

Contract of Sale

Property:

51 Antares Parade, Kalkallo VIC 3064



JLE Conveyancing Pty Ltd
3/5 DEVONSHIRE ROAD
SUNSHINE VIC 3020
Tel: 03 9363 2075
Ref: JL:13246

IMPORTANT NOTICE TO PURCHASERS – COOLING-OFF

Cooling-off period (Section 31 of the *Sale of Land Act 1962*)

You may end this contract within 3 clear business days of the day that you sign the contract if none of the exceptions listed below applies to you.

You must either give the vendor or the vendor's agent **written** notice that you are ending the contract or leave the notice at the address of the vendor or the vendor's agent to end this contract within this time in accordance with this cooling-off provision.

You are entitled to a refund of all the money you paid EXCEPT for \$100 or 0.2% of the purchase price (whichever is more) if you end the contract in this way.

EXCEPTIONS: the 3-day cooling-off period does not apply if:

- you bought the property at a publicly advertised auction or on the day on which the auction was held; or
- you bought the land within 3 clear business days before a publicly advertised auction was to be held; or
- you bought the land within 3 clear business days after a publicly advertised auction was held; or
- the property is used primarily for industrial or commercial purposes; or
- the property is more than 20 hectares in size and is used primarily for farming; or
- you and the vendor previously signed a contract for the sale of the same land in substantially the same terms; or
- you are an estate agent or a corporate body.

NOTICE TO PURCHASERS OF PROPERTY OFF-THE-PLAN

Off-the-plan sales (Section 9AA(1A) of the *Sale of Land Act 1962*)

You may negotiate with the vendor about the amount of the deposit moneys payable under the contract of sale, up to 10 per cent of the purchase price.

A substantial period of time may elapse between the day on which you sign the contract of sale and the day on which you become the registered proprietor of the lot.

The value of the lot may change between the day on which you sign the contract of sale of that lot and the day on which you become the registered proprietor

Approval

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Contract of Sale

The vendor agrees to sell and the purchaser agrees to buy the property, being the land and the goods, for the price and on the terms set out in this contract.

The terms of this contract are contained in the –

- particulars of sale; and
- special conditions, if any; and
- general conditions (which are in standard form: see general condition 6.1)

in that order of priority.

SIGNING OF THIS CONTRACT

WARNING: THIS IS A LEGALLY BINDING CONTRACT. YOU SHOULD READ THIS CONTRACT BEFORE SIGNING IT.

Purchasers should ensure that they have received a section 32 statement from the vendor before signing this contract. In this contract, "section 32 statement" means the statement required to be given by a vendor under section 32 of the *Sale of Land Act 1962*.

The authority of a person signing –

- under power of attorney; or
 - as director of a corporation; or
 - as agent authorised in writing by one of the parties –
- must be noted beneath the signature.

Any person whose signature is secured by an estate agent acknowledges being given by the agent at the time of signing a copy of the terms of this contract.

SIGNED BY THE PURCHASER:
..... on/...../2025

Print names(s) of person(s) signing:

State nature of authority, if applicable:

This offer will lapse unless accepted within [] clear business days (3 clear business days if none specified)

In this contract, "business day" has the same meaning as in section 30 of the *Sale of Land Act 1962*

SIGNED BY THE VENDOR: 
..... on 17/03/2025

Print names(s) of person(s) signing: SHANE LINDSAY

State nature of authority, if applicable:

The **DAY OF SALE** is the date by which both parties have signed this contract.

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Particulars of Sale

Vendor's estate agent

Name: Stone Real Estate
Address: Unit 1/75 Church Street, Whittlesea Vic 3757
Email:
Tel: Mob: 0405140704 Fax: Ref: Dean Zammit

Vendor

Name: SHANE LINDSAY
Address: 75 Calder Highway, Diggers Rest, VIC, 3427
ABN/ACN:
Email: shanelindsay1234@hotmail.com

Vendor's legal practitioner or conveyancer

Name: JLE Conveyancing Pty Ltd
Address: 3/5 DEVONSHIRE ROAD, SUNSHINE Vic 3020
Email: info@jleconveyancing.com.au
Tel: 03 9363 2075 Mob: Fax: Ref: 13246

Purchaser

Name:
Address:
ABN/ACN:
Email:

Purchaser's legal practitioner or conveyancer

Name:
Address:
Email:
Tel: Mob: Fax: Ref:

Land (general conditions 7 and 13)

The land is described in the table below –

Certificate of Title reference	being lot	on plan
Volume 12186 Folio 142	31438	PS 818663P

If no title or plan references are recorded in the table, the land is as described in the section 32 statement or the register search statement and the document referred to as the diagram location in the register search statement attached to the section 32 statement

The land includes all improvements and fixtures.

Property address

The address of the land is: 51 Antares Parade, Kalkallo VIC 3064

Goods sold with the land (general condition 6.3(f)) (*list or attach schedule*): All fixtures and fittings of a permanent nature as inspected.

Exclusion lists : N/A

Payment

Price \$ _____

Deposit \$ _____ by _____ (of which _____ has been paid)

Balance \$ _____ payable at settlement

GST (general condition 19)

Subject to general condition 19.2, the price includes GST (if any), unless the next box is checked

- GST (if any) must be paid in addition to the price if the box is checked
- This sale is a sale of land on which a 'farming business' is carried on which the parties consider meets the requirements of section 38-480 of the GST Act if the box is checked
- This sale is a sale of a 'going concern' if the box is checked
- The margin scheme will be used to calculate GST if the box is checked

Settlement (general conditions 17 & 26.2)

is due on

unless the land is a lot on an unregistered plan of subdivision, in which case settlement is due on the later of:

- the above date; and
- the 14th day after the vendor gives notice in writing to the purchaser of registration of the plan of subdivision or occupancy permit is issued.

Lease (general condition 5.1)

At settlement the purchaser is entitled to vacant possession of the property unless the words '**subject to lease**' appear in this box in which case refer to general condition 1.1.

If '**subject to lease**' then particulars of the lease are*:

- a lease for a term ending on / /20..... with [.....] options to renew, each of [.....] years
- OR
- a residential tenancy for a fixed term ending on / /20.....
- OR
- a periodic tenancy determinable by notice

Terms contract (general condition 30)

This contract is intended to be a terms contract within the meaning of the *Sale of Land Act 1962* if the box is checked. (*Reference should be made to general condition 30 and any further applicable provisions should be added as special conditions*)

Loan (general condition 20): NOT APPLICABLE AT AUCTION

This contract is subject to a loan being approved and the following details apply if the box is checked:

Lender: _____

Loan amount: no more than _____

Approval date: _____

Building report - NOT APPLICABLE AT AUCTION

- General condition 21 applies only if the box is checked

Pest report – NOT APPLICABLE AT AUCTION

- General condition 22 applies only if the box is checked

Special Conditions

A special condition operates if the box next to it is checked or the parties otherwise agree in writing

Special condition 1 – Payment

General condition 14 is replaced with the following:

14. Deposit

- 14.1 The purchaser must pay the deposit:
- (a) to the vendor's licensed estate agent; or
 - (b) if there is no estate agent, to the vendor's legal practitioner or conveyancer; or
 - (c) if the vendor directs, into a special purpose account in an authorised deposit-taking institution in Victoria specified by the vendor in the joint names of the purchaser and the vendor.
- 14.2 If the land sold is a lot on an unregistered plan of subdivision, the deposit:
- (a) must not exceed 10% of the price; and
 - (b) must be paid to the vendor's estate agent, legal practitioner or conveyancer and held by the estate agent, legal practitioner or conveyancer on trust for the purchaser until the registration of the plan of subdivision.
- 14.3 The purchaser must pay all money other than the deposit:
- (a) to the vendor, or the vendor's legal practitioner or conveyancer; or
 - (b) in accordance with a written direction of the vendor or the vendor's legal practitioner or conveyancer.
- 14.4 Payments may be made or tendered:
- (a) up to \$1,000 in cash; or
 - (b) by cheque drawn on an authorised deposit-taking institution; or
 - (c) by electronic funds transfer to a recipient having the appropriate facilities for receipt.
- However, unless otherwise agreed:
- (d) payment may not be made by credit card, debit card or any other financial transfer system that allows for any chargeback or funds reversal other than for fraud or mistaken payment, and
 - (e) any financial transfer or similar fees or deductions from the funds transferred, other than any fees charged by the recipient's authorised deposit-taking institution, must be paid by the remitter.
- 14.5 At settlement, the purchaser must pay the fees on up to three cheques drawn on an authorised deposit-taking institution. If the vendor requests that any additional cheques be drawn on an authorised deposit-taking institution, the vendor must reimburse the purchaser for the fees incurred.
- 14.6 Payment by electronic funds transfer is made when cleared funds are received in the recipient's bank account.
- 14.7 Before the funds are electronically transferred the intended recipient must be notified in writing and given sufficient particulars to readily identify the relevant transaction.
- 14.8 As soon as the funds have been electronically transferred the intended recipient must be provided with the relevant transaction number or reference details.
- 14.9 Each party must do everything reasonably necessary to assist the other party to trace and identify the recipient of any missing or mistaken payment and to recover the missing or mistaken payment.
- 14.10 For the purpose of this general condition 'authorised deposit-taking institution' means a body corporate for which an authority under section 9(3) of the *Banking Act 1959 (Cth)* is in force.

Special condition 2 – Acceptance of title

Where the purchaser is deemed by section 27(7) of the *Sale of Land Act 1962* to have given the deposit release authorisation referred to in section 27(1), the purchaser is also deemed to have accepted title in the absence of any prior express objection to title.

Special condition 3 – Tax invoice

General condition 19 is replaced with the following:

- 19.3 If the vendor makes a taxable supply under this contract (that is not a margin scheme supply) and:
- (a) the price includes GST; or
 - (b) the purchaser is obliged to pay an amount for GST in addition to the price (because the price is "plus GST" or under general condition 19.1(a), (b) or (c)), the purchaser is not obliged to pay the GST included in the price, or the additional amount payable for GST, until a tax invoice has been provided.

Special condition 4 – Electronic conveyancing

5.1 Settlement and lodgement of the instruments necessary to record the purchaser as registered proprietor of the land will be conducted electronically in accordance with the *Electronic Conveyancing National Law*. The parties may subsequently agree in writing that this special condition 8 applies even if the box next to it is not checked. This special condition 8 has priority over any other provision to the extent of any inconsistency.

5.2 A party must immediately give written notice if that party reasonably believes that settlement and lodgement can no longer be conducted electronically. Special condition 8 ceases to apply from when such a notice is given.

5.3 Each party must:

- (a) be, or engage a representative who is, a subscriber for the purposes of the *Electronic Conveyancing National Law*,
- (b) ensure that all other persons for whom that party is responsible and who are associated with this transaction are, or engage, a subscriber for the purposes of the *Electronic Conveyancing National Law*, and
- (c) conduct the transaction in accordance with the *Electronic Conveyancing National Law*.

5.4 The vendor must open the Electronic Workspace (“workspace”) as soon as reasonably practicable. The inclusion of a specific date for settlement in a workspace is not of itself a promise to settle on that date. The workspace is an electronic address for the service of notices and for written communications for the purposes of any electronic transactions legislation.

5.5 The vendor must nominate a time of the day for locking of the workspace at least 7 days before the due date for settlement.

5.6 Settlement occurs when the workspace records that:

- (a) the exchange of funds or value between financial institutions in accordance with the instructions of the parties has occurred; or
- (b) if there is no exchange of funds or value, the documents necessary to enable the purchaser to become registered proprietor of the land have been accepted for electronic lodgement.

5.7 The parties must do everything reasonably necessary to effect settlement:

- (a) electronically on the next business day, or
- (b) at the option of either party, otherwise than electronically as soon as possible –if, after the locking of the workspace at the nominated settlement time, settlement in accordance with special condition 8.6 has not occurred by 4.00 pm, or 6.00 pm if the nominated time for settlement is after 4.00 pm.

5.8 Each party must do everything reasonably necessary to assist the other party to trace and identify the recipient of any missing or mistaken payment and to recover the missing or mistaken payment.

5.9 The vendor must before settlement:

- (a) deliver any keys, security devices and codes (“keys”) to the estate agent named in the contract,
- (b) direct the estate agent to give the keys to the purchaser or the purchaser’s nominee on notification of settlement by the vendor, the vendor’s subscriber or the Electronic Network Operator;
- (c) deliver all other physical documents and items (other than the goods sold by the contract) to which the purchaser is entitled at settlement, and any keys if not delivered to the estate agent, to the vendor’s subscriber or, if there is no vendor’s subscriber, confirm in writing to the purchaser that the vendor holds those documents, items and keys at the vendor’s address set out in the contract, and give, or direct its subscriber to give, all those documents and items and any such keys to the purchaser or the purchaser’s nominee on notification by the Electronic Network Operator of settlement.

Special condition 5 – Condition of the Property

6.1 The land and buildings (if any) as sold hereby and inspected by the purchasers are sold on the basis of existing improvements thereon and the purchaser shall not make any requisition or claim any compensation for any deficiency or defect in the said improvements as to their suitability for occupation or otherwise including any requisition in relation to the issue or non-issue of Building Permit and/ or completion of inspections by the relevant authorities in respect of any improvements herein.

6.2 The property and any chattels are sold:

- (a) In their present condition and state of repair;
- (b) Subject to all defects latent and patent;
- (c) Subject to any infestations and dilapidation;
- (d) Subject to all existing water, sewerage, drainage and plumbing services and connections in respect of the property;
- (e) Subject to any non-compliance, that is disclosed herein, with the Local Government Act or any Ordinance under that Act in respect of any building on the land; and
- (f) Subject to all easements, covenants, leases, appurtenant easements and restrictions (if any) as set out herein or attached hereto whether known to the Vendor or not. The purchaser should make his own enquiries whether any structures or buildings are constructed over any easements prior to signing the contract, otherwise the purchaser accepts the location of all buildings and shall not make any claim in relation there to.

6.3 The purchaser acknowledges and agrees that the purchaser has made its own independent enquires on all matters and does not rely on anything stated by or on behalf of the Vendor.

6.4 The purchaser agrees not to seek to terminate rescind or make any objection requisition or claim for compensation arising out of any of the matters covered by this clause.

6.5. No failure of any buildings or improvements to comply with any planning or building legislation regulations or bylaws or any planning permit constitutes a defect in the vendor’s title or affects the validity of this contract.

6.6 The purchaser further acknowledges that any improvements on the property may be subject to or require compliance with Victorian Building Regulations, Municipal By-Laws, relevant statutes and/or other regulations thereunder and any repealed laws under which the improvements were or should have been constructed. Any failure to comply with any one or more of

those laws or regulations shall not be deemed to constitute a defect in title and the purchaser shall not claim any compensation whatsoever nor require the vendor to comply with any of the abovementioned laws and regulations or carry out any final inspections including any requirement to fence any pool or spa or install smoke detectors. The purchaser shall not make any requisition or claim any compensation for any deficiency or defect in the said improvements as to their suitability for occupation or otherwise including any requisition in relation to the issue or non-issue of Building Permits and/or completion of inspections by the relevant authorities in respect of any improvements herein. The purchaser agrees not to seek to terminate, rescind or make any objection, requisition or claim for compensation in relation to anything referred to in this special condition.

