

**PLANNING CONSENT**

PLAN No 1706/2025

**GRANTED**

RELEVANT AUTHORITY:  
Section 96 - ASSESSMENT MANAGER

REFER TO DECISION NOTIFICATION FORM FOR ANY CONDITIONS



STREETSCAPE VIEW FROM KENT STREET  
SCALE: NTS



**STEEL FRAME CONSTRUCTION**

**TORRENS TITLE**

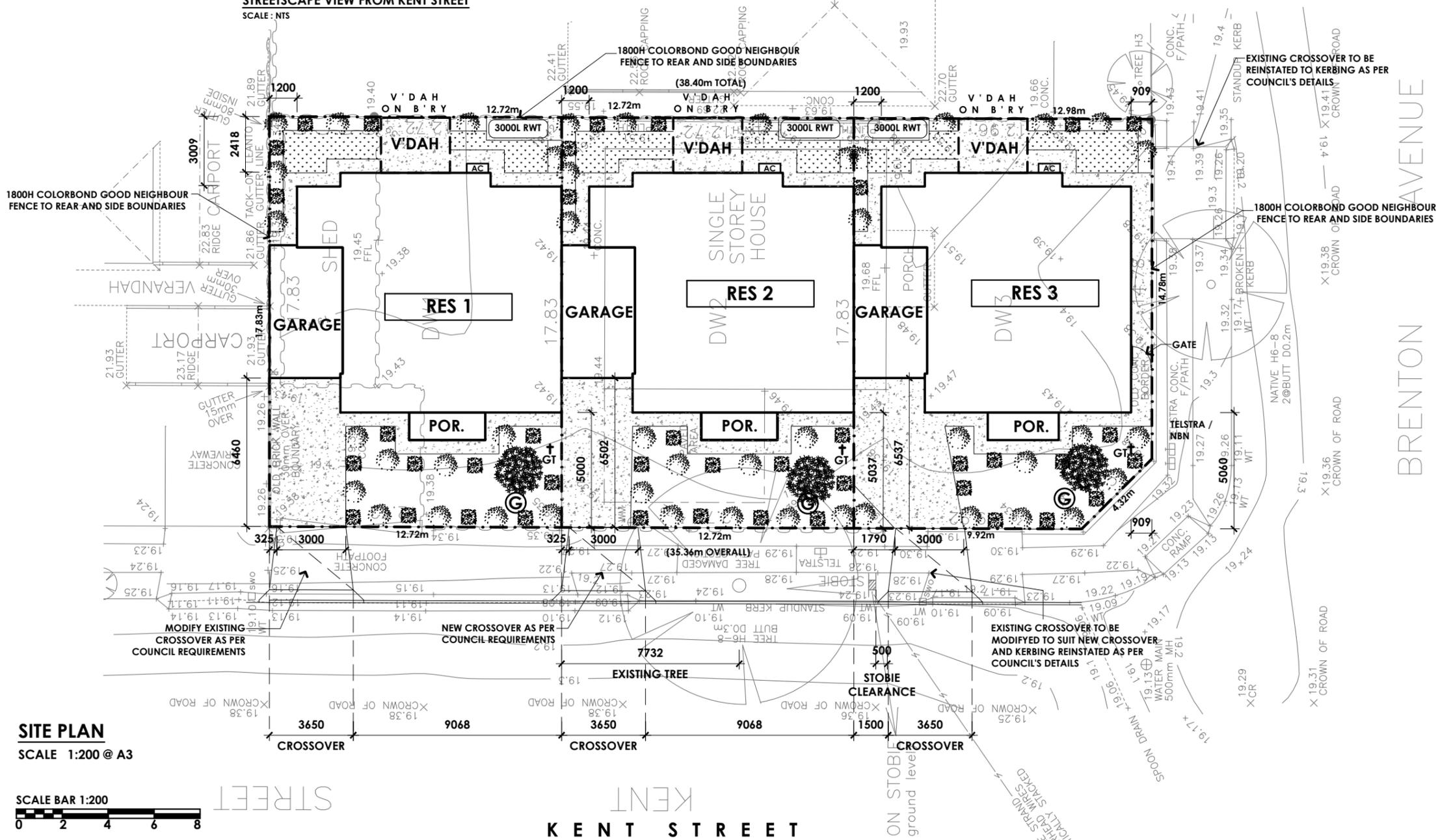
FOR SITE WORKS & DRAINAGE DETAILS REFER TO ENGINEERS CIVIL PLAN

ALL BOUNDARIES LENGTHS & ANGLES SHOWN INDICATIVELY - TBC WITH A SURVEY

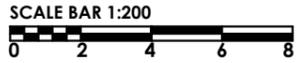
ALL EXTERNAL WORKS INCLUDING STORMWATER, RWT, PERIMETER PATHS, DRIVEWAY, CROSSOVER, LANDSCAPING, RETAINING WALLS & FENCING BY OWNER

**RES 1 & 2**  
SITE AREA - 227.00m<sup>2</sup>  
P.O.S - 30m<sup>2</sup>  
SITE COVERAGE - 58%  
FRONT LANDSCAPING - 58% (37.02m<sup>2</sup>)  
TOTAL LANDSCAPING - 24% (56.05m<sup>2</sup>)

**RES 3**  
SITE AREA - 227.00m<sup>2</sup>  
P.O.S - 38m<sup>2</sup>  
SITE COVERAGE - 55%  
FRONT LANDSCAPING - 48% (29m<sup>2</sup>)  
TOTAL LANDSCAPING - 20% (46.58m<sup>2</sup>)



**SITE PLAN**  
SCALE 1:200 @ A3



900W PERIMETER PATHS GENERALLY, UNLESS DIMENSIONED/ NOTED OTHERWISE.

**LANDSCAPING LEGEND**

- LAWN
- PLAIN GREY CONCRETE
- SMALL TREE (MATURE HEIGHT 4m MIN, MATURE SPREAD 2m MIN.) ORNAMENTAL PEAR OR SIMILAR
- LOW SHRUBS (TO 1.5m HIGH) DWARF BOTTLE BRUSH OR SIMILAR
- GROUND COVER CUT LEAF DAISY OR SIMILAR
- GAS METER
- GARDEN TAP ON STAKE WITH FLOOD GULLY BELOW (500mm FROM FENCE & 1500mm FROM HOME)

DATE	REVISION	BY	DATE	REVISION	BY
13.02.2025	CONCEPT DESIGN	LP			
12.03.2025	PLANNING DRAWINGS	BL			
28.04.2025	PD REV A - AMDS	BL			
22.05.2025	PD REV B - AMDS CROSSOVER	AB			

FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DRAWINGS. VERIFY DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. WALL STUDS TO WET AREAS TO BE SPACED AT 450mm MAX CENTRES. WHERE CARPORTS ARE PROVIDED THE OWNERS ACKNOWLEDGE THAT THE FOOTINGS HAVE NOT BEEN DESIGNED FOR FUTURE ENCLOSURES. COMPLY WITH THE BUILDING CODE OF AUSTRALIA, BUILDING ACT & REGULATIONS & RELEVANT AUSTRALIAN STANDARDS.

