LPOD info from Council	133

Suitability for occupancy

At the date this occupancy permit is issued, the building to which this permit applies is suitable for occupancy.

Relevant Building Surveyor

Name: **Watershed Building Consultants Pty Ltd**

Registration No. **CBS-U 65767**

Signature:



Certificate Number: **3726096783239**

Date Of Issue: **03 March 2022**

Date of final inspection: **01 March 2022**

Conditions:

- This occupancy permit is invalid if the cooking appliances, hot water service and rain water tank (if applicable) are not installed prior to 'hand over' between the builder and the owner. The owner must contact Watershed Building Consultants on 9791 3355 (Dandenong) or 5176 5888 (Traralgon) if this condition is not met so that the Occupancy Permit can be cancelled immediately.

Domestic Building Insurance

Certificate of Insurance

Katie Ferguson, Andrew John Benjamin Ferguson

**89 Berwick Springs Promenade
NARRE WARREN
VIC 3805**

Policy Number:
C609188

Policy Inception Date:
18/05/2021

Builder Account Number:
006598

A contract of insurance complying with the Ministerial Order for Domestic Building Insurance issued under Section 135 of the Building Act 1993 (Vic) (Domestic Building Insurance) has been issued by the insurer Victorian Managed Insurance Authority a Statutory Corporation established under the Victorian Managed Insurance Authority Act 1996 (Vic), in respect of the domestic building work described below.

Policy Schedule Details

Domestic Building Work: **C01: New Single Dwelling Construction**

At the property: **Lot 34 Meridian Drive TRARALGON VIC 3844 Australia**

Carried out by the builder: **AUSTRALIAN BUILDING COMPANY PTY LTD**

Builder ACN: **603519366**

! If the builder's name and/or its ABN/ACN listed above does not exactly match with the information on the domestic building contract, please contact the VMIA. If these details are incorrect, the domestic building work will not be covered.

For the building owner(s): **Katie Ferguson, Andrew John Benjamin Ferguson**

Pursuant to a domestic building contract dated: **16/05/2021**

For the contract price of: **\$ 276,053.00**

Type of Cover: **Cover is only provided if AUSTRALIAN BUILDING COMPANY PTY LTD has died, becomes insolvent or has disappeared or fails to comply with a Tribunal or Court Order ***

The maximum policy limit for claims made under this policy is: **\$300,000 all inclusive of costs and expenses ***

The maximum policy limit for non-completion claims made under this policy is: **20% of the contract price limited to the maximum policy limit for all claims under the policy***

PLEASE CHECK

If the information on this certificate does not match what's on your domestic building contract, please contact the VMIA immediately on 1300 363 424 or email dbi@vmia.vic.gov.au

IMPORTANT

This certificate must be read in conjunction with the policy terms and conditions and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the period of cover.

* The cover and policy limits described in this certificate are only a summary of the cover and limits and must be read in conjunction with, and are subject to the terms, conditions, limitations and exclusions contained in the policy terms and conditions.

Period of Cover

Cover commences on the earlier of the date of the domestic building contract or date of building permit for the domestic building work and concludes:

- Two years from completion of the domestic building work or termination of the domestic building contract for non structural defects*
- Six years from completion of the domestic building work or termination of the domestic building contract for structural defects*

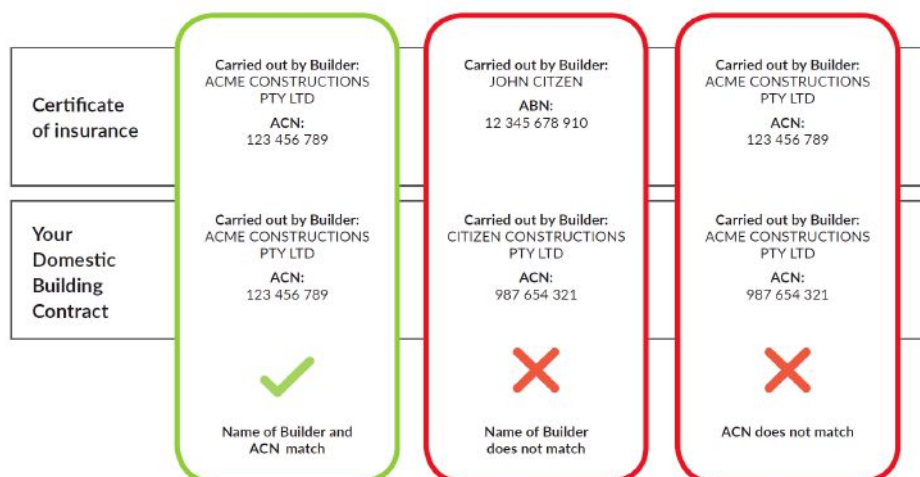
Subject to the Building Act 1993, and the Ministerial Order and the conditions of the insurance contract, cover will be provided to the building owner named in the domestic building contract and to the successors in title to the building owner in relation to the domestic building work undertaken by the Builder.