Special condition 6 – Deposit

In the event that the purchaser fails to pay the full deposit on the due date, this contract is voidable at the option of the vendor.

Special condition 7 – Loan

The purchaser acknowledge that should this contract be subject to finance and in the event that finance is not approved then the purchaser must provide written proof on a formal decline letter generated by the lender or lending institution to which the finance was applied by the purchaser.

Any decline letters from brokers or any loan originator are not accepted. Failure to comply of this special condition will render the contract of sale unconditional.

Any requests an extension or variation to the Finance Due Date, the Purchaser must pay the Vendor' representative \$110 at the settlement for each request.

Special condition 8 - Plan of Subdivision

1. The purchaser acknowledges that as at the Day of Sale if the Plan of Subdivision has not been registered by the Registrar of Titles pursuant to Part 4 of the Subdivision Act or Section 97 of the Transfer of Land Act (as the case may be).
2. The Vendor shall as it own cost and expense procure registration of the Plan of Subdivision.
3. If the Plan of Subdivision is not registered within 48 months after the day of sale, the Purchaser may after the expiration of that 18 months but before the plan of subdivision is so registered rescind this contract by notice in writing to the other party and the Deposit shall then be repaid to the Purchaser in full.
4. The Vendor reserves the right to make alteration to the Plan of subdivision necessary to secure its approval by the Registrar of Titles and (subject to the provisions of Section 9AC of the Sale of Land Act) the purchaser shall make no objection or requisition or claim any compensation in respect of any excess or deficiency whether in areas, boundaries, measurements, occupations, or otherwise on the ground that the plan of subdivision as registered by the Registrar of Titles does not agree in measurement or otherwise with the Plan of Subdivision or the Property as inspected by the Purchaser.
5. The Purchaser undertakes that he/she will not lodge a Caveat against the Title to the land hereby sold pending approval of the Plan of Subdivision by the Registrar of titles.

Special condition 9 - Nomination

The purchaser may no later than 14 days before the due date for settlement nominate a substitute or additional person to take a transfer of the land, but the named purchaser remains personally liable for the due performance of all the purchaser's obligations under this contract.

The purchaser has to pay the professional fees to Vendor's Conveyancer of \$220 for the nomination.

Special condition 10 – Rescheduled Settlement

Without limiting any other rights of the Vendor, if the purchaser fails to settle on the due date for settlement as set out in the particulars of this Contract (Due Date) or requests an extension or variation to the Due Date, the Purchaser must pay the Vendor' representative \$330 at the settlement for each request.

Special condition 11 - Owners Corporate Certificate to be provided

If the contract has Owners Corporate Certificate to be provided, the purchaser must acknowledge this and is not agreeable to rescind, object to requestion, make a claim or terminate the contract based on this condition. The Owners Corporate Certificate will be provided in a timely manner and made available to the purchaser and purchasers representative as soon as it is issued.

Special condition 12 - Re-sale Deed

For the Sale of this land to take effect, both Vendor(s) and Purchaser(s) will be required to enter into a Re-Sale Deed prior to settlement date. The Re-Sale Deed will be obtained by the Vendor from Developer's (head Vendor) lawyers. The Purchaser(s) acknowledge and agree to;

- a) Allow any cost incurred by the Vendor for obtaining Re-Sale deed from Developer's (Head Vendor) Lawyers via adjustments at settlement.
- b) Execute the Re-Sale deed and deliver them to Vendor's Conveyancer at least seven (7) days prior to settlement date.

Special condition 13 - Finance

1. This special condition only applies if the contract of sale is subject to finance and this special condition is ticked. It does not apply to unconditional contracts or auction contracts. This Contract is conditional upon the Purchaser's Mortgagee approving a loan on the security of the land by the Approval date or any later date allowed by the Vendor.
2. In the event of failure to obtain finance, the Purchaser agrees to provide the Vendor upon request a copy of the

Formal finance decline letter from the Registered lending institution, not the broker that is engaged to secure the finance by the Approval Date.

3. Deposit monies must immediately be refunded to the Purchaser if the contract is ended under this special condition, save and except for the sum of \$330.00 (inclusive of GST), towards the Vendor's cost.
4. This condition is presumed to have been satisfied if the Purchaser has not communicated to the Vendor as required by this clause.

Special condition 14 - Builder Warranty Insurance/ Domestic Building Insurance

1. The buyers acknowledge this property does not have any builder warranty insurance for the built or renovations.
2. The buyer is agreeable to waive all his/her rights to request builder warranty insurance from the vendor.
3. The buyer agrees not to seek to terminate, rescind or make any objection, requisition or claim for compensation in relation to anything referred to building warranty insurance.

Special condition 15 - No Warranty , representation or guarantee

1. The Vendor does not guarantee or make any representations about whether the work performed requires permits. The Purchaser acknowledges that it is solely their responsibility to determine whether permits or approvals are necessary for the work completed, as outlined in the Owner Building Warranty Report. The Vendor further states their belief that the work carried out by their contractor does not require a building permit nor a builder warranty insurance.
2. The Purchaser also acknowledges that the Vendor makes no representations or warranties concerning the compliance of the work with any legal or regulatory requirements, including but not limited to building codes, zoning laws, or safety standards.

Special condition 16 - Indemnity by Purchaser

The Purchaser agrees to indemnify and hold the Vendor harmless from any claims, costs, liabilities, or damages that may arise after settlement regarding the necessity of permits or warranty insurance for the work performed. This includes any costs the Purchaser incurs in obtaining permits or addressing any issues of non-compliance with legal or regulatory requirements.

1) The Purchaser will not have the right to:

- a. Claim any compensation, damages, or costs related to the work performed on the Property;
- b. Pursue any legal remedy against the Vendor for the performance of the work, including claims of breach of contract, misrepresentation, or any other legal action related to non-compliance (if any) with permit or regulatory requirements;
- c. Cancel or rescind this contract, in whole or in part, based on the Vendor's disclosure about the uncertainty of permit requirements for the work;
- d. Delay settlement due to any condition of the fixtures or fitting as the property is bought as is.

2) The Vendor is under no obligation to assist the Purchaser in obtaining permits, regulatory approvals, or insurance for any work performed on the Property prior to settlement, nor in rectifying any issues related to such work. The Purchaser agrees to cover all associated costs (if any).

The indemnity provisions in this agreement shall remain in effect after settlement and continue indefinitely, even after the transfer of the Property title to the Purchaser.

General Conditions

Contract signing

1. ELECTRONIC SIGNATURE

- 1.1 In this general condition "electronic signature " means a digital signature or a visual representation of a person's handwritten signature or mark which is placed on a physical or electronic copy of this contract by electronic or mechanical means, and "electronically signed" has a corresponding meaning.
- 1.2 The parties consent to this contract being signed by or on behalf of a party by an electronic signature.
- 1.3 Where this contract is electronically signed by or on behalf of a party, the party warrants and agrees that the electronic signature has been used to identify the person signing and to indicate that the party intends to be bound by the electronic signature.
- 1.4 This contract may be electronically signed in any number of counterparts which together will constitute the one document.
- 1.5 Each party consents to the exchange of counterparts of this contract by delivery by email or such other electronic means as may be agreed in writing.
- 1.6 Each party must upon request promptly deliver a physical counterpart of this contract with the handwritten signature or signatures of the party and all written evidence of the authority of a person signing on their behalf, but a failure to comply with the request does not affect the validity of this contract.

2. LIABILITY OF SIGNATORY

Any signatory for a proprietary limited company purchaser is personally liable for the due performance of the purchaser's obligations as if the signatory were the purchaser in the case of a default by a proprietary limited company purchaser.

3. GUARANTEE

The vendor may require one or more directors of the purchaser to guarantee the purchaser's performance of this contract if the purchaser is a proprietary limited company.

4. NOMINEE

The purchaser may no later than 14 days before the due date for settlement nominate a substitute or additional person to take a transfer of the land, but the named purchaser remains personally liable for the due performance of all the purchaser's obligations under this contract.

Title

5. ENCUMBRANCES

- 5.1 The purchaser buys the property subject to:
 - (a) any encumbrance shown in the section 32 statement other than mortgages or caveats; and
 - (b) any reservations, exceptions and conditions in the crown grant; and
 - (c) any lease or tenancy referred to in the particulars of sale.
- 5.2 The purchaser indemnifies the vendor against all obligations under any lease or tenancy that are to be performed by the landlord after settlement.

6. VENDOR WARRANTIES

- 6.1 The vendor warrants that these general conditions 1 to 35 are identical to the general conditions 1 to 35 in the form of contract of sale of land published by the Law Institute of Victoria Limited and the Real Estate Institute of Victoria Ltd in the month and year set out at the foot of this page.
- 6.2 The warranties in general conditions 6.3 and 6.4 replace the purchaser's right to make requisitions and inquiries.
- 6.3 The vendor warrants that the vendor:
 - (a) has, or by the due date for settlement will have, the right to sell the land; and
 - (b) is under no legal disability; and
 - (c) is in possession of the land, either personally or through a tenant; and
 - (d) has not previously sold or granted any option to purchase, agreed to a lease or granted a pre-emptive right which is current over the land and which gives another party rights which have priority over the interest of the purchaser; and
 - (e) will at settlement be the holder of an unencumbered estate in fee simple in the land; and
 - (f) will at settlement be the unencumbered owner of any improvements, fixtures, fittings and goods sold with the land.
- 6.4 The vendor further warrants that the vendor has no knowledge of any of the following:
 - (a) public rights of way over the land;
 - (b) easements over the land;
 - (c) lease or other possessory agreement affecting the land;

- (d) notice or order directly and currently affecting the land which will not be dealt with at settlement, other than the usual rate notices and any land tax notices;
 - (e) legal proceedings which would render the sale of the land void or voidable or capable of being set aside.
- 6.5 The warranties in general conditions 6.3 and 6.4 are subject to any contrary provisions in this contract and disclosures in the section 32 statement.
- 6.6 If sections 137B and 137C of the *Building Act* 1993 apply to this contract, the vendor warrants that:
- (a) all domestic building work carried out in relation to the construction by or on behalf of the vendor of the home was carried out in a proper and workmanlike manner; and
 - (b) all materials used in that domestic building work were good and suitable for the purpose for which they were used and that, unless otherwise stated in the contract, those materials were new; and
 - (c) domestic building work was carried out in accordance with all laws and legal requirements, including, without limiting the generality of this warranty, the *Building Act* 1993 and regulations made under the *Building Act* 1993.
- 6.7 Words and phrases used in general condition 6.6 which are defined in the *Building Act* 1993 have the same meaning in general condition 6.6.

7. IDENTITY OF THE LAND

- 7.1 An omission or mistake in the description of the property or any deficiency in the area, description or measurements of the land does not invalidate the sale.
- 7.2 The purchaser may not:
- (a) make any objection or claim for compensation for any alleged misdescription of the property or any deficiency in its area or measurements; or
 - (b) require the vendor to amend title or pay any cost of amending title.

8. SERVICES

- 8.1 The vendor does not represent that the services are adequate for the purchaser's proposed use of the property and the vendor advises the purchaser to make appropriate inquiries. The condition of the services may change between the day of sale and settlement and the vendor does not promise that the services will be in the same condition at settlement as they were on the day of sale.
- 8.2 The purchaser is responsible for the connection of all services to the property after settlement and the payment of any associated cost.

9. CONSENTS

The vendor must obtain any necessary consent or licence required for the vendor to sell the property. The contract will be at an end and all money paid must be refunded if any necessary consent or licence is not obtained by settlement.

10. TRANSFER & DUTY

- 10.1 The purchaser must prepare and deliver to the vendor at least 7 days before the due date for settlement any paper transfer of land document which is necessary for this transaction. The delivery of the transfer of land document is not acceptance of title.
- 10.2 The vendor must promptly initiate the Duties on Line or other form required by the State Revenue Office in respect of this transaction, and both parties must co-operate to complete it as soon as practicable.

11. RELEASE OF SECURITY INTEREST

- 11.1 This general condition applies if any part of the property is subject to a security interest to which the *Personal Property Securities Act* 2009 (Cth) applies.
- 11.2 For the purposes of enabling the purchaser to search the Personal Property Securities Register for any security interests affecting any personal property for which the purchaser may be entitled to a release, statement, approval or correction in accordance with general condition 11.4, the purchaser may request the vendor to provide the vendor's date of birth to the purchaser. The vendor must comply with a request made by the purchaser under this condition if the purchaser makes the request at least 21 days before the due date for settlement.
- 11.3 If the purchaser is given the details of the vendor's date of birth under general condition 11.2, the purchaser must
- (a) only use the vendor's date of birth for the purposes specified in general condition 11.2; and
 - (b) keep the date of birth of the vendor secure and confidential.
- 11.4 The vendor must ensure that at or before settlement, the purchaser receives—
- (a) a release from the secured party releasing the property from the security interest; or
 - (b) a statement in writing in accordance with section 275(1)(b) of the *Personal Property Securities Act* 2009 (Cth) setting out that the amount or obligation that is secured is nil at settlement; or
 - (c) a written approval or correction in accordance with section 275(1)(c) of the *Personal Property Securities Act* 2009 (Cth) indicating that, on settlement, the personal property included in the contract is not or will not be property in which the security interest is granted.
- 11.5 Subject to general condition 11.6, the vendor is not obliged to ensure that the purchaser receives a release, statement, approval or correction in respect of personal property—

- (a) that—
 - (i) the purchaser intends to use predominantly for personal, domestic or household purposes; and
 - (ii) has a market value of not more than \$5000 or, if a greater amount has been prescribed for the purposes of section 47(1) of the *Personal Property Securities Act 2009* (Cth), not more than that prescribed amount; or
 - (b) that is sold in the ordinary course of the vendor's business of selling personal property of that kind.
- 11.6 The vendor is obliged to ensure that the purchaser receives a release, statement, approval or correction in respect of personal property described in general condition 11.5 if—
- (a) the personal property is of a kind that may or must be described by serial number in the Personal Property Securities Register; or
 - (b) the purchaser has actual or constructive knowledge that the sale constitutes a breach of the security agreement that provides for the security interest.
- 11.7 A release for the purposes of general condition 11.4(a) must be in writing.
- 11.8 A release for the purposes of general condition 11.4(a) must be effective in releasing the goods from the security interest and be in a form which allows the purchaser to take title to the goods free of that security interest.
- 11.9 If the purchaser receives a release under general condition 11.4(a) the purchaser must provide the vendor with a copy of the release at or as soon as practicable after settlement.
- 11.10 In addition to ensuring that a release is received under general condition 7.4(a), the vendor must ensure that at or before settlement the purchaser receives a written undertaking from a secured party to register a financing change statement to reflect that release if the property being released includes goods of a kind that are described by serial number in the Personal Property Securities Register.
- 11.11 The purchaser must advise the vendor of any security interest that is registered on or before the day of sale on the Personal Property Securities Register, which the purchaser reasonably requires to be released, at least 21 days before the due date for settlement.
- 11.12 The vendor may delay settlement until 21 days after the purchaser advises the vendor of the security interests that the purchaser reasonably requires to be released if the purchaser does not provide an advice under general condition 11.11.
- 11.13 If settlement is delayed under general condition 11.12 the purchaser must pay the vendor—
- (a) interest from the due date for settlement until the date on which settlement occurs or 21 days after the vendor receives the advice, whichever is the earlier; and
 - (b) any reasonable costs incurred by the vendor as a result of the delay—
- as though the purchaser was in default.
- 11.14 The vendor is not required to ensure that the purchaser receives a release in respect of the land. This general condition 1.14 applies despite general condition 11.1.
- 11.15 Words and phrases which are defined in the *Personal Property Securities Act 2009* (Cth) have the same meaning in general condition 11 unless the context requires otherwise.