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COUNCIL ZONE:  
**MARION**

PROJECT:  
**x3 PROPOSED SINGLE STOREY DWELLINGS**

SITE ADDRESS:  
**7 BRENTON AVENUE (CNR. KENT ST.), SOUTH PLYMPTON**

CLIENT:  
**LOFTY**

DRAWN: **AB** REV: **B**  
JOB NO: **1713-1715**



# PLANNING CONSENT

PLAN NO 1706/2025

STEEL FRAM

**GRANTED**

RELEVANT AUTHORITY:  
Section 96 - ASSESSMENT MANAGER



CON

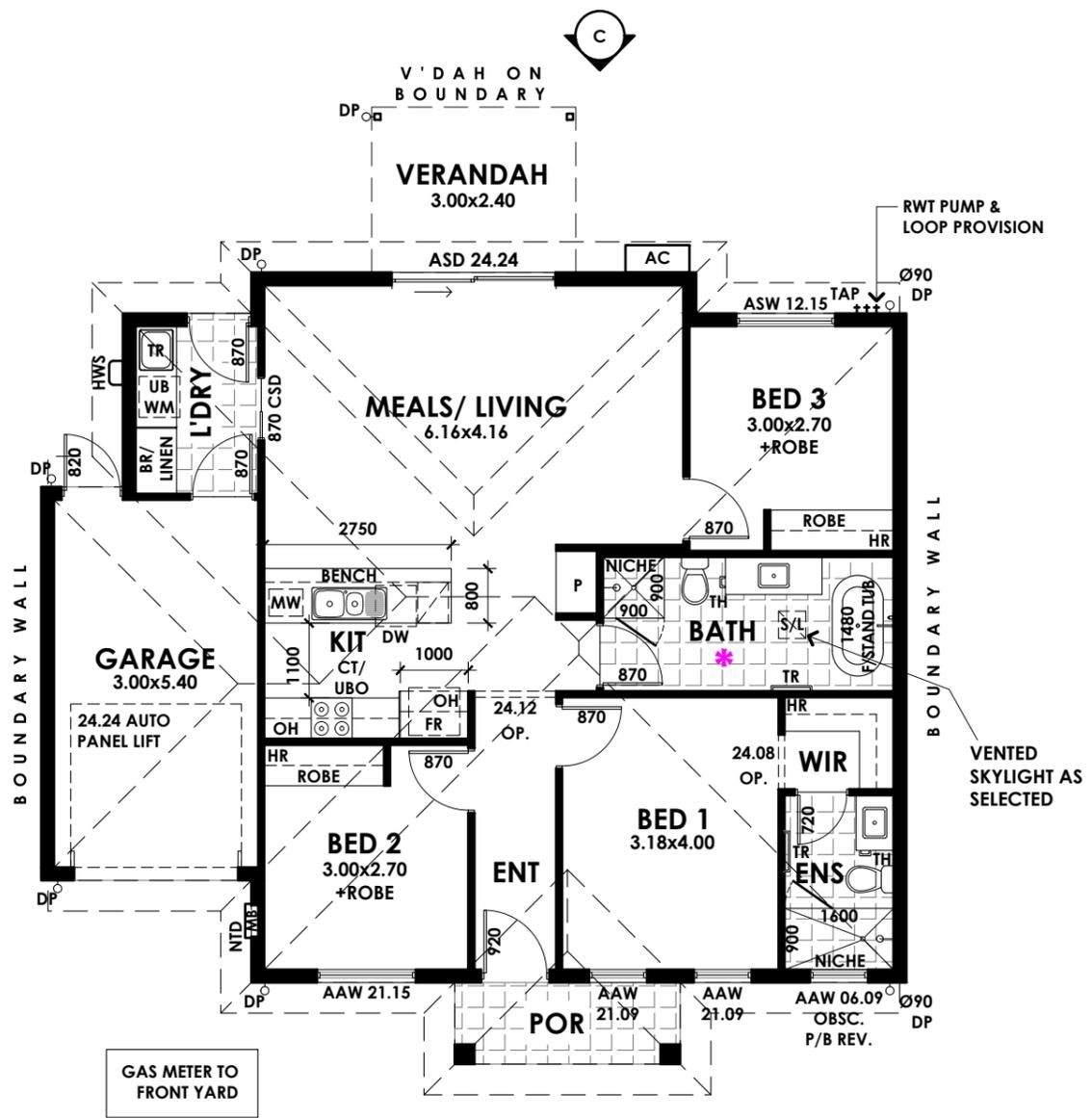
RES 1

\* DENOTES:  
BATH DESIGNED TO COMPLY W/-  
NCC 2022 LIVABLE HOUSING DESIGN  
REQUIREMENTS (SANITARY  
COMPARTMENT & SHOWERS)

AAC CONSTRUCTION

2700 CH

REFER TO DECISION NOTIFICATION FORM FOR ANY CONDITIONS



## FLOOR PLAN

SCALE 1:100 @ A3

SCALE BAR 1:100



### GENERAL LEGEND

CBD	CUPBOARD	FR	REFRIGERATOR	WM	WASHING MACHINE	MB	ELECTRICAL MAINBOARD
WP	FRIDGE WATER POINT	FZ	FREEZER	DP	PVC DOWNPIPE, PAINTED FINISH	AC	AIRCONDITIONING UNIT
PTRY	PANTRY WITH 4 ADJ. SHELVES	SHR	SHOWER	SD	SMOKE DETECTOR, HARD WIRED TO COMPLY WITH AS3786, CONNECTED TO CONSUMER MAINS POWER & INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM	OG	OBSCURE GLAZING
LINEN	LINEN CUPBOARD WITH 4 ADJ. SHELVES	DW	DISHWASHER LOCATION	HWS	HOT WATER SERVICE	RWT	RAINWATER TANK TO COUNCIL REQUIREMENTS
CT	COOKTOP	HR	ROBE HANGING ROD WITH HIGH SHELF				
BR	BROOM CUPBOARD	TR	LAUNDRY TROUGH				
WO	WALL OVEN	FT	FLOOR TRAP				
UBO	UNDER BENCH OVEN	VAN	VANITY BASIN				
OH	OVERHEAD JOINERY	WM	WASHING MACHINE				

### BATHROOM ACCESSORIES DETAILS:

TRH	TOILET ROLL HOLDER SET @900mm AFL PROVIDE 90x35 NOGGINS ON FLAT BETWEEN STUDS FLUSH WITH INTERNAL STUD LINE, 600mm FROM WALL CORNER.	MX	SHOWER WALL MIXER SET @1000mm AFL SHOWER HEAD OUTLET SET @1900mm FFL BATH TUB WALL OUTLET & MIXER SET @700 AFL
TR	TOWEL RAIL SET @1100mm AFL OR SET @1500mm AFL IF ABOVE BATH PROVIDE 90x35 NOGGINS ON FLAT BETWEEN STUDS FLUSH WITH INTERNAL STUD LINE, 275mm FROM WALL CORNER.	HTR	HAND TOWEL HOLDER SET @1400mm AFL PROVIDE 90x35 NOGGINS ON FLAT BETWEEN STUDS FLUSH WITH INTERNAL STUD LINE, 275mm FROM WALL CORNER.

### NOTES

- JOINERY LAYOUTS MAY VARY DEPENDING ON SELECTIONS.
- TO BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS.
- PROVIDE TIMBER NOGGINGS FOR FIXING SUPPORT IN WALLS FOR O/HEAD SHELVING/CUPBOARDS, TAPWARE AND FIXTURES.
- PROVIDE 50mm MIN. FROM FACE OF WALL TO HINGE SIDE OF DOORS UNLESS OTHERWISE DIMENSIONED.

### PORCH/ALFRESCO SETDOWN

- 50mm SETDOWN WITH BROOMED FINISH AND TOOLED EDGES.
- DOORS**
- 2040 INTERNAL DOOR HEIGHTS UNLESS OTHERWISE INDICATED.
- 2340 EXTERNAL DOOR HEIGHTS UNLESS OTHERWISE INDICATED.
- PROVIDE 50mm MIN. FROM FACE OF WALL TO HINGE SIDE OF DOORS UNLESS OTHERWISE DIMENSIONED.

AREAS	m <sup>2</sup>
LIVING	103.04
GARAGE	18.34
PORCH	3.98
V'DAH	7.20
TOTAL	132.56

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22.05.2025	PD REV B - AMDS CROSSOVER	AB			