Issued by Victorian Management Insurance Authority (VMIA)

Domestic Building Insurance Premium and Statutory Costs

Base DBI Premium:	\$675.00
GST:	\$67.50
Stamp Duty:	\$74.25
Total:	\$816.75

If the information on the certificate does not match exactly what is on your domestic building contract, please contact VMIA on 1300 363 424
Below are some example of what to look for



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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 12278 FOLIO 279

Security no : 124137108890C
Produced 30/07/2026 10:55 AM

LAND DESCRIPTION

Lot 34 on Plan of Subdivision 826061Y.
PARENT TITLE Volume 12275 Folio 023
Created by instrument PS826061Y 18/01/2021

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
ANDREW JOHN BENJAMIN FERGUSON
KATIE FERGUSON both of 89 BERWICK SPRINGS PROMENADE NARRE WARREN SOUTH VIC
3805
AU086428F 26/02/2021

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE BA340016F 23/04/2026
MACQUARIE BANK LTD

COVENANT PS826061Y 18/01/2021

COVENANT AW687548B 19/04/2023
Expiry Date 01/01/2040

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS826061Y FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
BA340015H (E)	DISCHARGE OF MORTGAGE	Registered	23/04/2026
BA340016F (E)	MORTGAGE	Registered	23/04/2026

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 38 MERIDIAN DRIVE TRARALGON VIC 3844