12. BUILDER WARRANTY INSURANCE

The vendor warrants that the vendor will provide at settlement details of any current builder warranty insurance in the vendor's possession relating to the property if requested in writing to do so at least 21 days before settlement.

13. GENERAL LAW LAND

- 13.2 The remaining provisions of this general condition 13 only apply if any part of the land is not under the operation of the *Transfer of Land Act 1958*.
- 13.3 The vendor is taken to be the holder of an unencumbered estate in fee simple in the land if there is an unbroken chain of title starting at least 30 years before the day of sale proving on the face of the documents the ownership of the entire legal and equitable estate without the aid of other evidence.
- 13.4 The purchaser is entitled to inspect the vendor's chain of title on request at such place in Victoria as the vendor nominates.
- 13.5 The purchaser is taken to have accepted the vendor's title if:
- (a) 21 days have elapsed since the day of sale; and
 - (b) the purchaser has not reasonably objected to the title or reasonably required the vendor to remedy a defect in the title.
- 13.6 The contract will be at an end if:
- (a) the vendor gives the purchaser a notice that the vendor is unable or unwilling to satisfy the purchaser's objection or requirement and that the contract will end if the objection or requirement is not withdrawn within 14 days of the giving of the notice; and

- (b) the objection or requirement is not withdrawn in that time.
 - 13.7 If the contract ends in accordance with general condition 13.6, the deposit must be returned to the purchaser and neither party has a claim against the other in damages.
 - 13.10 General condition 17.1 [settlement] should be read as if the reference to 'registered proprietor' is a reference to 'owner' in respect of that part of the land which is not under the operation of the *Transfer of Land Act 1958*.
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Money

14. DEPOSIT

- 14.1 The purchaser must pay the deposit:
 - (a) to the vendor's licensed estate agent; or
 - (b) if there is no estate agent, to the vendor's legal practitioner or conveyancer; or
 - (c) if the vendor directs, into a special purpose account in an authorised deposit-taking institution in Victoria specified by the vendor in the joint names of the purchaser and the vendor.
- 14.2 If the land sold is a lot on an unregistered plan of subdivision, the deposit:
 - (a) must not exceed 10% of the price; and
 - (b) must be paid to the vendor's estate agent, legal practitioner or conveyancer and held by the estate agent, legal practitioner or conveyancer on trust for the purchaser until the registration of the plan of subdivision.
- 14.3 The deposit must be released to the vendor if:
 - (a) the vendor provides particulars, to the satisfaction of the purchaser, that either-
 - (i) there are no debts secured against the property; or
 - (ii) if there are any debts, the total amount of those debts together with any amounts to be withheld in accordance with general conditions 24 and 25 does not exceed 80% of the sale price; and
 - (b) at least 28 days have elapsed since the particulars were given to the purchaser under paragraph (a); and
 - (c) all conditions of section 27 of the *Sale of Land Act 1962* have been satisfied.
- 14.4 The stakeholder must pay the deposit and any interest to the party entitled when the deposit is released, the contract is settled, or the contract is ended.
- 14.5 The stakeholder may pay the deposit and any interest into court if it is reasonable to do so.
- 14.6 Where the purchaser is deemed by section 27(7) of the *Sale of Land Act 1962* to have given the deposit release authorisation referred to in section 27(1), the purchaser is also deemed to have accepted title in the absence of any prior express objection to title.
- 14.7 Payment of the deposit may be made or tendered:
 - (a) in cash up to \$1,000 or 0.2% of the price, whichever is greater; or
 - (b) by cheque drawn on an authorised deposit-taking institution; or
 - (c) by electronic funds transfer to a recipient having the appropriate facilities for receipt.However, unless otherwise agreed:
 - (d) payment may not be made by credit card, debit card or any other financial transfer system that allows for any chargeback or funds reversal other than for fraud or mistaken payment, and
 - (e) any financial transfer or similar fees or deductions from the funds transferred, other than any fees charged by the recipient's authorised deposit-taking institution, must be paid by the remitter.
- 14.8 Payment by electronic funds transfer is made when cleared funds are received in the recipient's bank account.
- 14.9 Before the funds are electronically transferred the intended recipient must be notified in writing and given sufficient particulars to readily identify the relevant transaction.
- 14.10 As soon as the funds have been electronically transferred the intended recipient must be provided with the relevant transaction number or reference details.
- 14.11 For the purpose of this general condition 'authorised deposit-taking institution' means a body corporate for which an authority under section 9(3) of the *Banking Act 1959 (Cth)* is in force.

15. DEPOSIT BOND

- 15.1 This general condition only applies if the applicable box in the particulars of sale is checked.
- 15.2 In this general condition "deposit bond" means an irrevocable undertaking to pay on demand an amount equal to the deposit or any unpaid part of the deposit. The issuer and the form of the deposit bond must be satisfactory to the vendor. The deposit bond must have an expiry date at least 45 days after the due date for settlement.

- 15.3 The purchaser may deliver a deposit bond to the vendor's estate agent, legal practitioner or conveyancer within 7 days after the day of sale.
- 15.4 The purchaser may at least 45 days before a current deposit bond expires deliver a replacement deposit bond on the same terms and conditions.
- 15.5 Where a deposit bond is delivered, the purchaser must pay the deposit to the vendor's legal practitioner or conveyancer on the first to occur of:
- (a) settlement;
 - (b) the date that is 45 days before the deposit bond or any replacement deposit bond expires;
 - (c) the date on which this contract ends in accordance with general condition 35.2 [default not remedied] following breach by the purchaser; and
 - (d) the date on which the vendor ends this contract by accepting repudiation of it by the purchaser.
- 15.6 The vendor may claim on the deposit bond without prior notice if the purchaser defaults under this contract or repudiates this contract and the contract is ended. The amount paid by the issuer satisfies the obligations of the purchaser under general condition 15.5 to the extent of the payment.
- 15.7 Nothing in this general condition limits the rights of the vendor if the purchaser defaults under this contract or repudiates this contract, except as provided in general condition 15.6.
- 15.8 This general condition is subject to general condition 14.2 [deposit].

16. BANK GUARANTEE

- 16.1 This general condition only applies if the applicable box in the particulars of sale is checked.
- 16.2 In this general condition:
- (a) "bank guarantee" means an unconditional and irrevocable guarantee or undertaking by a bank in a form satisfactory to the vendor to pay on demand any amount under this contract agreed in writing, and
 - (b) "bank" means an authorised deposit-taking institution under the *Banking Act 1959 (Cth)*.
- 16.3 The purchaser may deliver a bank guarantee to the vendor's legal practitioner or conveyancer.
- 16.4 The purchaser must pay the amount secured by the bank guarantee to the vendor's legal practitioner or conveyancer on the first to occur of:
- (a) settlement;
 - (b) the date that is 45 days before the bank guarantee expires;
 - (c) the date on which this contract ends in accordance with general condition 35.2 [default not remedied] following breach by the purchaser; and
 - (d) the date on which the vendor ends this contract by accepting repudiation of it by the purchaser.
- 16.5 The vendor must return the bank guarantee document to the purchaser when the purchaser pays the amount secured by the bank guarantee in accordance with general condition 16.4.
- 16.6 The vendor may claim on the bank guarantee without prior notice if the purchaser defaults under this contract or repudiates this contract and the contract is ended. The amount paid by the bank satisfies the obligations of the purchaser under general condition 16.4 to the extent of the payment.
- 16.7 Nothing in this general condition limits the rights of the vendor if the purchaser defaults under this contract or repudiates this contract except as provided in general condition 16.6.
- 16.8 This general condition is subject to general condition 14.2 [deposit].

17. SETTLEMENT

- 17.1 At settlement:
- (a) the purchaser must pay the balance; and
 - (b) the vendor must:
 - (i) do all things necessary to enable the purchaser to become the registered proprietor of the land; and
 - (ii) give either vacant possession or receipt of rents and profits in accordance with the particulars of sale.
- 17.2 Settlement must be conducted between the hours of 10.00 am and 4.00 pm unless the parties agree otherwise.
- 17.3 The purchaser must pay all money other than the deposit in accordance with a written direction of the vendor or the vendor's legal practitioner or conveyancer.

18. ELECTRONIC SETTLEMENT

- 18.1 Settlement and lodgment of the instruments necessary to record the purchaser as registered proprietor of the land will be conducted electronically in accordance with the Electronic Conveyancing National Law. This general condition 18 has priority over any other provision of this contract to the extent of any inconsistency.
- 18.2 A party must immediately give written notice if that party reasonably believes that settlement and lodgment can no longer be conducted electronically. General condition 18 ceases to apply from when such a notice is given.

- 18.3 Each party must:
- (a) be, or engage a representative who is, a subscriber for the purposes of the Electronic Conveyancing National Law,
 - (b) ensure that all other persons for whom that party is responsible and who are associated with this transaction are, or engage, a subscriber for the purposes of the Electronic Conveyancing National Law, and
 - (c) conduct the transaction in accordance with the Electronic Conveyancing National Law.
- 18.4 The vendor must open the electronic workspace ("workspace") as soon as reasonably practicable and nominate a date and time for settlement. The inclusion of a specific date and time for settlement in a workspace is not of itself a promise to settle on that date or at that time. The workspace is an electronic address for the service of notices and for written communications for the purposes of any electronic transactions legislation.
- 18.5 This general condition 18.5 applies if there is more than one electronic lodgment network operator in respect of the transaction. In this general condition 18.5 "the transaction" means this sale and purchase and any associated transaction involving any of the same subscribers.
- To the extent that any interoperability rules governing the relationship between electronic lodgment network operators do not provide otherwise:
- (a) the electronic lodgment network operator to conduct all the financial and lodgment aspects of the transaction after the workspace locks must be one which is willing and able to conduct such aspects of the transaction in accordance with the instructions of all the subscribers in the workspaces of all the electronic lodgment network operators after the workspace locks;
 - (b) if two or more electronic lodgment network operators meet that description, one may be selected by purchaser's incoming mortgagee having the highest priority but if there is no mortgagee of the purchaser, the vendor must make the selection.
- 18.6 Settlement occurs when the workspace records that:
- (a) there has been an exchange of funds or value between the exchange settlement account or accounts in the Reserve Bank of Australia of the relevant financial institutions or their financial settlement agents in accordance with the instructions of the parties; or
 - (b) if there is no exchange of funds or value, the documents necessary to enable the purchaser to become registered proprietor of the land have been accepted for electronic lodgment.
- 18.7 The parties must do everything reasonably necessary to effect settlement:
- (a) electronically on the next business day, or
 - (b) at the option of either party, otherwise than electronically as soon as possible –
- if, after the locking of the workspace at the nominated settlement time, settlement in accordance with general condition 18.6 has not occurred by 4.00 pm, or 6.00 pm if the nominated time for settlement is after 4.00 pm.
- 18.8 Each party must do everything reasonably necessary to assist the other party to trace and identify the recipient of any missing or mistaken payment and to recover the missing or mistaken payment.
- 18.9 The vendor must before settlement:
- (a) deliver any keys, security devices and codes ("keys") to the estate agent named in the contract,
 - (b) direct the estate agent to give the keys to the purchaser or the purchaser's nominee on notification of settlement by the vendor, the vendor's subscriber or the electronic lodgment network operator;
 - (c) deliver all other physical documents and items (other than the goods sold by the contract) to which the purchaser is entitled at settlement, and any keys if not delivered to the estate agent, to the vendor's subscriber or, if there is no vendor's subscriber, confirm in writing to the purchaser that the vendor holds those documents, items and keys at the vendor's address set out in the contract, and
- give, or direct its subscriber to give, all those documents and items and any such keys to the purchaser or the purchaser's nominee on notification by the electronic lodgment network operator of settlement.

19. GST

- 19.1 The purchaser does not have to pay the vendor any amount in respect of GST in addition to the price if the particulars of sale specify that the price includes GST (if any).
- 19.2 The purchaser must pay to the vendor any GST payable by the vendor in respect of a taxable supply made under this contract in addition to the price if:
- (a) the particulars of sale specify that GST (if any) must be paid in addition to the price; or
 - (b) GST is payable solely as a result of any action taken or intended to be taken by the purchaser after the day of sale, including a change of use; or
 - (c) the particulars of sale specify that the supply made under this contract is of land on which a 'farming business' is carried on and the supply (or part of it) does not satisfy the requirements of section 38-480 of the GST Act; or
 - (d) the particulars of sale specify that the supply made under this contract is of a going concern and the supply (or a part of it) does not satisfy the requirements of section 38-325 of the GST Act.
- 19.3 The purchaser is not obliged to pay any GST under this contract until a tax invoice has been given to the purchaser.
- 19.4 If the particulars of sale specify that the supply made under this contract is of land on which a 'farming business' is carried on:
- (a) the vendor warrants that the property is land on which a farming business has been carried on for the period of 5 years preceding the date of supply; and

- (b) the purchaser warrants that the purchaser intends that a farming business will be carried on after settlement on the property.

19.5 If the particulars of sale specify that the supply made under this contract is a 'going concern':

- (a) the parties agree that this contract is for the supply of a going concern; and
- (b) the purchaser warrants that the purchaser is, or prior to settlement will be, registered for GST; and
- (c) the vendor warrants that the vendor will carry on the going concern until the date of supply.

19.6 If the particulars of sale specify that the supply made under this contract is a 'margin scheme' supply, the parties agree that the margin scheme applies to this contract.

19.7 In this general condition:

- (a) 'GST Act' means *A New Tax System (Goods and Services Tax) Act 1999* (Cth); and
- (b) 'GST' includes penalties and interest.

20. LOAN

20.1 If the particulars of sale specify that this contract is subject to a loan being approved, this contract is subject to the lender approving the loan on the security of the property by the approval date or any later date allowed by the vendor.