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COUNCIL ZONE:  
**MARION**

PROJECT:  
**x3 PROPOSED SINGLE STOREY DWELLINGS**

SITE ADDRESS:  
**7 BRENTON AVENUE (CNR. KENT ST.), SOUTH PLYMPTON**

CLIENT:  
**LOFTY**

DRAWN: **AB** REV: **B**

JOB NO: **1713-1715**



**PLANNING CONSENT**

PLAN NO. 1706/2025

STEEL FRAM

CON

RES 1

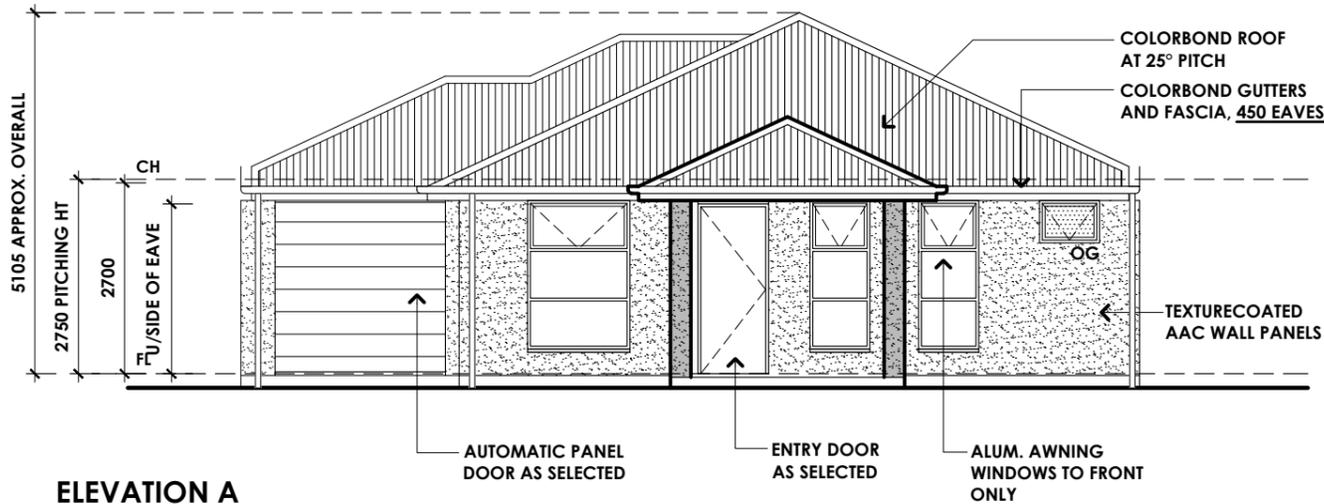
**WINDOW NOTE:**  
REFER TO FLOOR PLANS  
FOR WINDOW DIMENSIONS

**GRANTED**

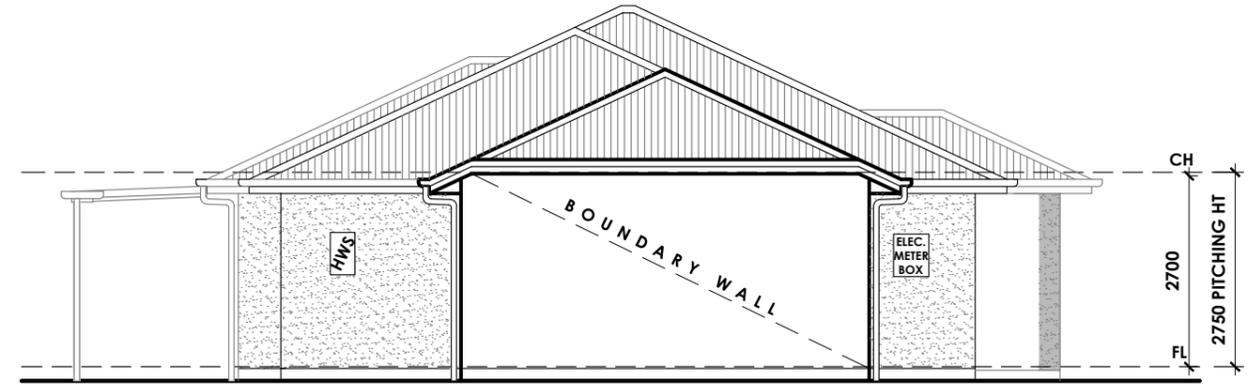
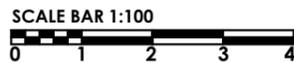
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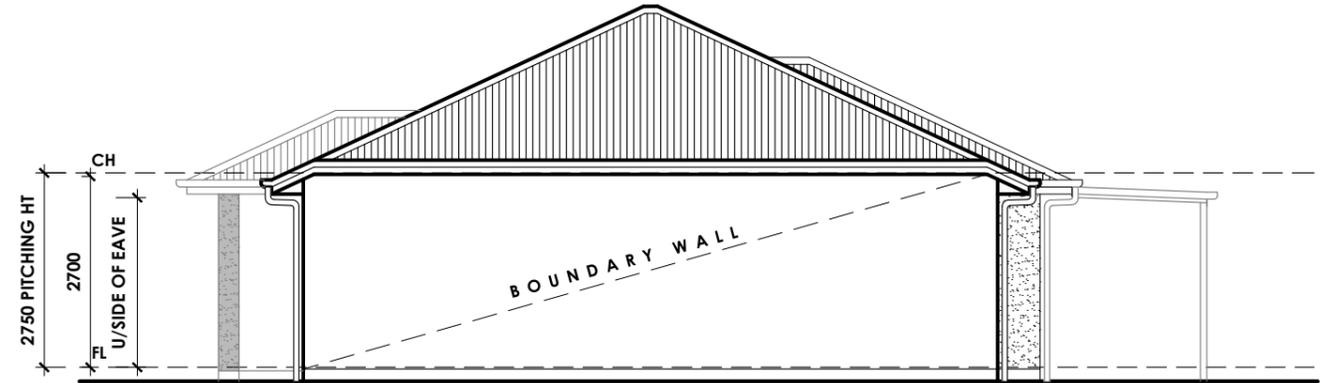
**ELEVATION A**  
SCALE 1:100 @ A3



**ELEVATION B**  
SCALE 1:100 @ A3



**ELEVATION C**  
SCALE 1:100 @ A3



**ELEVATION D**  
SCALE 1:100 @ A3

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**DRAWN:** AB **REV:** B  
**JOB NO:** 1713-1715



**PLANNING CONSENT**

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STEEL FRAM

CON

RES 1

**GRANTED**

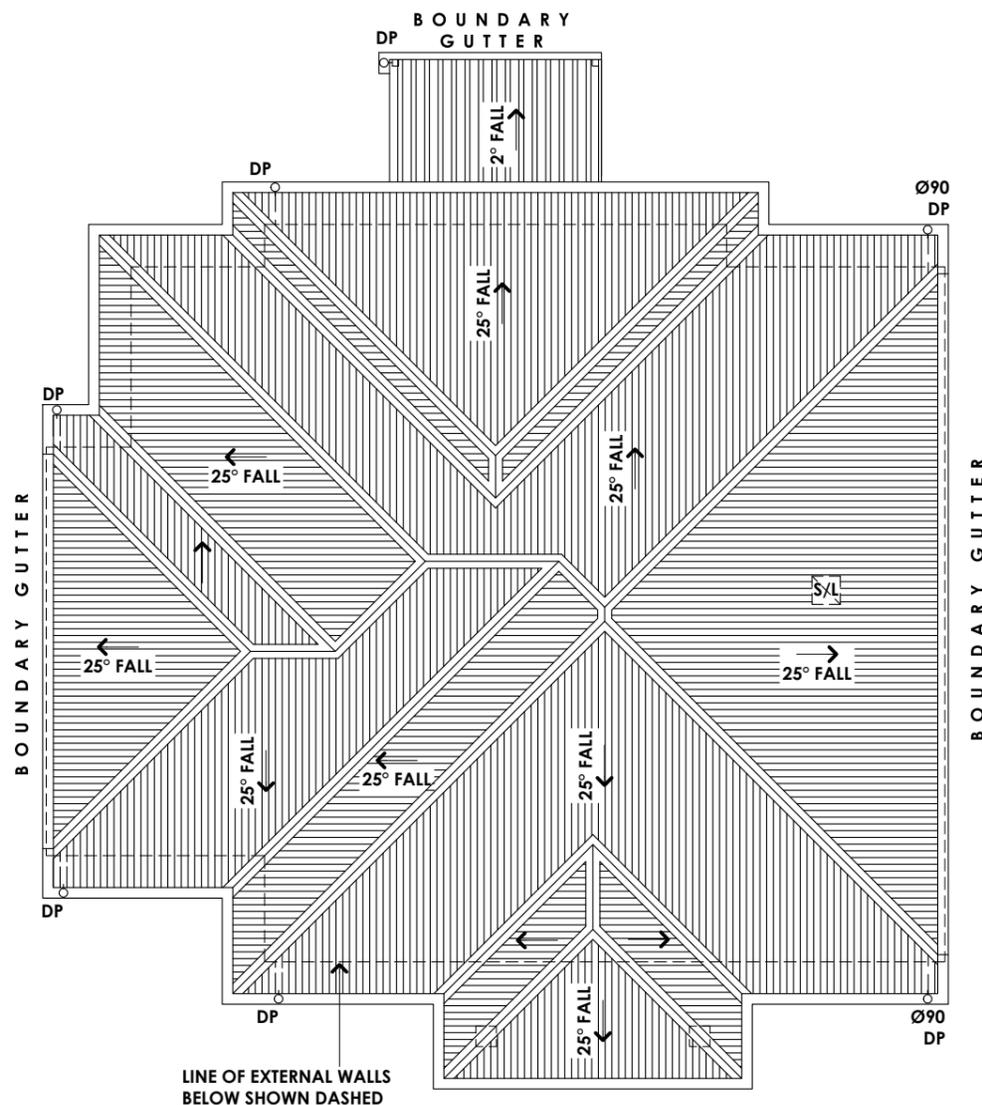
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REFER TO DECISION NOTIFICATION FORM FOR ANY CONDITIONS

**ROOF SPECIFICATION**

ROOF MATERIAL	COLORBOND CUSTOM ORB (OR SIMILAR) ROOF ON 25° PITCH
GUTTER TYPE	125 D GUTTER
FASCIA TYPE	COLORBOND METAL FASCIA
DOWNPIPE SIZE	75mm WITH SHARP BENDS (UNLESS NOTED OTHERWISE)
VERANDAH	METAL DECK ROOF ON 2° PITCH



**ROOF PLAN**

SCALE 1:100 @ A3

SCALE BAR 1:100



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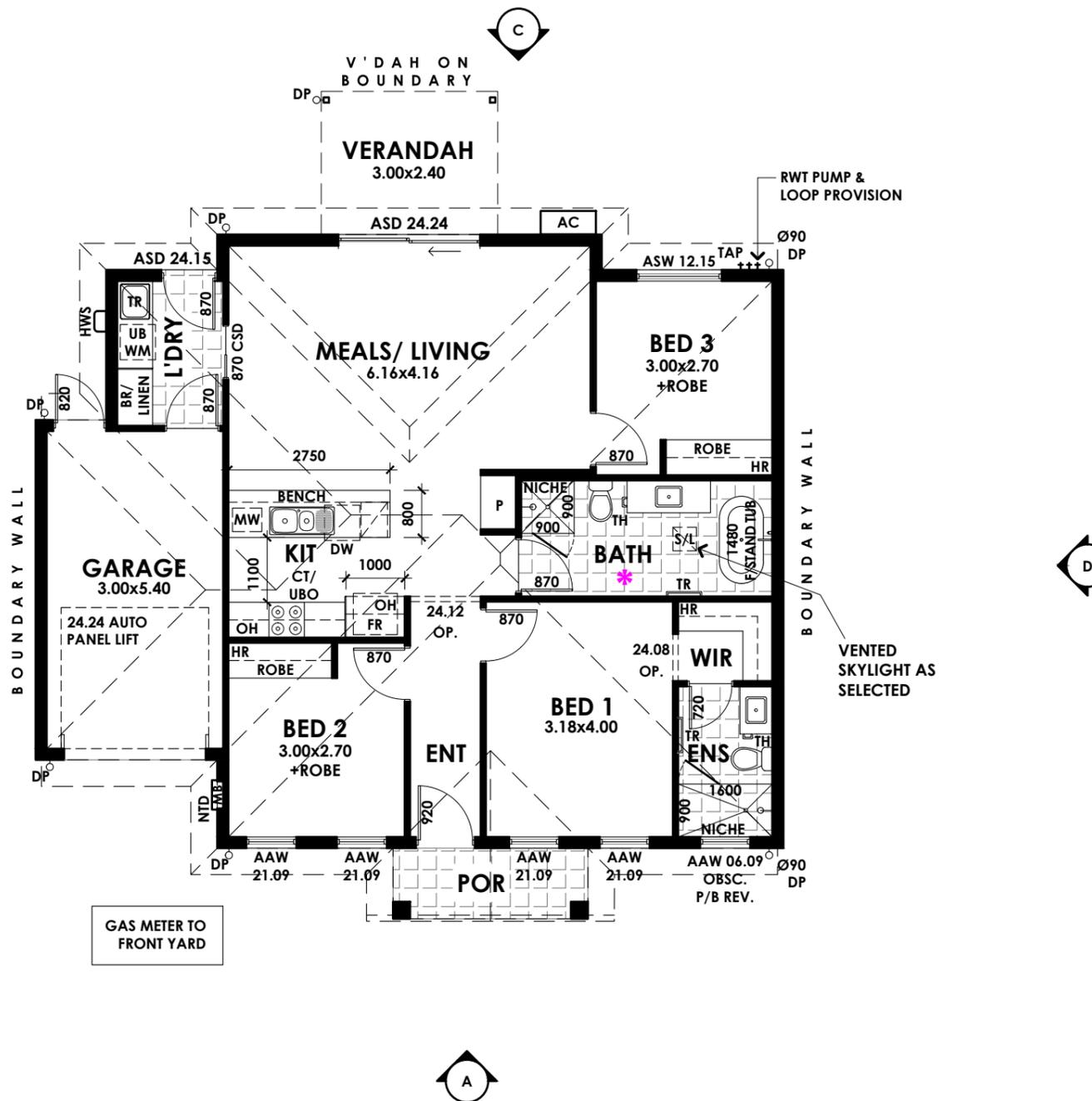
RES 2