ADMINISTRATIVE NOTICES

NIL

eCT Control 18440T MSA NATIONAL
Effective from 23/04/2026

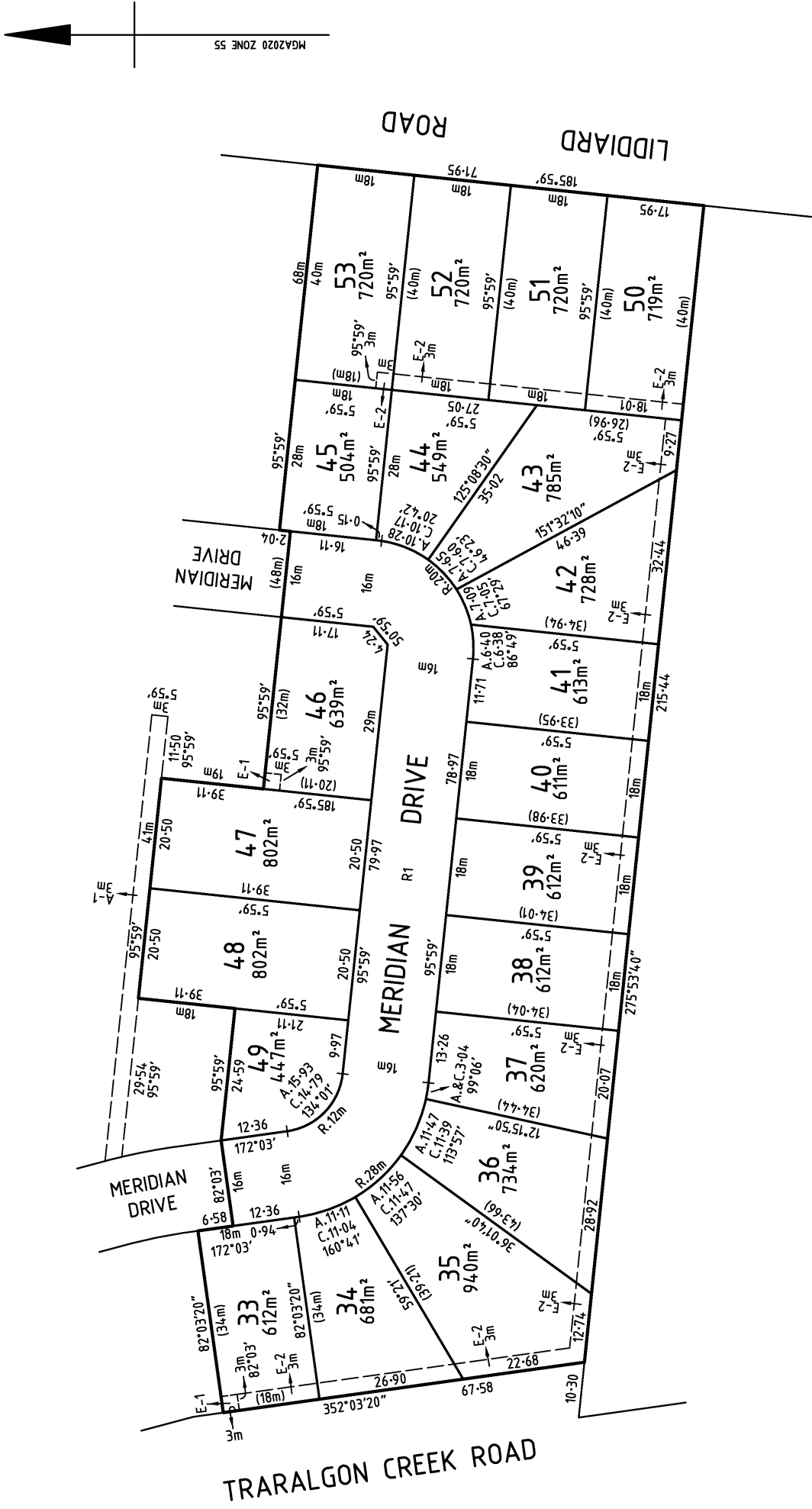
DOCUMENT END

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survey@millarmerrigan.com.au
SAI GLOBAL Quality ISO 9001

Land Development Consultants
Millar & Merrigan Pty Ltd ACN 005 541 668
Metro 2/126 Merrindale Drive, Croydon 3136
Regional 156 Commercial Road, Morwell 3840
Mail PO Box 247 Croydon, Victoria 3136

PS826061Y



SCALE 1:750		7.5	0	7.5	15	22.5	30
ORIGINAL SHEET SIZE: A3		LENGTHS ARE IN METRES					
SURVEYOR'S REF: 25320S2		31/08/2020		SHEET 2			
Digitally signed by: Geoffrey John Ladrner, Licensed Surveyor, Surveyor's Plan Version (2), 01/09/2020, SPEAR Ref: S157081B		Digitally signed by: Latrobe City Council, 29/10/2020, SPEAR Ref: S157081B					

Millar | Merrigan

Land Development Consultants
Miller & Merrigan Pty Ltd ACN 005 541 668
Metro 2/126 Merindale Drive, Crofton 3136
Regional 166 Commercial Road, Morwell 3840
Mail PO Box 247 Crofton, Victoria 3136

M(03) 8720 9500 R (03) 5134 8611
www.millarmerrigan.com.au
survey@millarmerrigan.com.au
SAS GLOBAL Quality ISO 9001

Amended by: Geoffrey John Ladrner, Licensed Surveyor 18/01/2021.



Department of Transport and Planning

Electronic Instrument Statement

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Produced: 31/07/2026 12:09:21 PM

Dealing Number: AW687548B

Status: Registered

Date and Time Lodged: 31/03/2023 09:36:51 AM

Responsible Subscriber: PRIOR LAW

Customer Code: 16524X

Reference: 230099

RESTRICTION CREATION, REMOVAL OR VARIATION

The applicant applies for registration of the plan of creation of a restriction under Section 23 of the Subdivision Act 1988.