20.2 The purchaser may end the contract if the loan is not approved by the approval date, but only if the purchaser:

- (a) immediately applied for the loan; and
- (b) did everything reasonably required to obtain approval of the loan; and
- (c) serves written notice ending the contract, together with written evidence of rejection or non-approval of the loan, on the vendor within 2 clear business days after the approval date or any later date allowed by the vendor; and
- (d) is not in default under any other condition of this contract when the notice is given.

20.3 All money must be immediately refunded to the purchaser if the contract is ended.

21. BUILDING REPORT

21.1 This general condition only applies if the applicable box in the particulars of sale is checked.

21.2 The purchaser may end this contract within 14 days from the day of sale if the purchaser:

- (a) obtains a written report from a registered building practitioner or architect which discloses a current defect in a structure on the land and designates it as a major building defect;
- (b) gives the vendor a copy of the report and a written notice ending this contract; and
- (c) is not then in default.

21.3 All money paid must be immediately refunded to the purchaser if the contract ends in accordance with this general condition.

21.4 A notice under this general condition may be served on the vendor's legal practitioner, conveyancer or estate agent even if the estate agent's authority has formally expired at the time of service.

21.5 The registered building practitioner may inspect the property at any reasonable time for the purpose of preparing the report.

22. PEST REPORT

22.1 This general condition only applies if the applicable box in the particulars of sale is checked.

22.2 The purchaser may end this contract within 14 days from the day of sale if the purchaser:

- (a) obtains a written report from a pest control operator licensed under Victorian law which discloses a current pest infestation on the land and designates it as a major infestation affecting the structure of a building on the land;
- (b) gives the vendor a copy of the report and a written notice ending this contract; and
- (c) is not then in default.

22.3 All money paid must be immediately refunded to the purchaser if the contract ends in accordance with this general condition.

22.4 A notice under this general condition may be served on the vendor's legal practitioner, conveyancer or estate agent even if the estate agent's authority has formally expired at the time of service.

22.5 The pest control operator may inspect the property at any reasonable time for the purpose of preparing the report.

23. ADJUSTMENTS

23.1 All periodic outgoings payable by the vendor, and any rent and other income received in respect of the property must be apportioned between the parties on the settlement date and any adjustments paid and received as appropriate.

23.2 The periodic outgoings and rent and other income must be apportioned on the following basis:

- (a) the vendor is liable for the periodic outgoings and entitled to the rent and other income up to and including the day of settlement; and
- (b) the land is treated as the only land of which the vendor is owner (as defined in the *Land Tax Act 2005*); and
- (c) the vendor is taken to own the land as a resident Australian beneficial owner; and
- (d) any personal statutory benefit available to each party is disregarded in calculating apportionment.

- 23.3 The purchaser must provide copies of all certificates and other information used to calculate the adjustments under general condition 23, if requested by the vendor.

24. FOREIGN RESIDENT CAPITAL GAINS WITHHOLDING

- 24.1 Words defined or used in Subdivision 14-D of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* have the same meaning in this general condition unless the context requires otherwise.
- 24.2 Every vendor under this contract is a foreign resident for the purposes of this general condition unless the vendor gives the purchaser a clearance certificate issued by the Commissioner under section 14-220 (1) of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*. The specified period in the clearance certificate must include the actual date of settlement.
- 24.3 The remaining provisions of this general condition 24 only apply if the purchaser is required to pay the Commissioner an amount in accordance with section 14-200(3) or section 14-235 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* ("the amount") because one or more of the vendors is a foreign resident, the property has or will have a market value not less than the amount set out in section 14-215 of the legislation just after the transaction, and the transaction is not excluded under section 14-215(1) of the legislation.
- 24.4 The amount is to be deducted from the vendor's entitlement to the contract consideration. The vendor must pay to the purchaser at settlement such part of the amount as is represented by non-monetary consideration.
- 24.5 The purchaser must:
- (a) engage a legal practitioner or conveyancer ("representative") to conduct all the legal aspects of settlement, including the performance of the purchaser's obligations under the legislation and this general condition; and
 - (b) ensure that the representative does so.
- 24.6 The terms of the representative's engagement are taken to include instructions to have regard to the vendor's interests and instructions that the representative must:
- (a) pay, or ensure payment of, the amount to the Commissioner in the manner required by the Commissioner and as soon as reasonably and practicably possible, from moneys under the control or direction of the representative in accordance with this general condition if the sale of the property settles;
 - (b) promptly provide the vendor with proof of payment; and
 - (c) otherwise comply, or ensure compliance, with this general condition;
- despite:
- (d) any contrary instructions, other than from both the purchaser and the vendor; and
 - (e) any other provision in this contract to the contrary.
- 24.7 The representative is taken to have complied with the requirements of general condition 24.6 if:
- (a) the settlement is conducted through an electronic lodgment network; and
 - (b) the amount is included in the settlement statement requiring payment to the Commissioner in respect of this transaction.
- 24.8 Any clearance certificate or document evidencing variation of the amount in accordance with section 14-235(2) of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* must be given to the purchaser at least 5 business days before the due date for settlement.
- 24.9 The vendor must provide the purchaser with such information as the purchaser requires to comply with the purchaser's obligation to pay the amount in accordance with section 14-200 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*. The information must be provided within 5 business days of request by the purchaser. The vendor warrants that the information the vendor provides is true and correct.
- 24.10 The purchaser is responsible for any penalties or interest payable to the Commissioner on account of late payment of the amount.

25. GST WITHHOLDING

- 25.1 Words and expressions defined or used in Subdivision 14-E of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* or in *A New Tax System (Goods and Services Tax) Act 1999 (Cth)* have the same meaning in this general condition unless the context requires otherwise. Words and expressions first used in this general condition and shown in italics and marked with an asterisk are defined or described in at least one of those Acts.
- 25.2 The purchaser must notify the vendor in writing of the name of the recipient of the *supply for the purposes of section 14-255 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* at least 21 days before the due date for settlement unless the recipient is the purchaser named in the contract.
- 25.3 The vendor must at least 14 days before the due date for settlement provide the purchaser and any person nominated by the purchaser under general condition 4 with a GST withholding notice in accordance with section 14-255 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*, and must provide all information required by the purchaser or any person so nominated to confirm the accuracy of the notice.
- 25.4 The remaining provisions of this general condition 25 apply if the purchaser is or may be required to pay the Commissioner an *amount in accordance with section 14-250 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* because the property is *new residential premises or *potential residential land in either case falling within the parameters of that section, and also if the sale attracts the operation of section 14-255 of the legislation. Nothing in this general condition 25 is to be taken as relieving the vendor from compliance with section 14-255.
- 25.5 The amount is to be deducted from the vendor's entitlement to the contract *consideration and is then taken to be paid to the vendor, whether or not the vendor provides the purchaser with a GST withholding notice in accordance with section 14-255 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*. The vendor must pay to the purchaser at settlement such part of the amount as is represented by non-monetary consideration.

- 25.6 The purchaser must:
- (a) engage a legal practitioner or conveyancer ("representative") to conduct all the legal aspects of settlement, including the performance of the purchaser's obligations under the legislation and this general condition; and
 - (b) ensure that the representative does so.
- 25.7 The terms of the representative's engagement are taken to include instructions to have regard to the vendor's interests relating to the payment of the amount to the Commissioner and instructions that the representative must:
- (a) pay, or ensure payment of, the amount to the Commissioner in the manner required by the Commissioner and as soon as reasonably and practicably possible, from moneys under the control or direction of the representative in accordance with this general condition on settlement of the sale of the property;
 - (b) promptly provide the vendor with evidence of payment, including any notification or other document provided by the purchaser to the Commissioner relating to payment; and
 - (c) otherwise comply, or ensure compliance, with this general condition;
- despite:
- (d) any contrary instructions, other than from both the purchaser and the vendor; and
 - (e) any other provision in this contract to the contrary.
- 25.8 The representative is taken to have complied with the requirements of general condition 25.7 if:
- (a) settlement is conducted through an electronic lodgment network; and
 - (b) the amount is included in the settlement statement requiring payment to the Commissioner in respect of this transaction.
- 25.9 The purchaser may at settlement give the vendor a bank cheque for the amount in accordance with section 16-30 (3) of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*, but only if:
- (a) so agreed by the vendor in writing; and
 - (b) the settlement is not conducted through an electronic lodgment network.
- However, if the purchaser gives the bank cheque in accordance with this general condition 25.9, the vendor must:
- (c) immediately after settlement provide the bank cheque to the Commissioner to pay the amount in relation to the supply; and
 - (d) give the purchaser a receipt for the bank cheque which identifies the transaction and includes particulars of the bank cheque, at the same time the purchaser gives the vendor the bank cheque.
- 25.10 A party must provide the other party with such information as the other party requires to:
- (a) decide if an amount is required to be paid or the quantum of it, or
 - (b) comply with the purchaser's obligation to pay the amount,
- in accordance with section 14-250 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*. The information must be provided within 5 business days of a written request. The party providing the information warrants that it is true and correct.
- 25.11 The vendor warrants that:
- (a) at settlement, the property is not new residential premises or potential residential land in either case falling within the parameters of section 14-250 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* if the vendor gives the purchaser a written notice under section 14-255 to the effect that the purchaser will not be required to make a payment under section 14-250 in respect of the supply, or fails to give a written notice as required by and within the time specified in section 14-255; and
 - (b) the amount described in a written notice given by the vendor to the purchaser under section 14-255 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* is the correct amount required to be paid under section 14-250 of the legislation.
- 25.12 The purchaser is responsible for any penalties or interest payable to the Commissioner on account of non-payment or late payment of the amount, except to the extent that:
- (a) the penalties or interest arise from any failure on the part of the vendor, including breach of a warranty in general condition 25.11; or
 - (b) the purchaser has a reasonable belief that the property is neither new residential premises nor potential residential land requiring the purchaser to pay an amount to the Commissioner in accordance with section 14-250 (1) of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*.
- The vendor is responsible for any penalties or interest payable to the Commissioner on account of non-payment or late payment of the amount if either exception applies.

Transactional

26. TIME & CO OPERATION

- 26.1 Time is of the essence of this contract.
- 26.2 Time is extended until the next business day if the time for performing any action falls on a day which is not a business day.

26.3 Each party must do all things reasonably necessary to enable this contract to proceed to settlement, and must act in a prompt and efficient manner.

26.4 Any unfulfilled obligation will not merge on settlement.

27. SERVICE

27.1 Any document required to be served by or on any party may be served by or on the legal practitioner or conveyancer for that party.

27.2 A cooling off notice under section 31 of the *Sale of Land Act 1962* or a notice under general condition 20 [loan approval], 21 [building report] or 22 [pest report] may be served on the vendor's legal practitioner, conveyancer or estate agent even if the estate agent's authority has formally expired at the time of service.

27.3 A document is sufficiently served:

- (a) personally, or
- (b) by pre-paid post, or
- (c) in any manner authorized by law or by the Supreme Court for service of documents, including any manner authorised for service on or by a legal practitioner, whether or not the person serving or receiving the document is a legal practitioner, or
- (d) by email.

27.4 Any document properly sent by:

- (a) express post is taken to have been served on the next business day after posting, unless proved otherwise;
- (b) priority post is taken to have been served on the fourth business day after posting, unless proved otherwise;
- (c) regular post is taken to have been served on the sixth business day after posting, unless proved otherwise;
- (d) email is taken to have been served at the time of receipt within the meaning of section 13A of the *Electronic Transactions (Victoria) Act 2000*.

27.5 In this contract 'document' includes 'demand' and 'notice', 'serve' includes 'give', and 'served' and 'service' have corresponding meanings.

28. NOTICES

28.1 The vendor is responsible for any notice, order, demand or levy imposing liability on the property that is issued or made before the day of sale, and does not relate to periodic outgoings.

28.2 The purchaser is responsible for any notice, order, demand or levy imposing liability on the property that is issued or made on or after the day of sale, and does not relate to periodic outgoings.

28.3 The purchaser may enter the property to comply with that responsibility where action is required before settlement.

29. INSPECTION

The purchaser and/or another person authorised by the purchaser may inspect the property at any reasonable time during the 7 days preceding and including the settlement day.

30. TERMS CONTRACT

30.1 If this is a 'terms contract' as defined in the *Sale of Land Act 1962*:

- (a) any mortgage affecting the land sold must be discharged as to that land before the purchaser becomes entitled to possession or to the receipt of rents and profits unless the vendor satisfies section 29M of the *Sale of Land Act 1962*; and
- (b) the deposit and all other money payable under the contract (other than any money payable in excess of the amount required to so discharge the mortgage) must be paid to a legal practitioner or conveyancer or a licensed estate agent to be applied in or towards discharging the mortgage.

30.2 While any money remains owing each of the following applies:

- (a) the purchaser must maintain full damage and destruction insurance of the property and public risk insurance noting all parties having an insurable interest with an insurer approved in writing by the vendor;
- (b) the purchaser must deliver copies of the signed insurance application forms, the policies and the insurance receipts to the vendor not less than 10 days before taking possession of the property or becoming entitled to receipt of the rents and profits;
- (c) the purchaser must deliver copies of any amendments to the policies and the insurance receipts on each amendment or renewal as evidence of the status of the policies from time to time;
- (d) the vendor may pay any renewal premiums or take out the insurance if the purchaser fails to meet these obligations;
- (e) insurance costs paid by the vendor under paragraph (d) must be refunded by the purchaser on demand without affecting the vendor's other rights under this contract;
- (f) the purchaser must maintain and operate the property in good repair (fair wear and tear excepted) and keep the property safe, lawful, structurally sound, weatherproof and free from contaminations and dangerous substances;
- (g) the property must not be altered in any way without the written consent of the vendor which must not be unreasonably refused or delayed;
- (h) the purchaser must observe all obligations that affect owners or occupiers of land;

- (i) the vendor and/or other person authorised by the vendor may enter the property at any reasonable time to inspect it on giving 7 days written notice, but not more than twice in a year.

31. LOSS OR DAMAGE BEFORE SETTLEMENT

- 31.1 The vendor carries the risk of loss or damage to the property until settlement.
- 31.2 The vendor must deliver the property to the purchaser at settlement in the same condition it was in on the day of sale, except for fair wear and tear.
- 31.3 The purchaser must not delay settlement because one or more of the goods is not in the condition required by general condition 31.2, but may claim compensation from the vendor after settlement.
- 31.4 The purchaser may nominate an amount not exceeding \$5,000 to be held by a stakeholder to be appointed by the parties if the property is not in the condition required by general condition 31.2 at settlement.
- 31.5 The nominated amount may be deducted from the amount due to the vendor at settlement and paid to the stakeholder, but only if the purchaser also pays an amount equal to the nominated amount to the stakeholder.
- 31.6 The stakeholder must pay the amounts referred to in general condition 31.5 in accordance with the determination of the dispute, including any order for payment of the costs of the resolution of the dispute.

32. BREACH

A party who breaches this contract must pay to the other party on demand:

- (a) compensation for any reasonably foreseeable loss to the other party resulting from the breach; and
- (b) any interest due under this contract as a result of the breach.