\* DENOTES:  
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COMPARTMENT & SHOWERS)

AAC CONSTRUCTION

2700 CH

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### GENERAL LEGEND

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### NOTES

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### PORCH/ALFRESCO SETDOWN

- 50mm SETDOWN WITH BROOMED FINISH AND TOOLED EDGES.
- DOORS**
- 2040 INTERNAL DOOR HEIGHTS UNLESS OTHERWISE INDICATED.
- 2340 EXTERNAL DOOR HEIGHTS UNLESS OTHERWISE INDICATED.
- PROVIDE 50mm MIN. FROM FACE OF WALL TO HINGE SIDE OF DOORS UNLESS OTHERWISE DIMENSIONED.

AREAS	m <sup>2</sup>
LIVING	106.70
GARAGE	19.08
PORCH	3.98
V'DAH	7.20
TOTAL	136.96

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**x3 PROPOSED SINGLE STOREY DWELLINGS**

SITE ADDRESS:  
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CLIENT:  
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DRAWN: **AB** REV: **B**

JOB NO: **1713-1715**



**PLANNING CONSENT**

PLAN NO. 1706/2025

STEEL FRAM

CON

RES 2

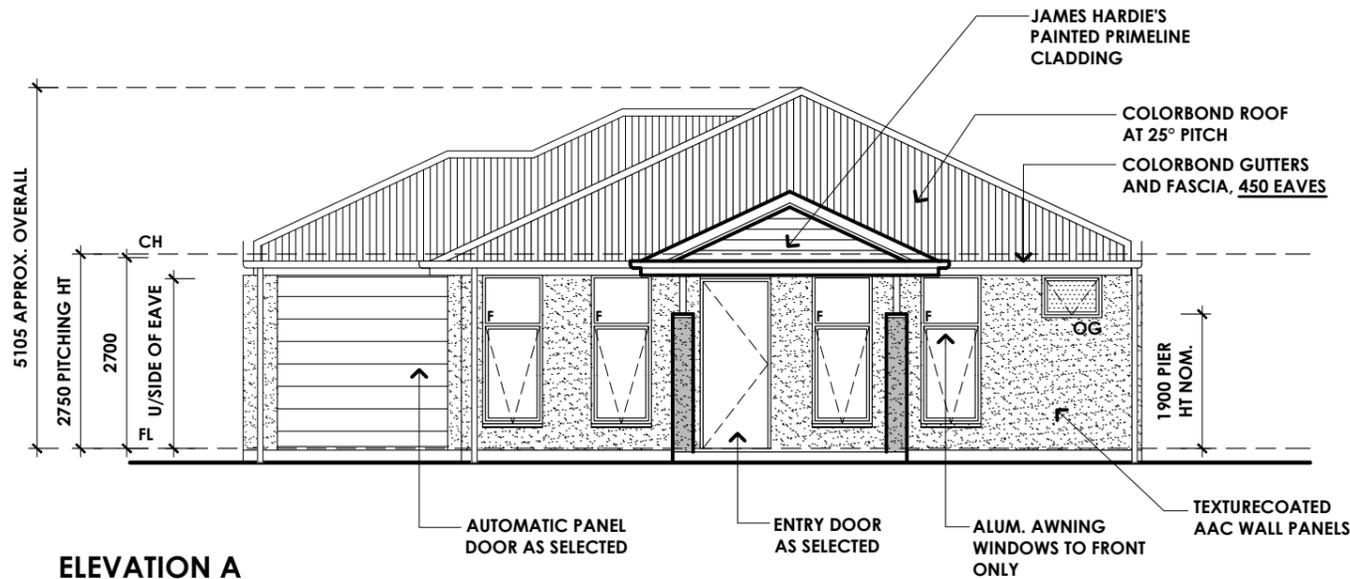
**WINDOW NOTE:**  
REFER TO FLOOR PLANS  
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**GRANTED**

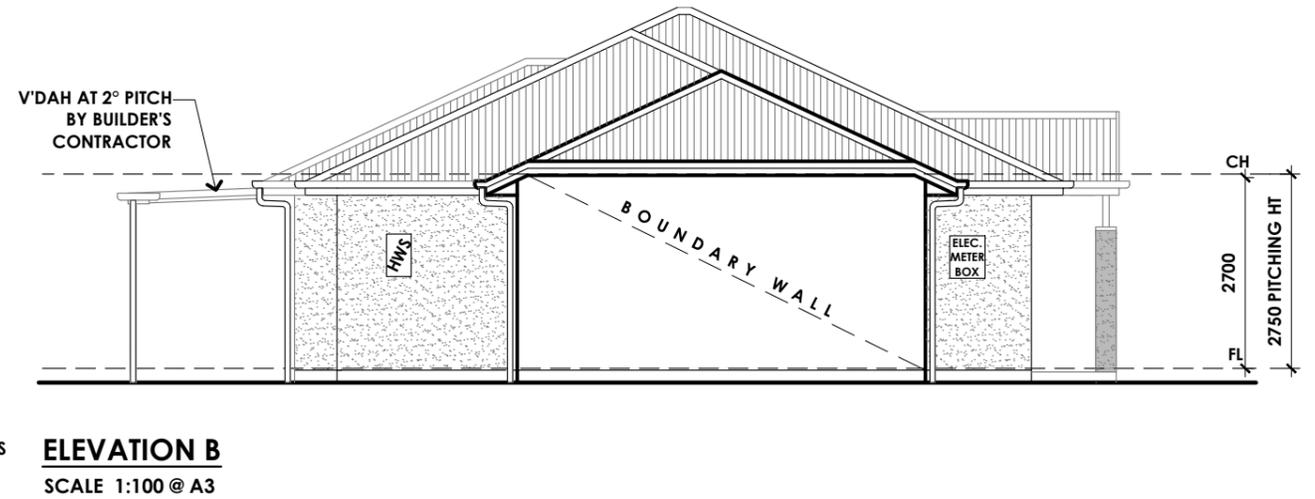
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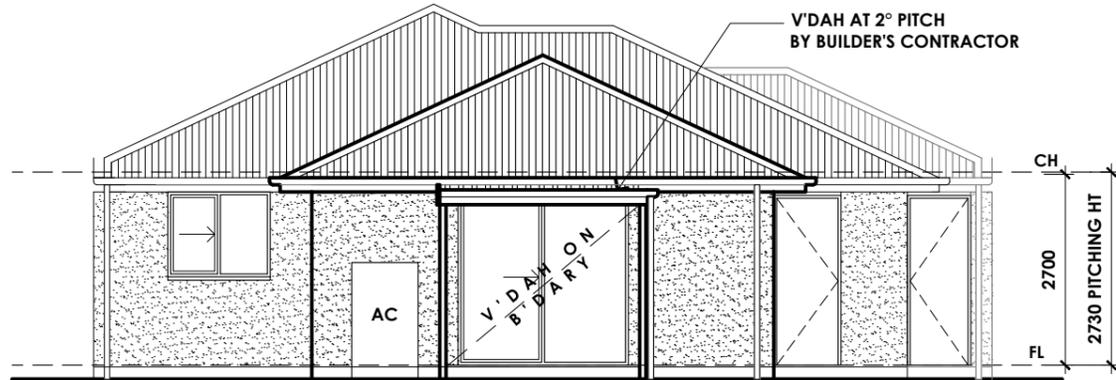
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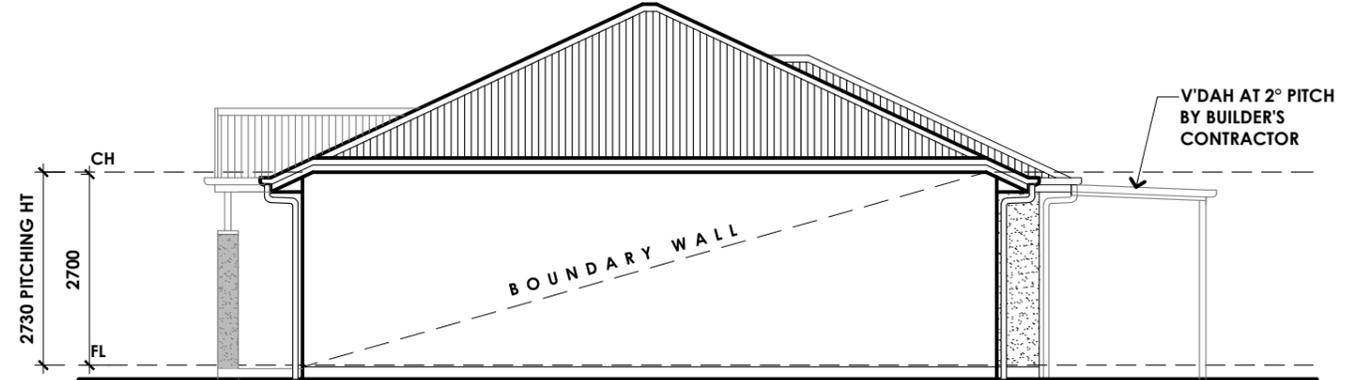
**ELEVATION A**  
SCALE 1:100 @ A3