Burdened Land:

VOLUME: 12278 FOLIO: 297

Benefited Land:

VOLUME: 12278 FOLIO: 298

VOLUME: 12278 FOLIO: 278

VOLUME: 12278 FOLIO: 279

VOLUME: 12278 FOLIO: 280

VOLUME: 12278 FOLIO: 281

VOLUME: 12278 FOLIO: 282

VOLUME: 12278 FOLIO: 283



Department of Transport and Planning

Electronic Instrument Statement

VOLUME: 12278 FOLIO: 284

VOLUME: 12278 FOLIO: 285

VOLUME: 12278 FOLIO: 286

VOLUME: 12278 FOLIO: 287

VOLUME: 12278 FOLIO: 288

VOLUME: 12278 FOLIO: 289

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VOLUME: 12278 FOLIO: 292

VOLUME: 12278 FOLIO: 293

VOLUME: 12278 FOLIO: 294

VOLUME: 12278 FOLIO: 295

VOLUME: 12278 FOLIO: 296

Applicant(s):

LABCORP CONSTRUCTION MANAGEMENT PTY LTD (ACN/ARBN: 102977168)

10 LEICHARDT COURT SANDHURST VIC 3977

Council in which land is located:

Latrobe City Council

SPEAR Reference Number:

S208654T

Execution:

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument



Department of Transport and Planning

Electronic Instrument Statement

or Document.

4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of LABCORP CONSTRUCTION MANAGEMENT PTY LTD

Signer Name FRANCIS CLIFFORD LIDDICOAT-PITTS

Signer Organisation PRIOR LAW

Signer Role LAW PRACTICE

Execution Date 29 March 2023

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Instrument
Document Identification	AW687548B
Number of Pages (excluding this cover sheet)	1
Document Assembled	31/07/2026 12:09

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The document is invalid if this cover sheet is removed or altered.

PLAN OF CREATION OF RESTRICTION			EDITION 1		AW687548B	
LOCATION OF LAND PARISH: TRARALGON CROWN ALLOTMENT: 74B (PART) TITLE REFERENCE: VOL.12278 FOL.297 LAST PLAN REFERENCE: PS826061Y LOT 52 POSTAL ADDRESS: 1C LIDDIARD ROAD, (at time of subdivision) TRARALGON, 3844 MGA CO-ORDINATES E: 460 515 ZONE: 55 (at approx centre of land in plan) N: 5770 320 GDA2020			Council Name: Latrobe City Council Council Reference Number: 2023/11/RES Planning Permit Reference: 2021/195 SPEAR Reference Number: S208654T Certification This plan is certified under section 6 of the Subdivision Act 1988 Statement of Compliance This is a statement of compliance issued under section 21 of the Subdivision Act 1988 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has not been made Digitally signed by: Nicholas Anthony Torcasio for Latrobe City Council on 29/03/2023			
VESTING OF ROADS AND/OR RESERVES			NOTATIONS			
IDENTIFIER		COUNCIL/BODY/PERSON		PURPOSE OF THIS PLAN		
NIL		NIL		CREATION OF RESTRICTION THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THIS RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND BURDENED LAND: VOL.12278 FOL.297 (PS826061Y, LOT 52) BENEFITED LAND: LOTS 33-51 & 53 ON PS826061Y DESCRIPTION OF RESTRICTION THE BURDENED LAND CANNOT BE USED EXCEPT IN ACCORDANCE WITH THE PROVISIONS RECORDED IN MCP: AA9072 EXPIRY DATE: 1 JANUARY 2040		
NOTATIONS						
DEPTH LIMITATION DOES NOT APPLY						
EASEMENT INFORMATION						
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)						
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of		
Millar Merrigan Land Development Consultants M(03) 8720 9500 R (03) 5134 8611 www.millarmerrigan.com.au survey@millarmerrigan.com.au SAI GLOBAL Quality ISO 9001			SURVEYOR'S REF: 27339M1 01/05/2023 Digitally signed by: Christopher Morelli, Licensed Surveyor, Surveyor's Plan Version (1), 22/02/2023, SPEAR Ref: S208654T		ORIGINAL SHEET SIZE: A3 PLAN REGISTERED TIME: 5:40PM DATE: 16/8/23 E.Thai Assistant Registrar of Titles	