Default

33. INTEREST

Interest at a rate of 2% per annum plus the rate for the time being fixed by section 2 of the *Penalty Interest Rates Act 1983* is payable at settlement on any money owing under the contract during the period of default, without affecting any other rights of the offended party.

34. DEFAULT NOTICE

- 34.1 A party is not entitled to exercise any rights arising from the other party's default, other than the right to receive interest and the right to sue for money owing, until the other party is given and fails to comply with a written default notice.
- 34.2 The default notice must:
 - (a) specify the particulars of the default; and
 - (b) state that it is the offended party's intention to exercise the rights arising from the default unless, within 14 days of the notice being given -
 - (i) the default is remedied; and
 - (ii) the reasonable costs incurred as a result of the default and any interest payable are paid.

35. DEFAULT NOT REMEDIED

- 35.1 All unpaid money under the contract becomes immediately payable to the vendor if the default has been made by the purchaser and is not remedied and the costs and interest are not paid.
- 35.2 The contract immediately ends if:
 - (a) the default notice also states that unless the default is remedied and the reasonable costs and interest are paid, the contract will be ended in accordance with this general condition; and
 - (b) the default is not remedied and the reasonable costs and interest are not paid by the end of the period of the default notice.
- 35.3 If the contract ends by a default notice given by the purchaser:
 - (a) the purchaser must be repaid any money paid under the contract and be paid any interest and reasonable costs payable under the contract; and
 - (b) all those amounts are a charge on the land until payment; and
 - (c) the purchaser may also recover any loss otherwise recoverable.
- 35.4 If the contract ends by a default notice given by the vendor:
 - (a) the deposit up to 10% of the price is forfeited to the vendor as the vendor's absolute property, whether the deposit has been paid or not; and
 - (b) the vendor is entitled to possession of the property; and

- (c) in addition to any other remedy, the vendor may within one year of the contract ending either:
 - (i) retain the property and sue for damages for breach of contract; or
 - (ii) resell the property in any manner and recover any deficiency in the price on the resale and any resulting expenses by way of liquidated damages; and
 - (d) the vendor may retain any part of the price paid until the vendor's damages have been determined and may apply that money towards those damages; and
 - (e) any determination of the vendor's damages must take into account the amount forfeited to the vendor.
- 35.5 The ending of the contract does not affect the rights of the offended party as a consequence of the default.
-

GUARANTEE and INDEMNITY

I/We, of
.....

and..... of
.....

being the **Sole Director / Directors** of of
..... (called the "Guarantors") IN

CONSIDERATION of the Vendor selling to the Purchaser at our request the Land described in this Contract of Sale for the price and upon the terms and conditions contained therein **DO** for ourselves and our respective executors and administrators **JOINTLY AND SEVERALLY COVENANT** with the said Vendor and their assigns that if at any time default shall be made in payment of the Deposit Money or residue of Purchase Money or interest or any other moneys payable by the Purchaser to the Vendor under this Contract or in the performance or observance of any term or condition of this Contract to be performed or observed by the Purchaser I/we will immediately on demand by the Vendor pay to the Vendor the whole of the Deposit Money, residue of Purchase Money, interest or other moneys which shall then be due and payable to the Vendor and indemnify and agree to keep the Vendor indemnified against all loss of Deposit Money, residue of Purchase Money, interest and other moneys payable under the within Contract and all losses, costs, charges and expenses whatsoever which the Vendor may incur by reason of any default on the part of the Purchaser. This Guarantee shall be a continuing Guarantee and Indemnity and shall not be released by: -

- (f) any neglect or forbearance on the part of the Vendor in enforcing payment of any of the moneys payable under the within Contract;
- (g) the performance or observance of any of the agreements, obligations or conditions under the within Contract;
- (h) by time given to the Purchaser for any such payment performance or observance;
- (i) by reason of the Vendor assigning his, her or their rights under the said Contract; and
- (j) by any other thing which under the law relating to sureties would but for this provision have the effect of releasing me/us, my/our executors or administrators.

IN WITNESS whereof the parties hereto have set their hands and seals

this day of 2024

SIGNED by the said)
)
 Print Name:)
)
 Director (Sign)

in the presence of:)
)
 Witness:)

Vendor Statement

The vendor makes this statement in respect of the land in accordance with section 32 of the *Sale of Land Act* 1962.

This statement must be signed by the vendor and given to the purchaser before the purchaser signs the contract.
The vendor may sign by electronic signature.

The purchaser acknowledges being given this statement signed by the vendor with the attached documents before the purchaser signed any contract.

Land	51 ANTARES PARADE, KALKALLO VIC 3064
-------------	--------------------------------------

Vendor's name	SHANE LINDSAY	Date
Vendor's signature		17 / 03 / 2025

Purchaser's name		Date
Purchaser's signature		/ /
Purchaser's name		Date
Purchaser's signature		/ /

1. FINANCIAL MATTERS

1.1 Particulars of any Rates, Taxes, Charges or Other Similar Outgoings (and any interest on them)

(a) Their total does not exceed: \$5,000.00

1.2 Particulars of any Charge (whether registered or not) imposed by or under any Act to secure an amount due under that Act, including the amount owing under the charge

	To	
--	----	--

Other particulars (including dates and times of payments):
--

1.3 Terms Contract

This section 1.3 only applies if this vendor statement is in respect of a terms contract where the purchaser is obliged to make 2 or more payments (other than a deposit or final payment) to the vendor after the execution of the contract and before the purchaser is entitled to a conveyance or transfer of the land.

Not Applicable

1.4 Sale Subject to Mortgage

This section 1.4 only applies if this vendor statement is in respect of a contract which provides that any mortgage (whether registered or unregistered), is NOT to be discharged before the purchaser becomes entitled to possession or receipts of rents and profits.

Not Applicable

1.5 Commercial and Industrial Property Tax Reform Act 2024 (Vic) (CIPT Act)

(a) The Australian Valuation Property Classification Code (within the meaning of the CIPT Act) most recently allocated to the land is set out in the attached Municipal rates notice or property clearance certificate or is as follows	AVPC No.
(b) Is the land tax reform scheme land within the meaning of the CIPT Act?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
(c) If the land is tax reform scheme land within the meaning of the CIPT Act, the entry date within the meaning of the CIPT Act is set out in the attached Municipal rates notice or property clearance certificate or is as follows	Date: OR <input checked="" type="checkbox"/> Not applicable

2. INSURANCE

2.1 Damage and Destruction

This section 2.1 only applies if this vendor statement is in respect of a contract which does NOT provide for the land to remain at the risk of the vendor until the purchaser becomes entitled to possession or receipt of rents and profits.

Not Applicable

2.2 Owner Builder

This section 2.2 only applies where there is a residence on the land that was constructed by an owner-builder within the preceding 6 years and section 137B of the Building Act 1993 applies to the residence.

Not Applicable

3. LAND USE

3.1 Easements, Covenants or Other Similar Restrictions

(a) A description of any easement, covenant or other similar restriction affecting the land (whether registered or unregistered):

Is in the attached copies of title document/s

(b) Particulars of any existing failure to comply with that easement, covenant or other similar restriction are:

To the best of the Vendor's knowledge there is no existing failure to comply with the terms of any easements, covenants or other similar restriction.

3.2 Road Access

There is NO access to the property by road if the square box is marked with an 'X'

3.3 Designated Bushfire Prone Area

The land is in a designated bushfire prone area within the meaning of section 192A of the *Building Act* 1993 if the square box is marked with an 'X'

3.4 Planning Scheme

Attached is a certificate with the required specified information.

4. NOTICES

4.1 Notice, Order, Declaration, Report or Recommendation

Particulars of any notice, order, declaration, report or recommendation of a public authority or government department or approved proposal directly and currently affecting the land, being a notice, order, declaration, report, recommendation or approved proposal of which the vendor might reasonably be expected to have knowledge:

Not Applicable

4.2 Agricultural Chemicals

There are NO notices, property management plans, reports or orders in respect of the land issued by a government department or public authority in relation to livestock disease or contamination by agricultural chemicals affecting the ongoing use of the land for agricultural purposes. However, if this is not the case, the details of any such notices, property management plans, reports or orders, are as follows:

NIL

4.3 Compulsory Acquisition

The particulars of any notices of intention to acquire that have been served under section 6 of the *Land Acquisition and Compensation Act* 1986 are as follows:

NIL

5. BUILDING PERMITS

Particulars of any building permit issued under the *Building Act* 1993 in the preceding 7 years (required only where there is a residence on the land):

Are contained in the attached certificate

6. OWNERS CORPORATION

This section 6 only applies if the land is affected by an owners corporation within the meaning of the *Owners Corporations Act* 2006.

Not Applicable

7. GROWTH AREAS INFRASTRUCTURE CONTRIBUTION ("GAIC")

Words and expressions in this section 7 have the same meaning as in Part 9B of the *Planning and Environment Act* 1987.

Not Applicable

8. SERVICES

The services which are marked with an 'X' in the accompanying square box are NOT connected to the land:

Electricity supply <input type="checkbox"/>	Gas supply <input type="checkbox"/>	Water supply <input type="checkbox"/>	Sewerage <input type="checkbox"/>	Telephone services <input checked="" type="checkbox"/>
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9. TITLE

Attached are copies of the following documents:

9.1 (a) Registered Title

A Register Search Statement and the document, or part of a document, referred to as the 'diagram location' in that statement which identifies the land and its location.

10. SUBDIVISION

10.1 Unregistered Subdivision

This section 10.1 only applies if the land is subject to a subdivision which is not registered.

Not Applicable

10.2 Staged Subdivision

This section 10.2 only applies if the land is part of a staged subdivision within the meaning of section 37 of the *Subdivision Act 1988*.

(a) Attached is a copy of the plan for the first stage if the land is in the second or subsequent stage.

(b) The requirements in a statement of compliance relating to the stage in which the land is included that have Not been complied With are As follows:

NIL

(c) The proposals relating to subsequent stages that are known to the vendor are as follows:

NIL

(d) The contents of any permit under the Planning and Environment Act 1987 authorising the staged subdivision are:

NIL

10.3 Further Plan of Subdivision

This section 10.3 only applies if the land is subject to a subdivision in respect of which a further plan within the meaning of the *Subdivision Act 1988* is proposed.

Not Applicable

11. DISCLOSURE OF ENERGY INFORMATION

(Disclosure of this information is not required under section 32 of the Sale of Land Act 1962 but may be included in this vendor statement for convenience.)

Details of any energy efficiency information required to be disclosed regarding a disclosure affected building or disclosure area affected area of a building as defined by the *Building Energy Efficiency Disclosure Act 2010* (Cth)

(a) to be a building or part of a building used or capable of being used as an office for administrative, clerical, professional or similar based activities including any support facilities; and

(b) which has a net lettable area of at least 1000m²; (but does not include a building under a strata title system or if an occupancy permit was issued less than 2 years before the relevant date):

Not Applicable

12. DUE DILIGENCE CHECKLIST

(The Sale of Land Act 1962 provides that the vendor or the vendor's licensed estate agent must make a prescribed due diligence checklist available to purchasers before offering land for sale that is vacant residential land or land on which there is a residence. The due diligence checklist is NOT required to be provided with, or attached to, this vendor statement but the checklist may be attached as a matter of convenience.)

Is attached

13. ATTACHMENTS

(Any certificates, documents and other attachments may be annexed to this section 13)

(Additional information may be added to this section 13 where there is insufficient space in any of the earlier sections)

(Attached is an "Additional Vendor Statement" if section 1.3 (Terms Contract) or section 1.4 (Sale Subject to Mortgage) applies)

Due diligence checklist

What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](http://consumer.vic.gov.au/duediligencechecklist) (consumer.vic.gov.au/duediligencechecklist).

Urban living

Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

Growth areas

Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

Flood and fire risk

Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

Rural properties

Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

Soil and groundwater contamination

Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

(04/10/2016)

Land boundaries

Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

Planning controls

Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

Safety

Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

Building permits

Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

Utilities and essential services

Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

Buyers' rights

Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12186 FOLIO 142

Security no : 124119003009G
Produced 14/10/2024 11:25 AM

LAND DESCRIPTION

Lot 31438 on Plan of Subdivision 818663P.
PARENT TITLE Volume 12186 Folio 081
Created by instrument PS818663P 08/02/2020

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
SHANE LINDSAY of 51 ANTARES PARADE KALKALLO VIC 3064
AT635869Y 25/09/2020

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AX040144D 13/07/2023
WESTPAC BANKING CORPORATION

COVENANT PS818663P 08/02/2020

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS818663P FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 51 ANTARES PARADE KALKALLO VIC 3064

ADMINISTRATIVE NOTICES

NIL

eCT Control 16320Q WESTPAC BANKING CORPORATION
Effective from 13/07/2023

DOCUMENT END



Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	PS818663P
Number of Pages (excluding this cover sheet)	9
Document Assembled	14/10/2024 11:25

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PLAN OF SUBDIVISION		EDITION 1	PS 818663P
LOCATION OF LAND PARISH: KALKALLO TOWNSHIP: - SECTION: - CROWN ALLOTMENT: - CROWN PORTION: 26 (PART) TITLE REFERENCE: VOL.12186 FOL.081 LAST PLAN REFERENCE: LOT A ON PS827453A POSTAL ADDRESS: DWYER STREET (at time of subdivision) KALKALLO 3064 MGA 94 E 319 250 ZONE: 55 CO-ORDINATES: N 5 845 380 (approx. centre of land in plan)		Council Name: Hume City Council Council Reference Number: S008592 Planning Permit Reference: P20695 SPEAR Reference Number: S121685M Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 28/11/2018 Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has been satisfied for: this plan Digitally signed by: Antonino Magazzu for Hume City Council on 23/12/2019 Statement of Compliance issued: 23/12/2019	
VESTING OF ROADS AND/OR RESERVES		NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON	STAGING This is is not a staged subdivision Planning Permit No. P20695 SURVEY This plan is is not based on survey THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s) KALKALLO 72, IN PROCLAIMED SURVEY AREA No. 74 MERRIANG 20 & 29 DEPTH LIMITATION DOES NOT APPLY - LOTS 1 TO 31400 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. EASEMENTS E-5 TO E-9 (BOTH INCLUSIVE), E-11, E-15 & E-16 HAVE BEEN OMITTED FROM THIS PLAN. AREA OF LAND SUBDIVIDED IS 3.964ha. CARRIAGEWAY EASEMENT E-1 ON PS827453A NO LONGER AFFECTS VIDE SCHEDULE 5 CLAUSE 14 ROAD MANAGEMENT ACT 2004.	
ROAD R1 RESERVE No.1	HUME CITY COUNCIL AUSNET ELECTRICITY SERVICES PTY LTD (ABN 91 064 651 118)		
EASEMENT INFORMATION			
LEGEND: E – Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance A – Appurtenant Easement *Support is defined as all necessary structural support rights for retaining wall purposes			
SUBJECT LAND	PURPOSE	WIDTH (METRES)	ORIGIN
		SEE	SHEET 2
CLOVERTON – 314 DP3b		41 LOTS	
LICENSED SURVEYOR GREGORY STUART WILLIAMS		DATE 12/11/19 REFERENCE 31637143	
VERSION G DRAWING 3163714AG		ORIGINAL SHEET SIZE A3	
SHEET 1 OF 9 SHEETS		PLAN REGISTERED	
Level 3, 1 Southbank Boulevard Southbank, Victoria 3006 03) 7019 8400 www.veris.com.au Formerly CONFIDENCE™ Bosco Jonson		Digitally signed by: Gregory S Williams, Licensed Surveyor, Surveyor's Plan Version (G), 12/12/2019, SPEAR Ref: S121685M TIME: 3:07 PM DATE: 8/02/2020 C. Grosso Assistant Registrar of Titles	