**ELEVATION B**  
SCALE 1:100 @ A3



**ELEVATION C**  
SCALE 1:100 @ A3



**ELEVATION D**  
SCALE 1:100 @ A3

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STEEL FRAM

CON

RES 2

**GRANTED**

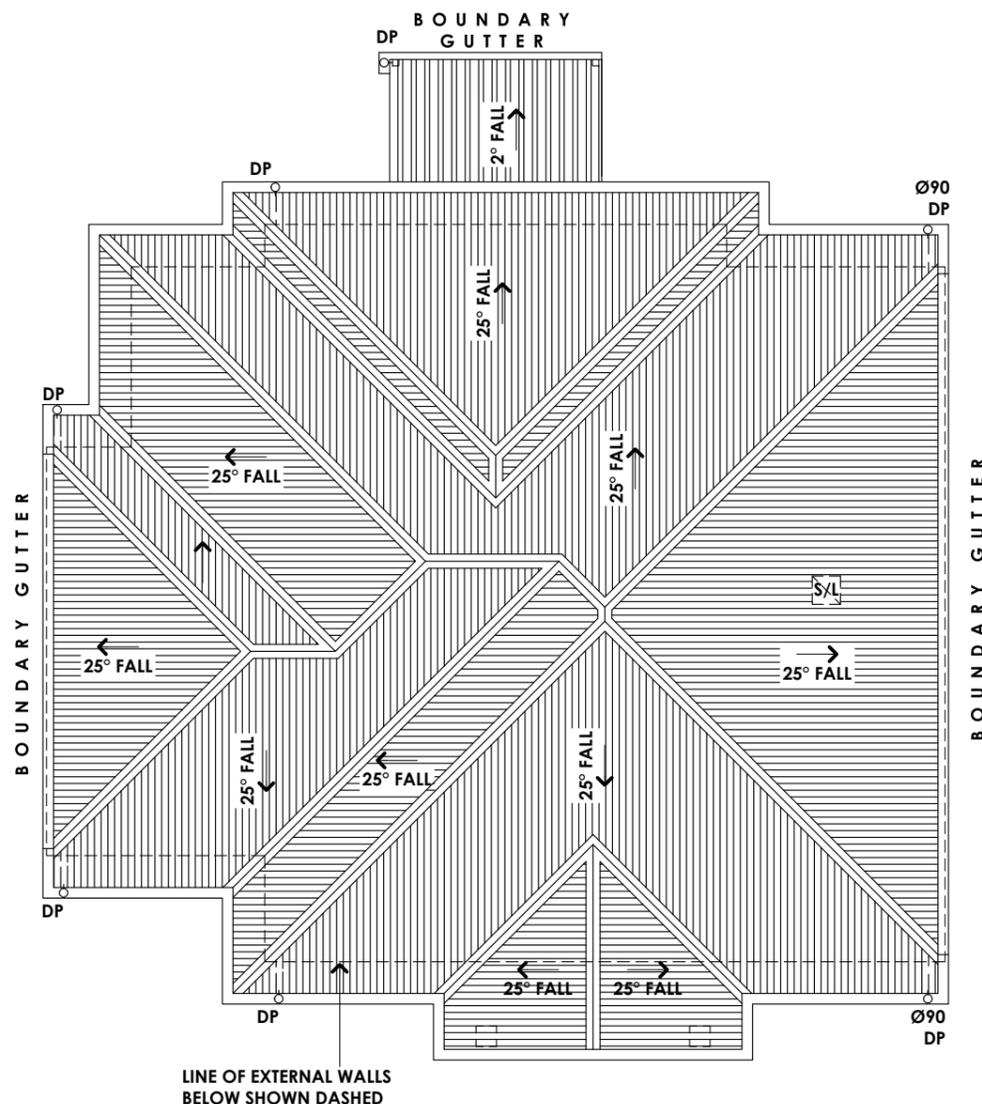
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**ROOF SPECIFICATION**

ROOF MATERIAL	COLORBOND CUSTOM ORB (OR SIMILAR) ROOF ON 25° PITCH
GUTTER TYPE	125 D GUTTER
FASCIA TYPE	COLORBOND METAL FASCIA
DOWNPIPE SIZE	75mm WITH SHARP BENDS (UNLESS NOTED OTHERWISE)
VERANDAH	METAL DECK ROOF ON 2° PITCH



**ROOF PLAN**

SCALE 1:100 @ A3

SCALE BAR 1:100



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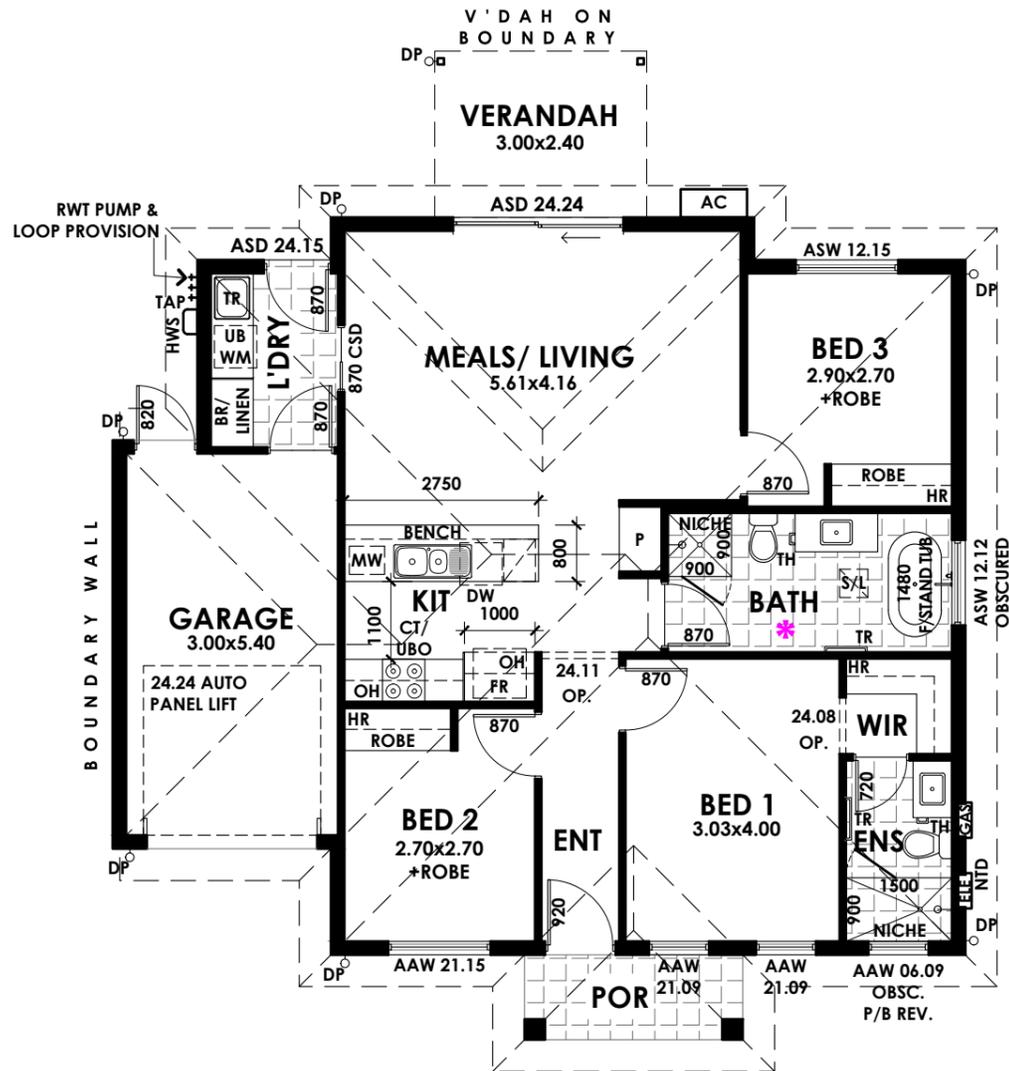
RES 3

\* DENOTES:  
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COMPARTMENT & SHOWERS)

AAC CONSTRUCTION

2700 CH

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## FLOOR PLAN

SCALE 1:100 @ A3

SCALE BAR 1:100



### GENERAL LEGEND

CBD	CUPBOARD	FR	REFRIGERATOR	WM	WASHING MACHINE	MB	ELECTRICAL MAINBOARD
WP	FRIDGE WATER POINT	FZ	FREEZER	DP	PVC DOWNPIPE, PAINTED FINISH	AC	AIRCONDITIONING UNIT
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### BATHROOM ACCESSORIES DETAILS:

TRH	TOILET ROLL HOLDER SET @900mm AFL PROVIDE 90x35 NOGGINS ON FLAT BETWEEN STUDS FLUSH WITH INTERNAL STUD LINE, 600mm FROM WALL CORNER.	FLAT BETWEEN STUDS FLUSH WITH INTERNAL STUD LINE, 600mm FROM WALL CORNER. MIN. 900mm OVERALL LENGTH REQUIRED.	MX	SHOWER WALL MIXER SET @1000mm AFL SHOWER HEAD OUTLET SET @1900mm FFL BATH TUB WALL OUTLET & MIXER SET @700 AFL	
TR	TOWEL RAIL SET @1100mm AFL OR SET @1500mm AFL IF ABOVE BATH PROVIDE 90x35 NOGGINS ON	HTR	HAND TOWEL HOLDER SET @1400mm AFL PROVIDE 90x35 NOGGINS ON FLAT BETWEEN STUDS FLUSH WITH INTERNAL STUD LINE, 275mm FROM WALL CORNER.		