PLANNING PROPERTY REPORT



Department
of Transport
and Planning

From www.planning.vic.gov.au at 30 July 2026 10:59 AM

PROPERTY DETAILS

Address: **38 MERIDIAN DRIVE TRARALGON 3844**
Lot and Plan Number: **Lot 34 PS826061**
Standard Parcel Identifier (SPI): **34\PS826061**
Local Government Area (Council): **LATROBE**
Council Property Number: **59745**
Planning Scheme: **Latrobe**
Directory Reference: **Vicroads 696 K10**

www.latrobe.vic.gov.au

[Planning Scheme - Latrobe](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
Urban Water Corporation: **Gippsland Water**
Melbourne Water: **Outside drainage boundary**
Power Distributor: **AUSNET**

STATE ELECTORATES

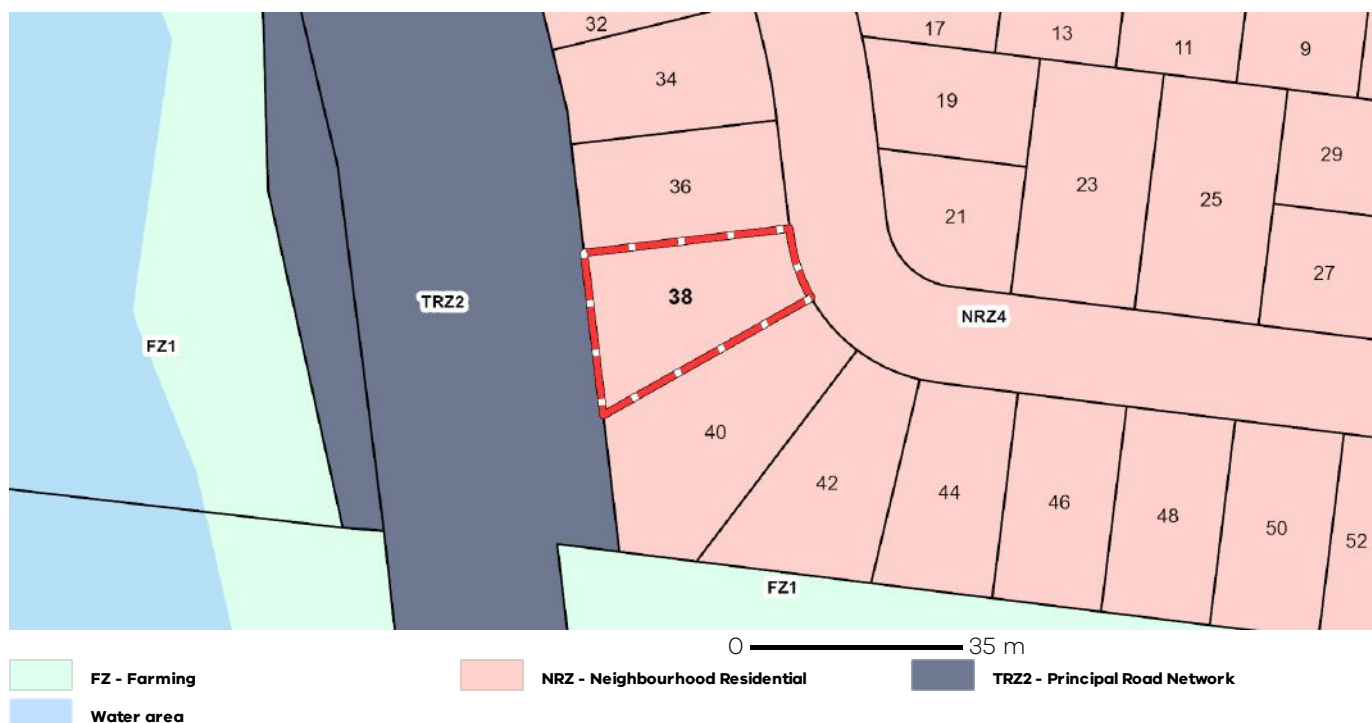
Legislative Council: **EASTERN VICTORIA**
Legislative Assembly: **MORWELL**
OTHER
Registered Aboriginal Party: **Gunaikurnai Land and Waters**
Aboriginal Corporation
Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