PLAN OF SUBDIVISION

PS 818663P

EASEMENT INFORMATION

LEGEND: E – Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance A – Appurtenant Easement
 *Support is defined as all necessary structural support rights for retaining wall purposes

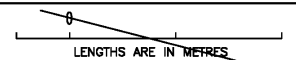
SUBJECT LAND	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
E-1	DRAINAGE	SEE DIAG	THIS PLAN	HUME CITY COUNCIL
E-2	SEWERAGE	SEE DIAG	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-3	DRAINAGE	SEE DIAG	THIS PLAN	HUME CITY COUNCIL
E-3	SEWERAGE	SEE DIAG	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-4	PARTY WALL	0.20	THIS PLAN	THE RELEVANT ABUTTING LOT ON THIS PLAN
E-10	*SUPPORT	0.50	THIS PLAN	VOL FOL (LOT B ON PS827453A)
E-12	SEWERAGE	0.50	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-12	*SUPPORT	0.50	THIS PLAN	VOL FOL (LOT B ON PS827453A)
E-13	DRAINAGE	0.50	THIS PLAN	HUME CITY COUNCIL
E-13	SEWERAGE	0.50	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-13	*SUPPORT	0.50	THIS PLAN	VOL FOL (LOT B ON PS827453A)
E-14	*SUPPORT	0.50	THIS PLAN	VOL 12162 FOL 921 (LOT W ON PS814785V)
E-17	DRAINAGE	0.50	THIS PLAN	HUME CITY COUNCIL
E-17	SEWERAGE	0.50	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-17	*SUPPORT	0.50	THIS PLAN	VOL 12162 FOL 921 (LOT W ON PS814785V)
E-18	*SUPPORT	0.50	THIS PLAN	VOL 12162 FOL 916 (LOT D ON PS814785V)
A-1	*SUPPORT	0.50	AS953681C	LAND IN THIS PLAN
A-2	*SUPPORT	0.50	SECTION 98 TLA 1958 (THIS PLAN)	LOTS ON THIS PLAN

CLOVERTON – 314

DP3b

LICENSED SURVEYOR GREGORY STUART WILLIAMS

SCALE



Level 3, 1 Southbank Boulevard
 Southbank, Victoria 3006
 03) 7019 8400



DEVELOP WITH CONFIDENCE™ **Bosco Jonson**
 Formerly **www.veris.com.au**

DATE 12/11/19

REFERENCE 31637143

VERSION G

DRAWING 3163714AG

ORIGINAL SHEET SIZE A3

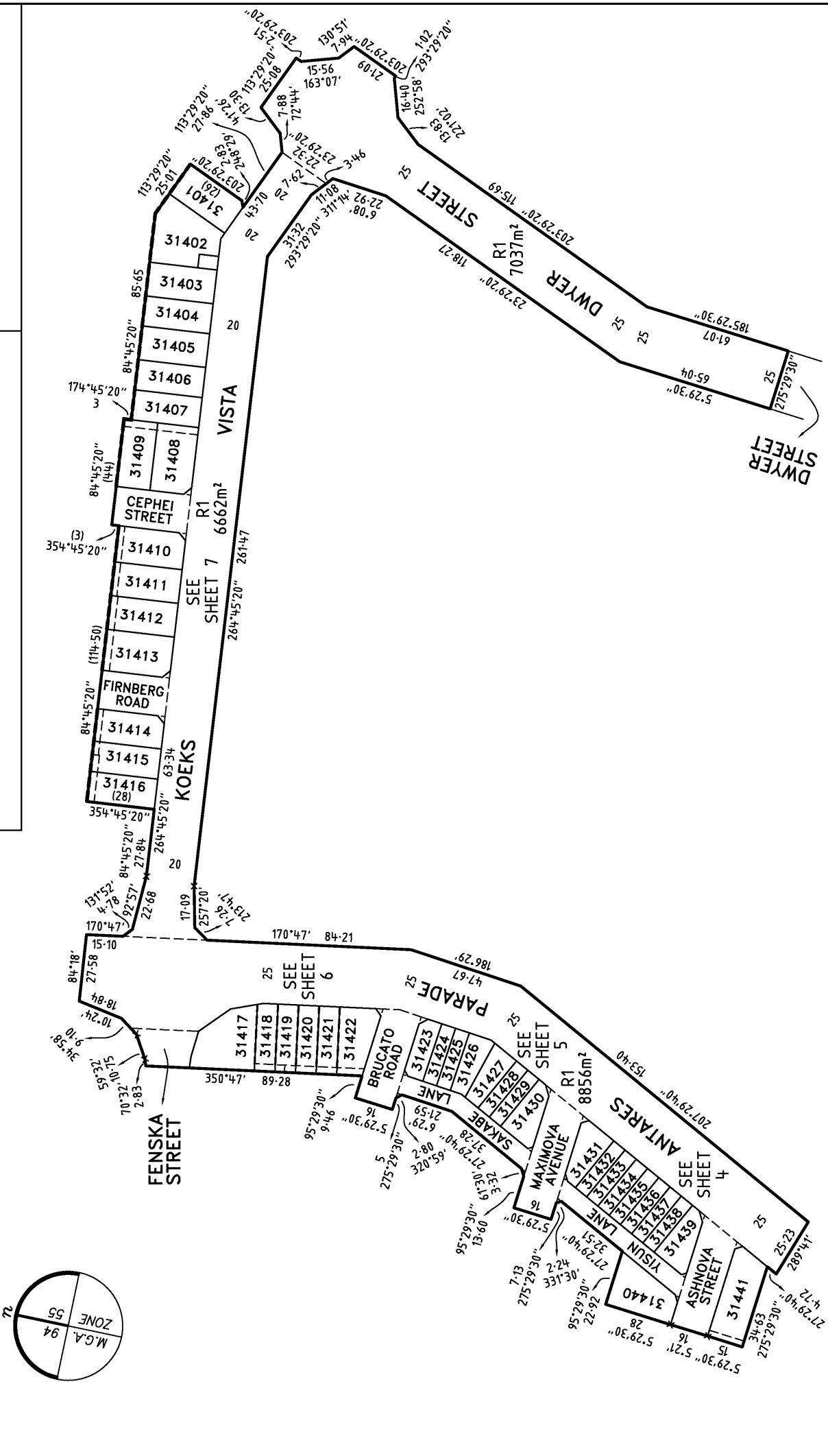
SHEET 2


Digitally signed by: Gregory S Williams, Licensed Surveyor,
 Surveyor's Plan Version (G),
 12/12/2019, SPEAR Ref: S121685M

Digitally signed by:
 Hume City Council,
 23/12/2019,
 SPEAR Ref: S121685M

PS 818663P

PLAN OF SUBDIVISION

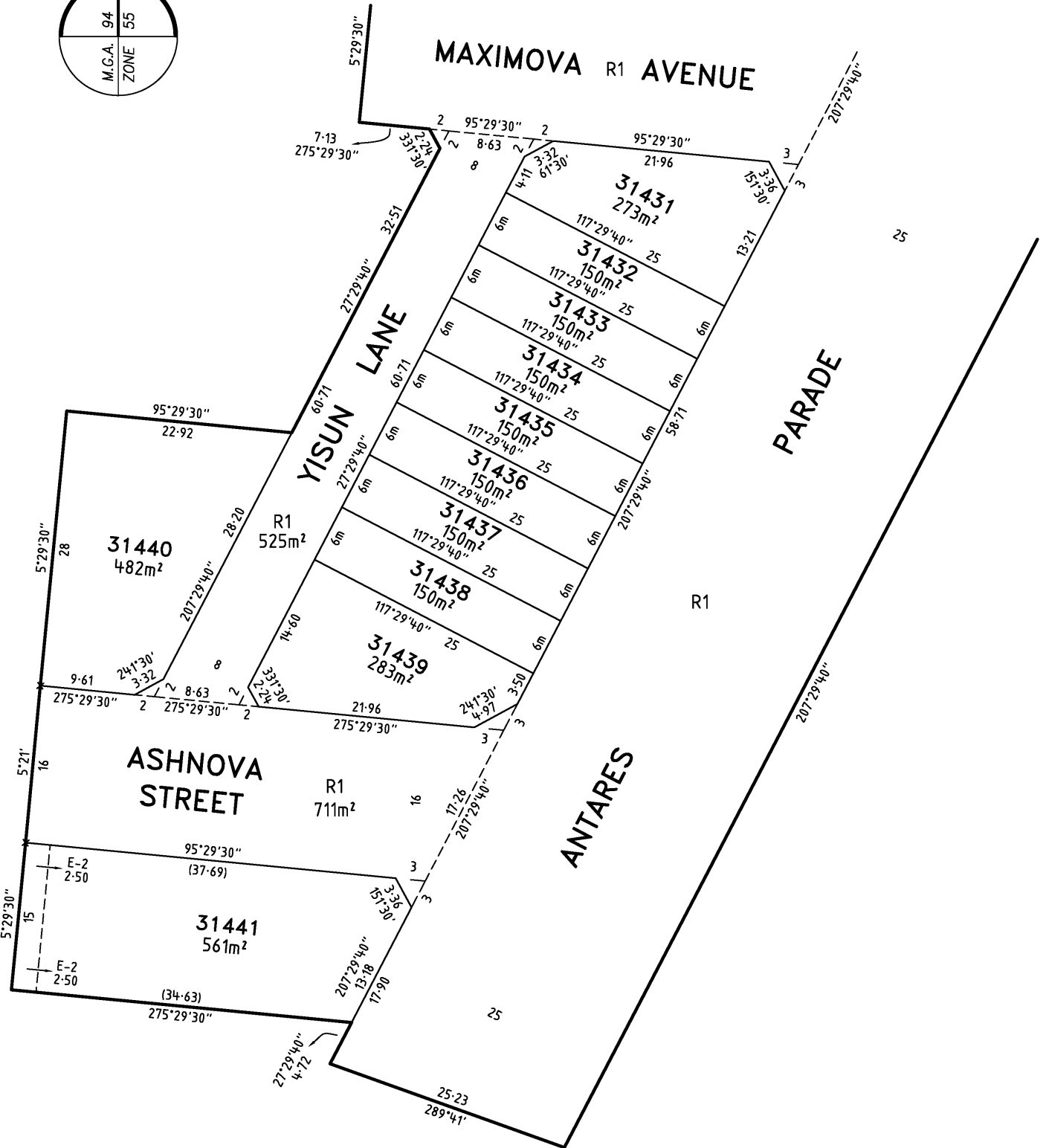
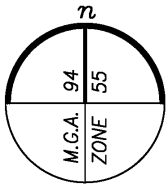


 <p>Level 3, 1 Southbank Boulevard Southbank, Victoria 3006 (03) 7019 8400 www.veris.com.au Formerly CONFIDENCE™ Bosco Johnson</p>	<p>CLOVERTON — 314</p> <p>LICENSED SURVEYOR GREGORY STUART WILLIAMS</p>		<p>SCALE 1:1500</p>	<p>ORIGINAL SHEET SIZE A3 SHEET 3</p>
	<p>DATE 12/11/19</p> <p>VERSION G</p>	<p>REFERENCE 31637143</p> <p>DRAWING 3163714AG</p>	<p>LENGTHS ARE IN METRES</p> <p>15 0 30 60</p>	
<p>Amended by: Gregory S Williams, Licensed Surveyor 06/02/2020.</p>				
<p>Digitally signed by: Gregory S Williams, Licensed Surveyor, Surveyor's Plan Version (G), 12/12/2019, SPEAR Ref: S121685M</p> <p>Digitally signed by: Gregory S Williams, Licensed Surveyor, Hume City Council, 23/12/2019, SPEAR Ref: S121685M</p>				

PLAN OF SUBDIVISION

PS 818663P

SEE SHEET 5

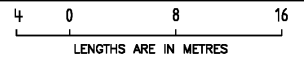


CLOVERTON - 314

DP3b

LICENSED SURVEYOR GREGORY STUART WILLIAMS

SCALE 1:400



Level 3, 1 Southbank Boulevard
Southbank, Victoria 3006
(03) 7019 8400



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DATE 12/11/19

REFERENCE 31637143

VERSION G

DRAWING 3163714AG

ORIGINAL SHEET SIZE A3

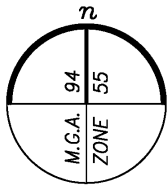
SHEET 4

Digitally signed by: Gregory S Williams, Licensed Surveyor,
Surveyor's Plan Version (G),
12/12/2019, SPEAR Ref: S121685M