### NOTES

- JOINERY LAYOUTS MAY VARY DEPENDING ON SELECTIONS.
- TO BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS.
- PROVIDE TIMBER NOGGINGS FOR FIXING SUPPORT IN WALLS FOR O/HEAD SHELVING/CUPBOARDS, TAPWARE AND FIXTURES.
- PROVIDE 50mm MIN. FROM FACE OF WALL TO HINGE SIDE OF DOORS UNLESS OTHERWISE DIMENSIONED.

### PORCH/ALFRESCO SETDOWN

- 50mm SETDOWN WITH BROOMED FINISH AND TOOLED EDGES.
- DOORS**
- 2040 INTERNAL DOOR HEIGHTS UNLESS OTHERWISE INDICATED.
- 2340 EXTERNAL DOOR HEIGHTS UNLESS OTHERWISE INDICATED.
- PROVIDE 50mm MIN. FROM FACE OF WALL TO HINGE SIDE OF DOORS UNLESS OTHERWISE DIMENSIONED.

AREAS	m <sup>2</sup>
LIVING	96.32
GARAGE	18.30
PORCH	3.70
V'DAH	7.20
TOTAL	125.52

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13.02.2025	CONCEPT DESIGN	LP			
12.03.2025	PLANNING DRAWINGS	BL			
28.04.2025	PD REV A - AMDS	BL			
22.05.2025	PD REV B - AMDS CROSSOVER	AB			

FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DRAWINGS. VERIFY DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. WALL STUDS TO WET AREAS TO BE SPACED AT 450mm MAX CENTRES. WHERE CARPORTS ARE PROVIDED THE OWNERS ACKNOWLEDGE THAT THE FOOTINGS HAVE NOT BEEN DESIGNED FOR FUTURE ENCLOSURES. COMPLY WITH THE BUILDING CODE OF AUSTRALIA, BUILDING ACT & REGULATIONS & RELEVANT AUSTRALIAN STANDARDS.

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COUNCIL ZONE:  
**MARION**

PROJECT:  
**x3 PROPOSED SINGLE STOREY DWELLINGS**

SITE ADDRESS:  
**7 BRENTON AVENUE (CNR. KENT ST.), SOUTH PLYMPTON**

CLIENT:  
**LOFTY**

DRAWN: **AB** REV: **B**

JOB NO: **1713-1715**



**PLANNING CONSENT**

PLAN NO: 1706/2025

STEEL FRAM

CON

RES 3

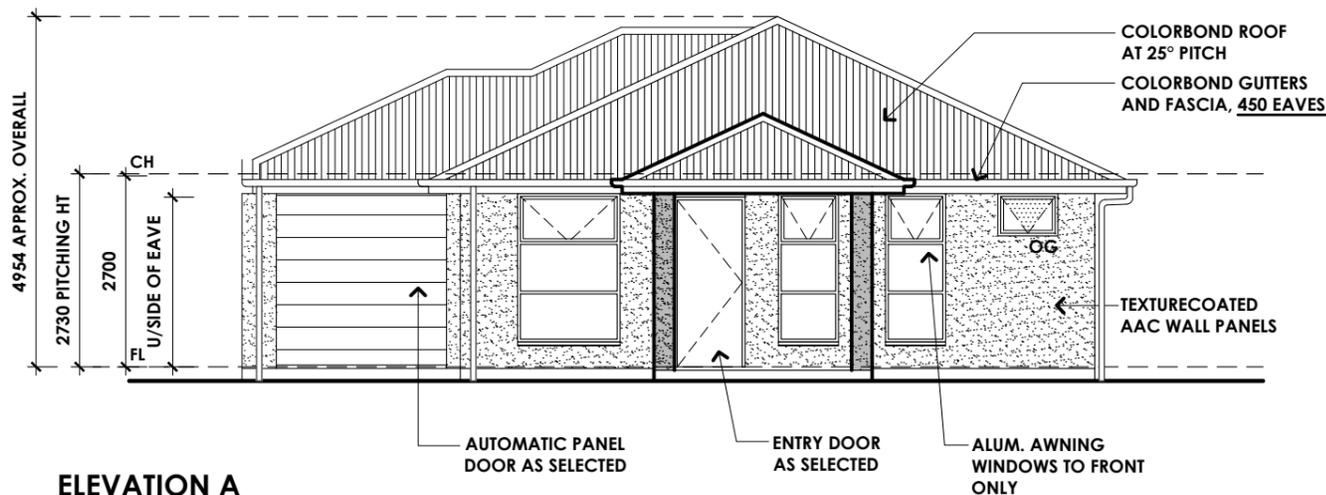
**WINDOW NOTE:**  
REFER TO FLOOR PLANS  
FOR WINDOW DIMENSIONS

**GRANTED**

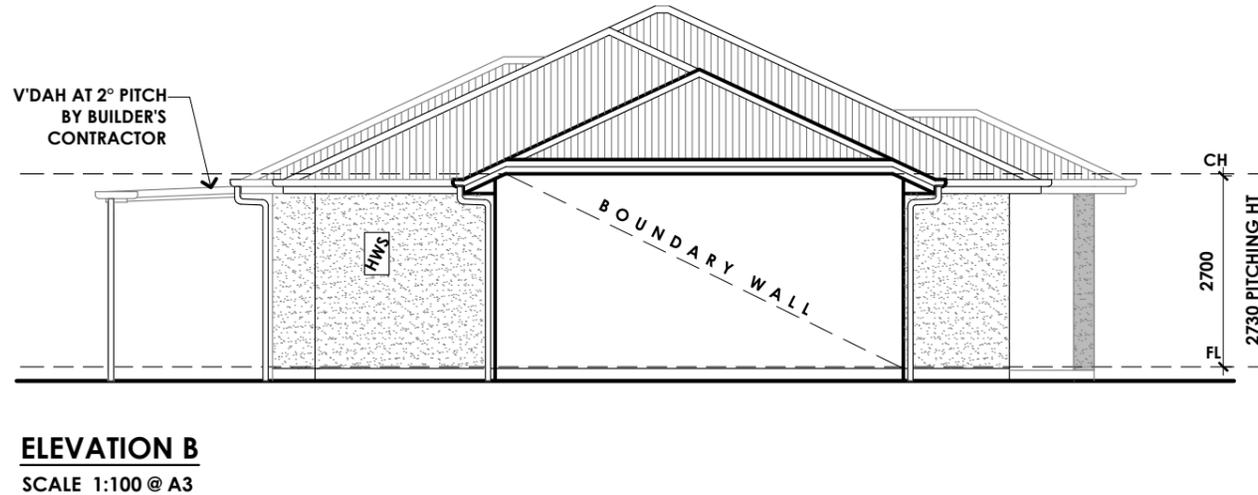
RELEVANT AUTHORITY:  
Section 96 - ASSESSMENT MANAGER