Planning Zones

[NEIGHBOURHOOD RESIDENTIAL ZONE \(NRZ\)](#)

[NEIGHBOURHOOD RESIDENTIAL ZONE - SCHEDULE 4 \(NRZ4\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Read the full disclaimer at <https://www.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

Planning Overlay

None affecting this land - there are overlays in the vicinity

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

[ENVIRONMENTAL SIGNIFICANCE OVERLAY \(ESO\)](#)

[FLOODWAY OVERLAY \(FO\)](#)

[PUBLIC ACQUISITION OVERLAY \(PAO\)](#)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Further Planning Information

Planning scheme data last updated on 30 July 2026.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.vic.gov.au/vicplan/>

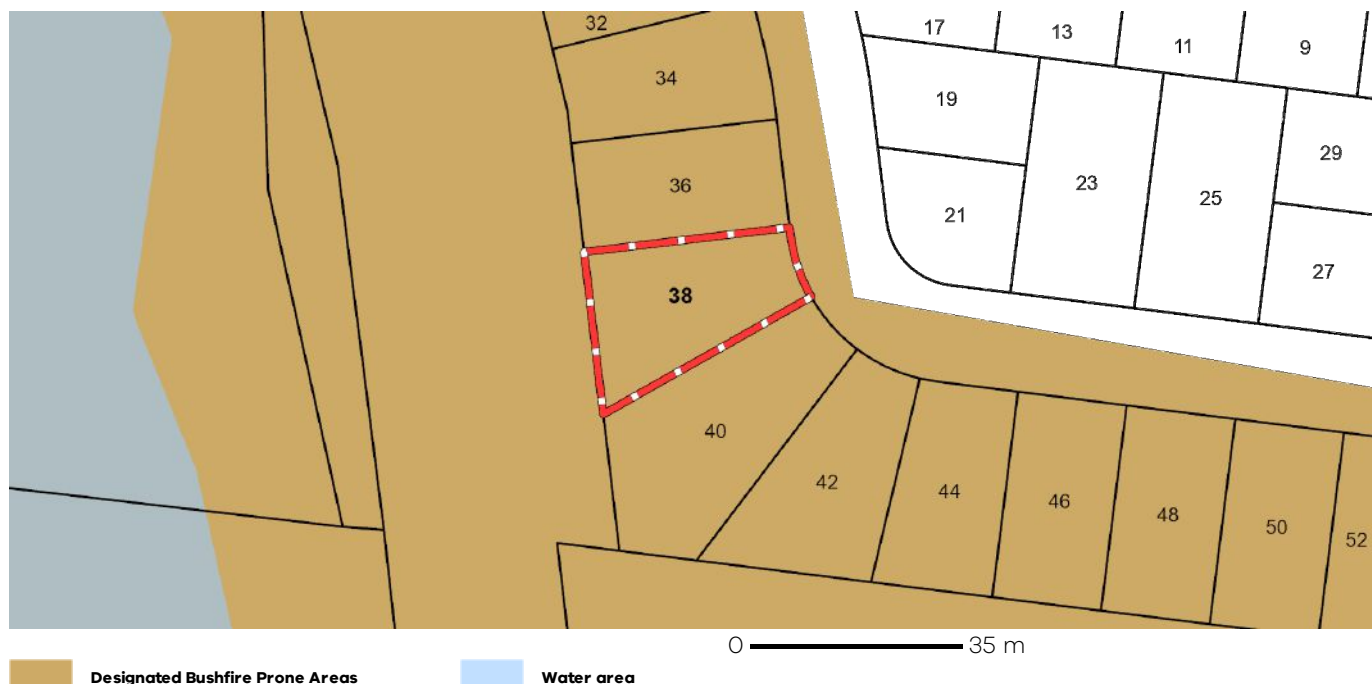
For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Native Vegetation

Native plants that are indigenous to Victoria and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Regulations Map (NVR Map) <https://mapshare.vic.gov.au/nvr/> and [Native vegetation \(environment.vic.gov.au\)](http://nativevegetation.environment.vic.gov.au) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](http://naturekit.environment.vic.gov.au)