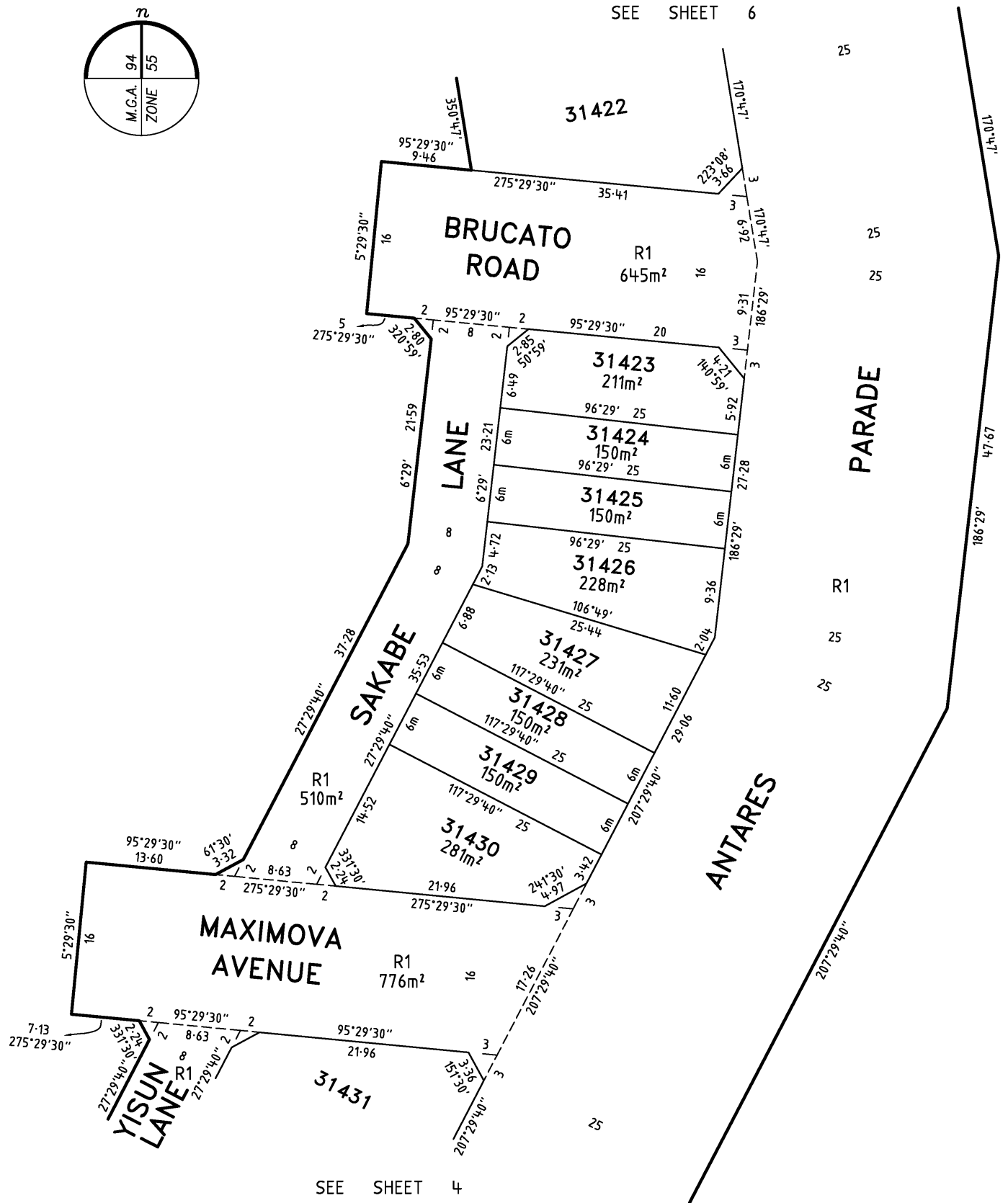
Digitally signed by:
Hume City Council,
23/12/2019,
SPEAR Ref: S121685M

PLAN OF SUBDIVISION

PS 818663P



SEE SHEET 6



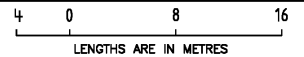
SEE SHEET 4

CLOVERTON - 314

DP3b

LICENSED SURVEYOR GREGORY STUART WILLIAMS

SCALE
1:400



Level 3, 1 Southbank Boulevard
Southbank, Victoria 3006
(03) 7019 8400



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DATE **12/11/19**

REFERENCE **31637143**

VERSION **G**

DRAWING **3163714AG**

ORIGINAL SHEET SIZE A3

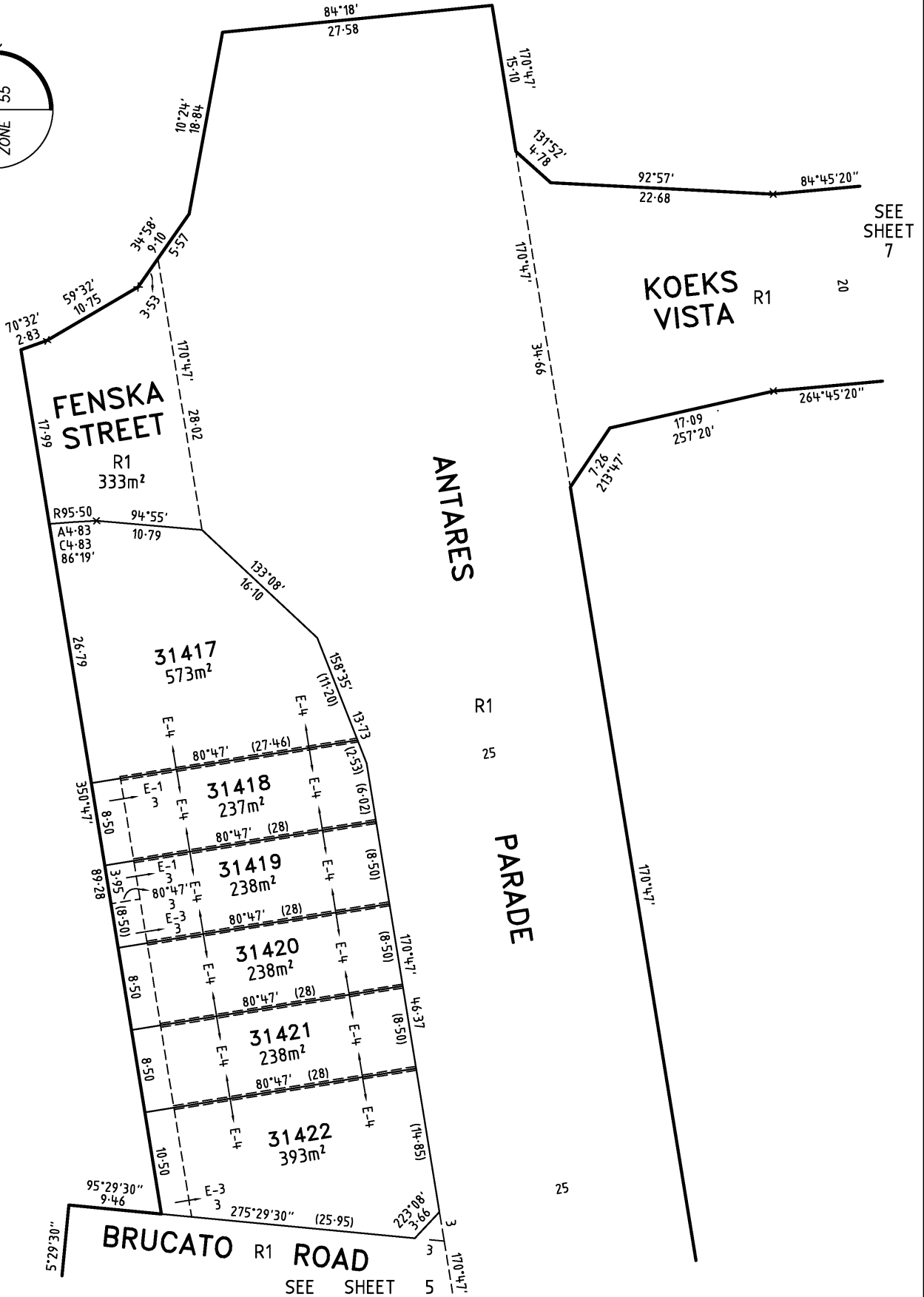
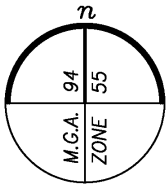
SHEET 5

Digitally signed by: Gregory S Williams, Licensed Surveyor,
Surveyor's Plan Version (G),
12/12/2019, SPEAR Ref: S121685M

Digitally signed by:
Hume City Council,
23/12/2019,
SPEAR Ref: S121685M

PLAN OF SUBDIVISION

PS 818663P

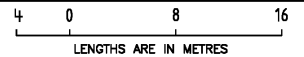


CLOVERTON - 314

DP3b

LICENSED SURVEYOR GREGORY STUART WILLIAMS

SCALE
1:400



Level 3, 1 Southbank Boulevard
Southbank, Victoria 3006
(03) 7019 8400



DEVELOP WITH CONFIDENCE™ **Bosco Jonson**

DATE **12/11/19**
VERSION **G**

REFERENCE **31637143**
DRAWING **3163714AG**

ORIGINAL SHEET SIZE A3

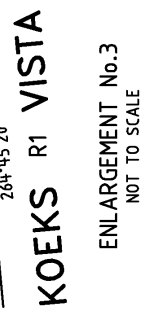
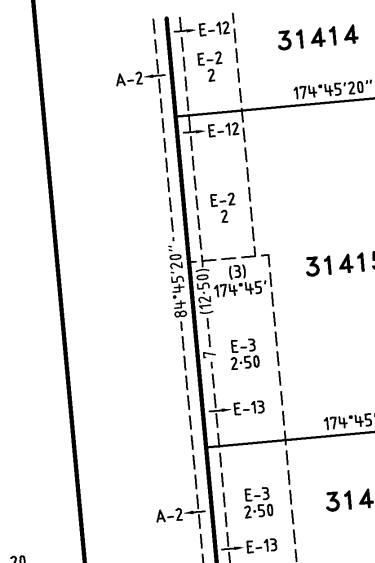
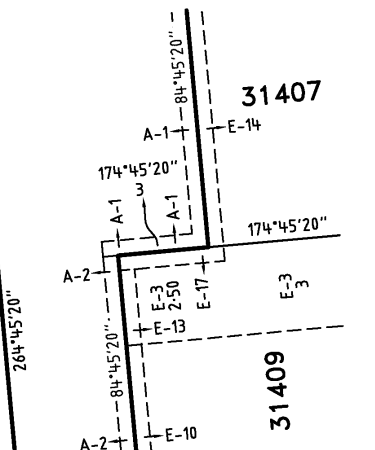
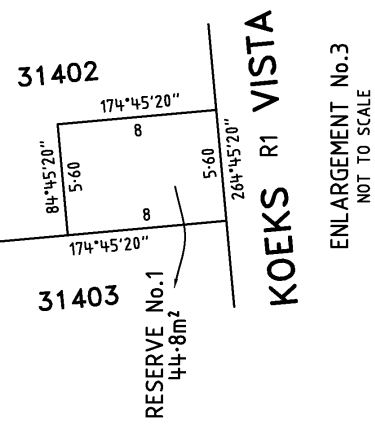
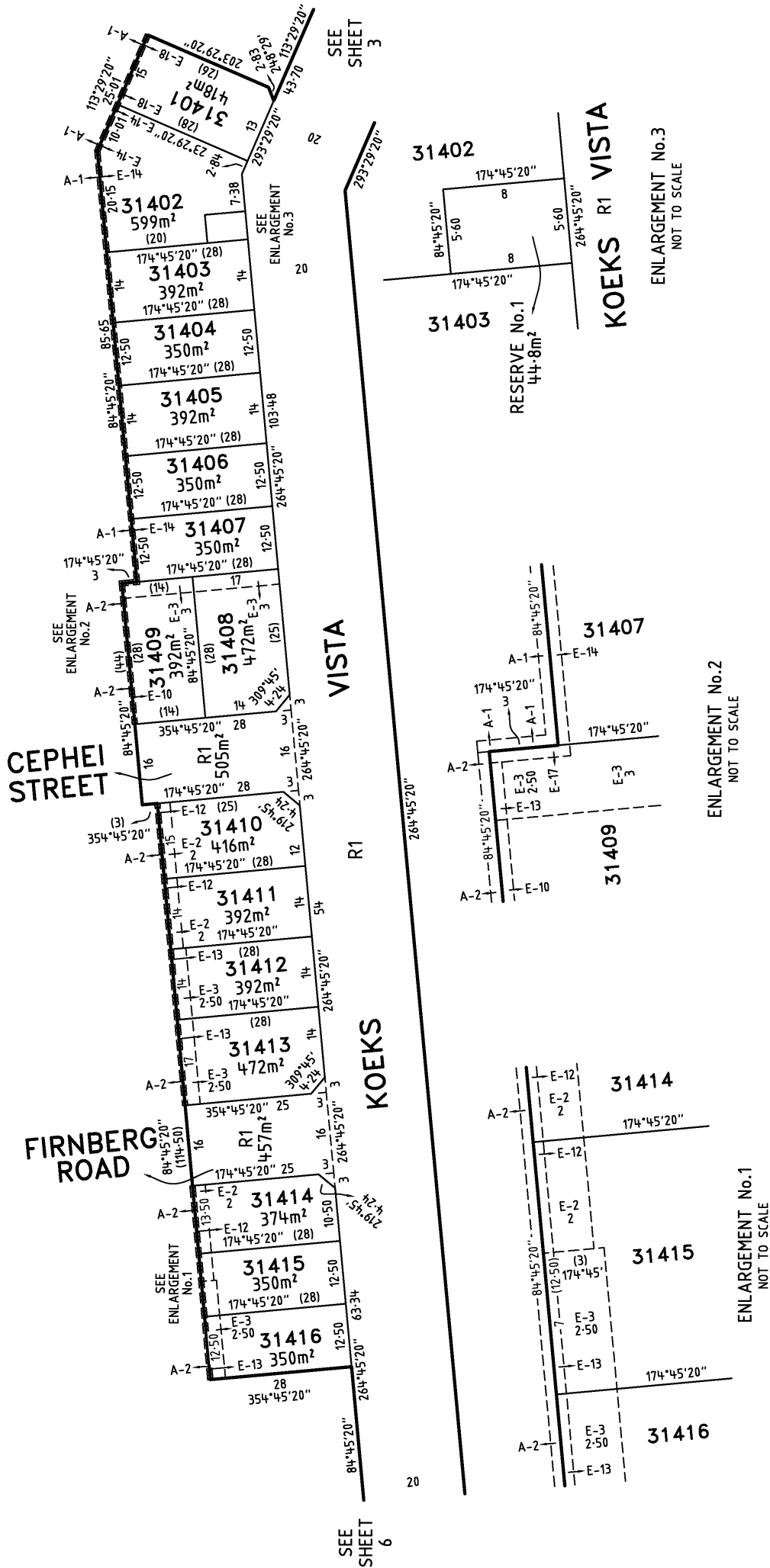
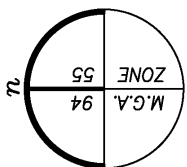
SHEET 6

Digitally signed by: Gregory S Williams, Licensed Surveyor,
Surveyor's Plan Version (G),
12/12/2019, SPEAR Ref: S121685M

Digitally signed by:
Hume City Council,
23/12/2019,
SPEAR Ref: S121685M

PS 818663P

PLAN OF SUBDIVISION



Level 3, 1 Southbank Boulevard Southbank, Victoria 3006 (03) 7019 8400 www.veris.com.au Formerly Bosco Johnson		CLOVERTON - 314		ORIGINAL SHEET SIZE A3
		LICENSED SURVEYOR GREGORY STUART WILLIAMS	DATE 12/11/19	SCALE 1:800
DEVELOP WITH CONFIDENCE™	REFERENCE 31637143 DRAWING 3163714AG	LENGTHS ARE IN METRES 0 16 32	SHEET 7	Digitally signed by: Hume City Council, 23/12/2019, SPEAR Ref: S121685M
Amended by: Gregory S Williams, Licensed Surveyor 06/02/2020.				