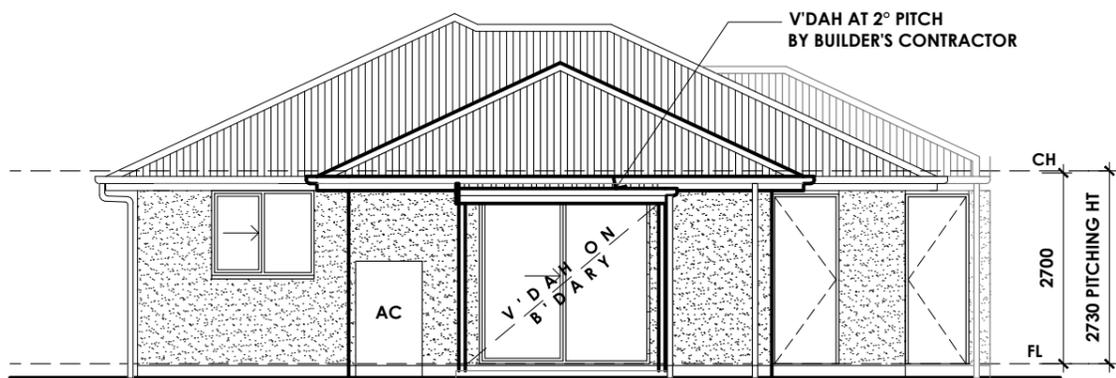
REFER TO DECISION NOTIFICATION FORM FOR ANY CONDITIONS



**ELEVATION A**  
SCALE 1:100 @ A3



**ELEVATION B**  
SCALE 1:100 @ A3



**ELEVATION C**  
SCALE 1:100 @ A3



**ELEVATION D**  
SCALE 1:100 @ A3

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**PLANNING CONSENT**

PLAN No 1706/2025

STEEL FRAM

CON

RES 3

**GRANTED**

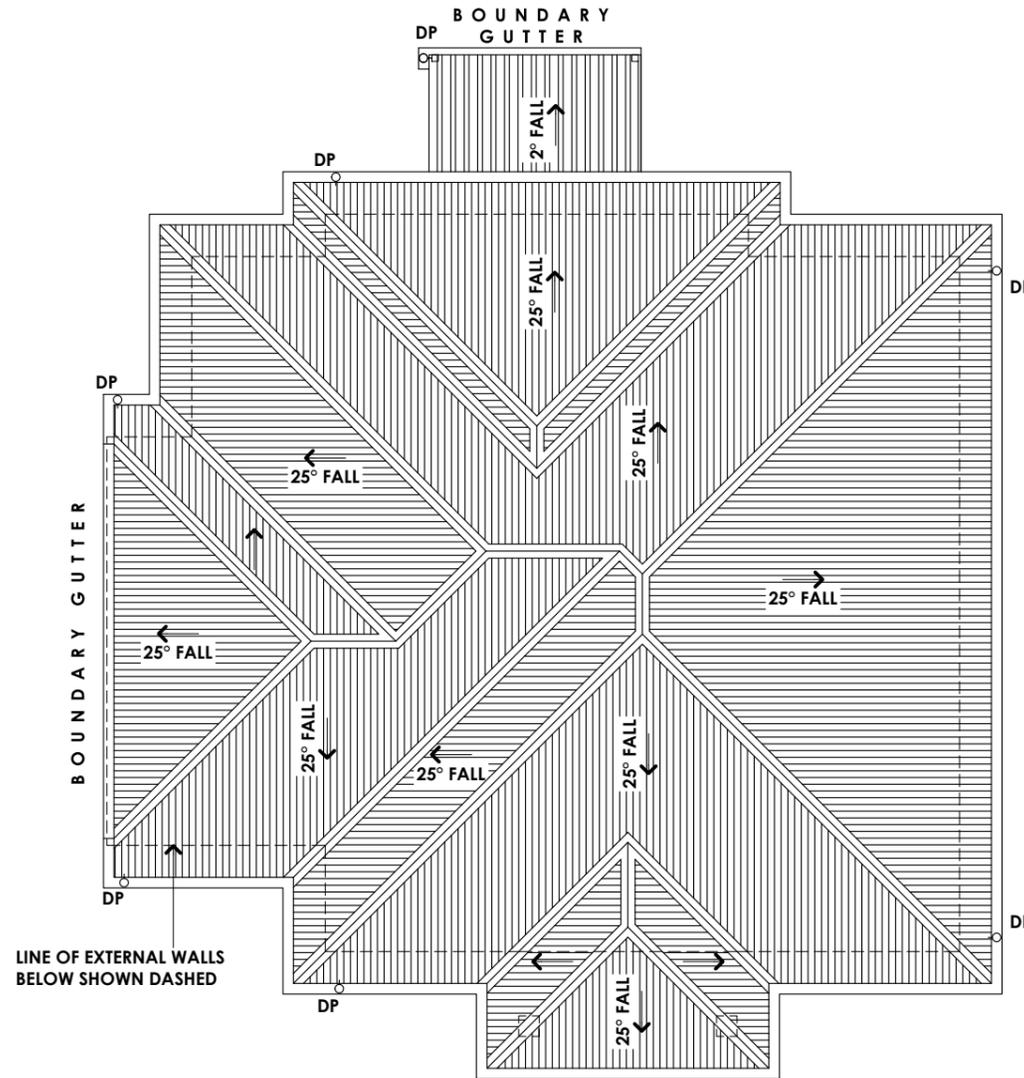
RELEVANT AUTHORITY:  
Section 96 - ASSESSMENT MANAGER



REFER TO DECISION NOTIFICATION FORM FOR ANY CONDITIONS

**ROOF SPECIFICATION**

ROOF MATERIAL	COLORBOND CUSTOM ORB (OR SIMILAR) ROOF ON 25° PITCH
GUTTER TYPE	125 D GUTTER
FASCIA TYPE	COLORBOND METAL FASCIA
DOWNPIPE SIZE	75mm WITH SHARP BENDS (UNLESS NOTED OTHERWISE)
VERANDAH	METAL DECK ROOF ON 2° PITCH



**ROOF PLAN**

SCALE 1:100 @ A3

SCALE BAR 1:100



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# PLANNING CONSENT

17/06/2025

**GRANTED**

RELEVANT AUTHORITY:  
Section 96 - ASSESSMENT MANAGER



READ IN CONJUNCTION WITH OTHER DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS

REFER TO DECISION NOTIFICATION FORM FOR ANY CONDITIONS

## MASONRY NOTES:

ALL FINISHED MASONRY SHALL BE LEFT CLEAN, AND GAPS AT TOPS OF RAKED WALLS.

ALL FLASHINGS, MEMBRANES, AND TIES WHERE REQUIRED SHALL BE IN ACCORDANCE WITH NCC 2022 AS 3700 - 2018.

ALL CAVITIES AND REQUIRED WEEPHOLES SHALL BE LEFT CLEAN AND FREE OF MORTAR DROPPINGS.

## INSULATION:

AS PER EER SELECTIONS.

## INTERNAL LINING NOTES:

ALL WALL LININGS SHALL BE 10mm PLASTERBOARD UNLESS OTHERWISE NOTED.

ALL CEILING LININGS SHALL BE 10mm PLASTERBOARD SUITABLE FOR SPANNING 600mm JOIST SPACINGS UNLESS OTHERWISE NOTED.

## WET AREA NOTES:

WATERPROOFING OF WET AREAS TO COMPLY WITH NCC 2022, ABCB HOUSING PROVISIONS, PART 10.2.

## TIMBER FRAMING NOTES:

ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 1684.2-2021 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) NON-CYCLONIC AREAS.

ALL EXPOSED TIMBER MEMBERS SHALL BE OF A SUITABLE DURABILITY CLASS AND PRESERVATION TREATED IF REQUIRED IN ACCORDANCE WITH AS 1684.2 - 2021 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) NON-CYCLONIC AREAS.

ALL METAL USED IN STRUCTURAL TIMBER CONNECTIONS SHALL BE PROVIDED WITH CORROSION PROTECTION APPROPRIATE FOR THE PARTICULAR CONDITIONS OF USE.

PROVIDE AS NECESSARY ALL ADDITIONAL TIMBER FRAMING LIKE SOFFIT AND CEILING LININGS, GABLE CLADDING AND SKYLIGHTS ETC.

## ELECTRICAL NOTES:

ALL ELECTRICAL INSTALLATIONS AND WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 3000 - 2018 AND ENERGY SA.

## PLUMBING, SANITARY

### DRAINAGE AND GAS NOTES:

THE INSTALLATION OF ALL HOT AND COLD WATER SERVICES, SANITARY WASTES AND DRAINAGE SHALL BE CARRIED OUT TO THE APPROVAL OF SA WATER AND WHERE APPLICABLE THE SOUTH AUSTRALIAN HEALTH COMMISSION.

ALL GAS FITTING WORK MUST BE INSTALLED BY A REGISTERED GAS FITTER OR REGISTERED RESTRICTED LPG INSTALLER.

ALL GAS INSTALLATIONS TO BE CARRIED OUT IN ACCORDANCE WITH AG601 AND A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED IN ACCORDANCE WITH THE GAS ACT AND REGULATIONS 1997 (AS AMENDED).

### GLAZING NOTES:

ALL GLAZING TO COMPLY WITH AS1288-2021, GLASS IN BUILDINGS AND WITH AS 4055-2021, FOR WIND LOADING.

ALL SAFETY GLASS SHALL BE LEGIBLY MARKED OR SHALL BE CERTIFIED.

## ROOFING AND ROOF

### PLUMBING NOTES:

THE ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHINGS, CAPPING AND OTHER ITEMS REQUIRED TO MAKE THE ROOF WATERTIGHT AND COMPLETE.

EAVES GUTTERS TO BE PROVIDED WITH UNIFORM MINIMUM FALLS OF 1:500 AND ALL ROOF STORMWATER SHALL BE DIVERTED AWAY FROM THE FOOTINGS AND BUILDING IN ACCORDANCE WITH THE ENGINEER'S REPORT.

GUTTERS AND DRAINAGE SYSTEM TO COMPLY WITH AS/NZS 3500.3 - 2021

### SMOKE ALARMS

ALL SMOKE ALARMS TO COMPLY WITH AS 3786 - 2023. ALL SMOKE ALARMS TO BE CONNECTED TO CONSUMER MAINS POWER AND TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM.

ALL REQUIRED SELF-CONTAINED SMOKE ALARMS SHALL COMPLY WITH AS 3786 - 2023 OR BE LISTED IN THE SSL REGISTER OF ACCREDITED PRODUCTS AND SHALL BE CONNECTED TO THE CONSUMER MAINS POWER WITH A 9V BATTERY BACKUP.

IF MORE THAN 1 SMOKE ALARM IS TO BE INSTALLED SMOKE ALARMS ARE TO BE INTERCONNECTED IN ACCORDANCE WITH NCC 2022 REQUIREMENTS.

## RAINWATER TANK

### REQUIREMENTS:

A RAINWATER TANK WITH A MINIMUM STORAGE CAPACITY OF 1000 LITRES SHALL BE INSTALLED.

THE ROOF CATCHMENT AREA CONNECTED TO THE TANK MUST BE A MINIMUM OF 50m<sup>2</sup>.

THE RAINWATER TANK MUST BE PLUMBED TO AT LEAST A WATER CLOSET OR A WATER HEATER OR ALL LAUNDRY COLD WATER OUTLETS.

THE RAINWATER TANK MUST BE FITTED WITH AN OVERFLOW DEVICE THAT DISPOSES WATER IN AN APPROPRIATE MANNER WITHOUT AFFECTING ADJOINING PROPERTIES.

THE INLET AND OUTLET OF THE RAINWATER TANK SHALL BE FITTED WITH A NON-DEGRADABLE MOSQUITO PROOF SCREEN.

### PAVING SETOUT AND LEVELS:

THE DRAWING IS INDICATIVE ONLY TO SHOW DESIRED RESULTS.

ACHIEVE SPOT LEVELS AS NOMINATED ON DRAWINGS. REFER ALSO TO ENGINEERING DRAWINGS.

PATHS ARE GENERALLY 900mm WIDE WITH 25mm CROSS FALL (UNLESS OTHERWISE NOTED) LONGITUDINAL FALLS ARE TO BE AS FLAT AS POSSIBLE.

MOST PAVING AT 75mm BELOW REBATE.

### TOILET DOOR:

ALL DOORS TO SANITARY COMPARTMENTS TO HAVE REMOVEABLE HINGES AND TO COMPLY WITH NCC 2022, VOL. 2, H4P3.

### FLOOR JOISTS:

19m STRUCTA FLOOR WHERE JOIST SPACING IS 450mm OR LESS.

50mm SETDOWN FC SHEET TO WET AREAS AND BALCONIES.

### EXHAUST FANS:

EXHAUST FANS TO EXHAUST FANS TO BE PROVIDED IN ACCORDANCE WITH NCC 2022, ABCB HOUSING PROVISIONS, PARTS 10.6.2 & 10.8.2 (EXHAUST FANS TO BE PROVIDED AS STANDARD TO ALL SANITARY COMPARTMENTS WITHOUT NATURAL VENTILATION AND MUST BE VENTED TO ATMOSPHERE).

## DOORS AND WINDOWS:

ALL DOOR AND WINDOWS SIZES ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION BY SITE MEASUREMENT.

WINDOW SIZES & SETOUTS ARE INDICATIVE ONLY. CHECK MANUFACTURERS SIZES ONCE SELECTED & ADJUST IF REQUIRED.

## UPSTAIRS WINDOWS

NOTE: 125mm RESTRICTORS TO FIRST FLOOR WINDOWS WHERE SILL HEIGHT IS LESS THAN 1700mm ABOVE FFL. WINDOWS MUST COMPLY WITH NCC 2022, ABCB HOUSING PROVISIONS, PARTS 11.3.7 & 11.3.8.

DOOR SEALS - SILL SEALS TO EXTERNAL HINGED DOORS (INCL. GARAGE) WINDOW SEALS - ALL WINDOWS SHALL BE WEATHER SEALED.

NOTE: WINDOWS INSTALLED MUST HAVE THE SAME U VALUES AND SHGC AS OUTLINED ON THE CORRESPONDING ENERGY REPORT.

### TERMITE PROTECTION NOTES:

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660.1 - 2017

### STAIRS:

ALL STEPS & STAIRS TO HAVE A 240mm MIN. AND 355mm MAX. TREAD WIDTH. 115mm MIN. AND 190mm MAX. RISER HEIGHT AND MUST COMPLY WITH NCC 2022, ABCB HOUSING PROVISIONS, PART 11.2.

BALUSTRADE IN ACCORDANCE WITH NCC 2022, ABCB HOUSING PROVISIONS, PART 11.3 TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND LEVEL.

STAIR HANDRAIL: HANDRAIL TO BE LOCATED ALONG AT LEAST ONE SIDE OF THE STAIRWAY IN ACCORDANCE WITH NCC 2022, ABCB HOUSING PROVISIONS, PART 11.3.5.

STAIRS TO BE CONSTRUCTED AND INSTALLED BY AN ACCREDITED STAIR MANUFACTURER.

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PROJECT:  
**x3 PROPOSED SINGLE STOREY DWELLINGS**

COUNCIL ZONE:  
**MARION**

SITE ADDRESS:  
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CLIENT:  
**LOFTY**

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# PLANNING CONSENT

17/06/2025

**GRANTED**



CITY OF  
**MARION**

NOTES: A 3,000L RAINWATER/DETENTION TANK TO CAPTURE 60% OF ROOF STORMWATER TO BE INSTALLED IN STORAGE CELL PLUMBED TO GUTTER AND EITHER THE LAUNDRY COLD WATER OR TO A DETENTION TANK WITH A 25mm ORIFICE. DISCHARGE OUTLET TO BE A MIN 500mm ABOVE STREET WATER TABLE. ALL PIPES CONNECTING TO TANK TO BE A SEALED SYSTEM. REFER TO DT1 & SDS.

SEWER CONNECTION POINTS FOR RES 1-2 NOT INSTALLED AT TIME OF SURVEY. BUILDER / PLUMBER TO CHECK FALLS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FINISH LEVELS MAY NEED TO BE AMENDED TO ACHIEVE SEWER FALL.

NOTE: ROOF DOWNPIPES MARKED 'PDP' TO BE DISCHARGED TO 3,000L RAINWATER / DETENTION TANK VIA A SEALED SYSTEM (REFER TO 'SDS'). ALLOW TANK OVERFLOW TO STREET. ALL REMAINING DOWNPIPES & SURFACE STORMWATER TO BE DISCHARGED DIRECTLY TO STREET WATERTABLE VIA A GRAVITY SYSTEM.

NOTE: CARE TO BE TAKEN DURING CONSTRUCTION ON BOUNDARY NOT TO DAMAGE EXISTING STRUCTURE. REFER TO NOTE 6.

CONCRETE PLINTH TO BOUNDARY BY OWNER. PROVIDE 2 LAYERS OF FORTECON AND BITUTHENE TANKING BETWEEN CONCRETE PLINTH AND EXISTING BRICK WALL ON BOUNDARY.

MODIFY EXISTING CROSSOVER TO SUIT AND REINSTATE UNUSED SECTION

MODIFY EXISTING CROSSOVER TO SUIT AND REINSTATE UNUSED SECTION

EXTEND EXISTING CROSSOVER TO SUIT AND REINSTATE UNUSED SECTION TO A VERTICAL KERB AS PER COUNCIL SPECIFICATIONS.

EXISTING CROSSOVER TO BE REINSTATE TO KERBING AS PER COUNCIL SPECIFICATIONS.

SEWER LINES ARE INDICATIVE ONLY. REFER TO NOTE 8.

PROVIDE CONCRETE PLINTH TO BOUNDARY AS REQUIRED.

PROVIDE CONCRETE PLINTH TO BOUNDARY AS REQUIRED.

PROVIDE CONCRETE PLINTH TO BOUNDARY AS REQUIRED.

## NOTES

1. This is an engineering survey only and should not be used as a boundary identification survey.
2. Owner to peg site prior to construction
3. Stormwater and perimeter paving to be fully installed within 6 months of handover.
4. Cover to stormwater pipes in areas of vehicular traffic to be 300mm elsewhere 150mm.
5. This site is classified as Class            Flexible connections are            necessary for all stormwater and sewer pipes
6. For construction at or near boundary care must be taken to ensure stability of adjacent structures. Refer to Engineer if in doubt.
7. All stormwater disposal to satisfy Council's requirements.
8. The sewer run shown on this plan is indicative only. It is shown to determine whether sewer piers are required. Underfloor plumbing to be constructed as per Australian standards. Falls to be checked by builder prior to construction.

## LEGEND

- paving - refer SRP
- existing spot levels
- existing contours
- design batter 1 : 2 (u.n.o.)
- retaining wall as specified
- 100mm wide grated trench
- spoon drain & direction of flow
- Ø90 upvc stormwater pipe, min fall 1:200
- Ø90 upvc stormwater pipe (Sealed system)
- sewer pipe, min fall 1:60
- FL design finished floor level
- BL design bench level
- WT design watertable level
- DL design ground / paving level
- TRW design top of retaining wall level
- RWH design retaining wall height
- borehole
- block pegs
- sewer IP
- w/m water meter
- ETSA
- Telstra
- DP selected downpipe
- PDP PVC downpipe
- 300 x 300 grated sump (u.n.o.)
- Ø150 grated inlet

NOTE: This is an engineering survey only and should not be used as a boundary identification survey.



SURVEYED BY: SPECIALTY SURVEYS: DATE: MAR'25

REVISION				
ISSUE	DATE	DESCRIPTION	CHECK	INITIAL
A	MAY'25	CROSSOVER AND PAVING	SK	FDB

ISSUED FOR PRELIMINARY

**mlei**  
RESIDENTIAL ENGINEERING  
29 Young Street, Adelaide SA 5000  
P (08) 8231 2832  
W www.mlei.com.au

PROJECT  
LOT 129 (NO 7) BRENTON AVENUE  
SOUTH PLYMPTON  
CLIENT  
LOFTY BUILDING GROUP  
OWNER  
LOFTY BUILDING GROUP

DRAWING TITLE  
PRELIMINARY  
SITE AND DRAINAGE PLAN  
  
DO NOT SCALE FROM THIS DRAWING

DRAFTER	DESIGN ENGINEER	REVIEWER
FDB	FDB	SK
DATE	PROJECT NUMBER	DRAWING SCALE
APR'25	68585	1:250
DRAWING NUMBER	SHEET SIZE	REV
PSR2-1	A3	-