PLAN OF SUBDIVISION

PS 818663P

CREATION OF RESTRICTION 'A'

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

DESCRIPTION OF RESTRICTION

THE LAND IS BURDENED AND BENEFITED IN ACCORDANCE WITH THE TABLE OF BURDENED AND BENEFITED LAND

TABLE OF BURDENED AND BENEFITED LAND

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
31401	31402
31402	31401, 31403
31403	31402, 31404
31404	31403, 31405
31405	31404, 31406
31406	31405, 31407
31407	31406, 31408, 31409
31408	31407, 31409
31409	31407, 31408
31410	31411
31411	31410, 31412
31412	31411, 31413
31413	31412
31414	31415
31415	31414, 31416
31416	31415
31417	31418
31422	31421
31440	31439
31441	31440

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN

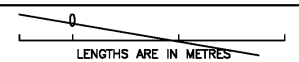
- SHALL NOT BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT ANY BUILDING OTHER THAN A BUILDING THAT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE ENDORSED MEMORANDUM OF COMMON PROVISIONS (MCP) REGISTERED IN DEALING NO. AA5732.
- MAY NOT BUILD OUTSIDE OF THE ENVELOPE WITHOUT THE PRIOR WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY AND ANY CRITERIA OR MATTERS THAT MUST BE CONSIDERED BY THE RESPONSIBLE AUTHORITY IN DECIDING ON AN AMENDMENT TO A BUILDING ENVELOPE.
- THE BUILDING ENVELOPES SHALL CEASE TO HAVE EFFECT ON THE LOT CONTAINING THE ENVELOPE TEN YEARS AFTER AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 IS ISSUED FOR THE WHOLE OF THE DWELLING ON THE LOT CONTAINING THE BUILDING ENVELOPE.
- SHALL NOT ERECT ANY BUILDINGS ON THE LOT UNLESS THE PLANS FOR SUCH BUILDINGS ARE ENDORSED BY STOCKLAND DEVELOPMENT PTY LTD PRIOR TO THE ISSUE OF THE BUILDING PERMIT.
- THE REQUIREMENT FOR SUCH ENDORSEMENT SHALL CEASE TO HAVE EFFECT ON THE LOT ONE YEAR AFTER AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 IS ISSUED FOR THE WHOLE OF THE DWELLING ON THAT LOT.

CLOVERTON – 314

DP3b

LICENSED SURVEYOR GREGORY STUART WILLIAMS

SCALE



Level 3, 1 Southbank Boulevard
Southbank, Victoria 3006
03) 7019 8400



DEVELOP WITH CONFIDENCE™ **Bosco Jonson**
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Formerly

DATE 12/11/19

REFERENCE 31637143

VERSION G

DRAWING 3163714AG

ORIGINAL SHEET SIZE A3

SHEET 8

Digitally signed by: Gregory S Williams, Licensed Surveyor,
Surveyor's Plan Version (G),
12/12/2019, SPEAR Ref: S121685M

Digitally signed by:
Hume City Council,
23/12/2019,
SPEAR Ref: S121685M

PLAN OF SUBDIVISION

PS 818663P

CREATION OF RESTRICTION 'B'

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

DESCRIPTION OF RESTRICTION

THE LAND IS BURDENED AND BENEFITED IN ACCORDANCE WITH THE TABLE OF BURDENED AND BENEFITED LAND

TABLE OF BURDENED AND BENEFITED LAND

BURDENED LOT SUBJECT TO TYPE 'A' OF THE SMALL LOT HOUSING CODE	BENEFITING LOTS ON THIS PLAN
31418	31417, 31419
31419	31418, 31420
31420	31419, 31421
31421	31420, 31422

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN

- MUST NOT BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT ANY BUILDING OR STRUCTURE THAT HAS NOT BEEN CONSTRUCTED IN ACCORDANCE WITH LOT TYPE 'A' OF THE SMALL LOT HOUSING CODE.
- SHALL NOT ERECT ANY BUILDINGS ON THE LOT UNLESS THE PLANS FOR SUCH BUILDINGS ARE ENDORSED BY STOCKLAND DEVELOPMENT PTY LTD PRIOR TO THE ISSUE OF THE BUILDING PERMIT
- THE REQUIREMENT FOR SUCH ENDORSEMENT SHALL CEASE TO HAVE EFFECT ON THE LOT ONE YEAR AFTER AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 IS ISSUED FOR THE WHOLE OF THE DWELLING ON THAT LOT.
- THIS RESTRICTION SHALL CEASE TO HAVE EFFECT AFTER THE ISSUE OF CERTIFICATE OF OCCUPANCY FOR THE WHOLE OF THE DWELLING ON THE LOT.

CREATION OF RESTRICTION 'C'

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

DESCRIPTION OF RESTRICTION

THE LAND IS BURDENED AND BENEFITED IN ACCORDANCE WITH THE TABLE OF BURDENED AND BENEFITED LAND

TABLE OF BURDENED AND BENEFITED LAND

BURDENED LOT SUBJECT TO TYPE 'B' OF THE SMALL LOT HOUSING CODE	BENEFITING LOTS ON THIS PLAN
31423	31424
31424	31423, 31425
31425	31424, 31426
31426	31425, 31427
31427	31426, 31428
31428	31427, 31429
31429	31428, 31430
31430	31429
31431	31432

TABLE OF BURDENED AND BENEFITED LAND

BURDENED LOT SUBJECT TO TYPE 'B' OF THE SMALL LOT HOUSING CODE	BENEFITING LOTS ON THIS PLAN
31432	31431, 31433
31433	31432, 31434
31434	31433, 31435
31435	31434, 31436
31436	31435, 31437
31437	31436, 31438
31438	31437, 31439
31439	31438

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN

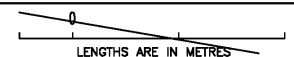
- MUST NOT BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT ANY BUILDING OR STRUCTURE THAT HAS NOT BEEN CONSTRUCTED IN ACCORDANCE WITH LOT TYPE 'B' OF THE SMALL LOT HOUSING CODE.
- SHALL NOT ERECT ANY BUILDINGS ON THE LOT UNLESS THE PLANS FOR SUCH BUILDINGS ARE ENDORSED BY STOCKLAND DEVELOPMENT PTY LTD PRIOR TO THE ISSUE OF THE BUILDING PERMIT
- THE REQUIREMENT FOR SUCH ENDORSEMENT SHALL CEASE TO HAVE EFFECT ON THE LOT ONE YEAR AFTER AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 IS ISSUED FOR THE WHOLE OF THE DWELLING ON THAT LOT.
- THIS RESTRICTION SHALL CEASE TO HAVE EFFECT AFTER THE ISSUE OF CERTIFICATE OF OCCUPANCY FOR THE WHOLE OF THE DWELLING ON THE LOT.

CLOVERTON – 314

DP3b

LICENSED SURVEYOR GREGORY STUART WILLIAMS

SCALE



Level 3, 1 Southbank Boulevard
Southbank, Victoria 3006
(03) 7019 8400



DEVELOP www.veris.com.au
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DATE 12/11/19
VERSION G

REFERENCE 31637143
DRAWING 3163714AG

ORIGINAL SHEET SIZE A3

SHEET 9

Digitally signed by: Gregory S Williams, Licensed Surveyor,
Surveyor's Plan Version (G),
12/12/2019, SPEAR Ref: S121685M

Digitally signed by:
Hume City Council,
23/12/2019,
SPEAR Ref: S121685M



Your rates and valuation notice

For the period 1 July 2024 to 30 June 2025

Enquiries: 9205 2200



S LINDSAY
51 ANTARES PDE
KALKALLO VIC 3064

PROPERTY NUMBER: 733664
PAYMENT REFERENCE: 7336647
DATE OF ISSUE: 16/08/2024



For emailed notices:
hume.enotices.com.au
Reference: 9B37DC066F



025
1046794
R6_881

PROPERTY DETAILS

51 ANTARES PDE KALKALLO VIC 3064
Lot 31438 PS 818663P Vol 12186 Fol 142
Owner Details: SHANE LINDSAY

Site Value

\$142,500

Capital Improved Value

\$480,000

Net Annual Value

\$24,000

Level of Value Date: 01/01/2024 AVPCC: 120-Single Strata Unit/Villa U
Date Adopted for Rating Purposes: 01/07/2024

* Council has been appointed agent to collect these funds on behalf of the Victorian Government.

RATES, CHARGES AND REBATES

General Rate	0.0023285 x \$480,000	\$1,117.60
Kerbside Waste Charge	\$401.63 Kerbside	\$401.63
Public Waste Charge	\$222.99	\$222.99
80Ltr - Garbage Charge Discount		-\$22.10
Vic State Gov FSPL Residential Fixed*	\$132.00	\$132.00
Vic State Gov FSPL Residential Variable*	.000087 x \$480,000	\$41.70
Total Amount Due		\$1,893.82

INSTALMENT 1

~~\$474.82~~
Payable ~~30/08/2024~~

INSTALMENT 2

~~\$473.00~~
Payable ~~30/11/2024~~

INSTALMENT 3

\$473.00
Payable 28/02/2025

INSTALMENT 4

\$473.00
Payable 31/05/2025



Scan here to pay



HOW TO PAY

Avoid late payment interest by paying your rates on time. Payment plans are available.



BPAY (BPAY View Registration No: 7336647)
Access Bpay via your internet banking
BILLER CODE: 12500
REF: 7336647



DIRECT DEBIT
Register online at
hume.vic.gov.au/rates to arrange
automatic payment of your account



POST BILLPAY
BILLPAY CODE: 0862
REF: 7336647



IN PERSON
Pay at your nearest Council Customer
Contact Centre in Broadmeadows,
Craigieburn or Sunbury or visit your
nearest Post Office.



*862 7336647



ONLINE OR PHONE
Call 13 18 16 or visit hume.vic.gov.au/pay



MAIL
Send this slip with your cheque made
payable to: Hume City Council,
PO Box 119 Dallas 3047

Your quarterly bill



Emailed to: shanelindsay1234@hotmail.com
MR S LINDSAY
51 ANTARES PDE
KALKALLO VIC 3064

Enquiries 1300 304 688
Faults (24/7) 13 27 62

Account number	91 8033 0150
Invoice number	9189 3606 21782
Issue date	4 Sep 2024
Property address	51 ANTARES PDE KALKALLO
Property reference	5227276, LOT 31438
Tax Invoice Yarra Valley Water ABN 93 066 902 501	

Summary

Previous bill	\$230.77
Payment received thank you	-\$230.77
Balance carried forward	\$0.00
This bill	
Usage charges	\$41.32
Service charges	
Water supply system	\$20.86
Sewerage system	\$119.50
Other authority charges	
Waterways and drainage	\$30.77
Parks	\$21.98
Total this bill (GST does not apply)	\$234.43
Total balance	\$234.43



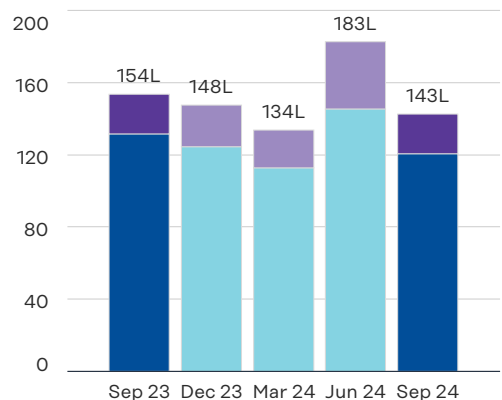
Recycled water is available.

It's not to be used for drinking, preparing food or bathing, but it's great for watering, washing clothes, gardens and flushing toilets.



Your household's daily water use

Target 150L of water use per person, per day.

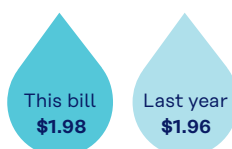


Average use in litres per day

■ Water ■ Recycled water

Your daily spend

This bill compared to the same time last year.
Excludes other authority charges.



How to pay



Direct debit

Sign up for Direct Debit at yvwm.com.au/directdebit or call 1300 304 688.



EFT

Transfer direct from your bank account to ours by Electronic Funds Transfer (EFT).

Account name:
Yarra Valley Water
BSB: 033-885
Account number: 918075843



BPAY®

Bill code: 344366
Ref: 918 0330 1508



Centrepay

Use Centrepay to arrange regular deductions from your Centrelink payments.

Visit yvwm.com.au/paying
CRN reference: 555 054 118T



Post Billpay®

Pay in person at any post office, by phone on 13 18 16 or at postbillpay.com.au

Bill code: 3042
Ref: 9189 3606 21782



Credit Card

Online: yvwm.com.au/paying
Phone: 1300 362 332



*3042 918936062178 2

MR S LINDSAY

Account number	91 8033 0150
Invoice number	9189 3606 21782
Total due	\$234.43
Due date	25 Sep 2024
Amount paid	\$

Your usage detail

1kL = 1,000 litres

Meter number	Current reading	Previous reading	Usage
YRATD27292 (Recycled Water)	27kL -	25kL =	2kL
From 4 Jun 2024 - 3 Sep 2024			(91 days)
Recycled water usage charge	Usage	Price \$/kL	Amount
4 Jun 2024 - 30 Jun 2024	0.571kL x	\$1.8871 =	\$1.08
1 Jul 2024 - 3 Sep 2024	1.429kL x	\$1.9259 =	\$2.75
Total	2.000kL		\$3.83

Meter number	Current reading	Previous reading	Usage
YATD105919	426kL -	415kL =	11kL
From 4 Jun 2024 - 3 Sep 2024			(91 days)
Water and sewer usage charge	Usage	Price \$/kL	Amount
04/06/2024 - 30/06/2024			
Step 1 (0-440 litres per day)	3.143kL x	\$3.3438 =	\$10.51
01/07/2024 - 03/09/2024			
Step 1 (0-440 litres per day)	7.857kL x	\$3.4342 =	\$26.98
Total	11.000kL		\$37.49
Total usage charges			\$41.32

Price changes are effective from 1 July 2024.

Your charges explained

- **Recycled water usage charge**
4 June 2024 - 3 September 2024
The cost for recycled water used at your property, including treatment and delivery. If we need to supply drinking water instead of recycled water, you will still be charged the recycled water usage rate.
- **Water and sewer usage charge**
4 June 2024 - 3 September 2024
The cost for water used at your property. This includes capturing, treating and delivering water, and removing, treating and disposing of sewage from your property. The cost increases with the amount used (STEP tariffs).
- **Water supply system charge**
1 July 2024 - 30 September 2024
A fixed cost for maintaining and repairing pipes and other infrastructure that store, treat and deliver water to your property.
- **Sewerage system charge**
1 July 2024 - 30 September 2024
A fixed cost for running, maintaining, and repairing the sewerage system.
- **Other authority charges**
 - Waterways and drainage charge**
1 July 2024 - 30 September 2024
Collected on behalf of Melbourne Water each quarter and used to manage and improve waterways, drainage, and flood protection. For more information visit melbournewater.com.au/wwdc
 - Parks charge**
1 July 2024 - 30 September 2024
Collected on behalf of Parks Victoria each quarter, and used to maintain and enhance Victoria's parks, zoos, the Royal Botanic Gardens, the Shrine of Remembrance and other community facilities. For more information visit parks.vic.gov.au

Financial assistance

Are you facing financial difficulty? For more time to pay, payment plans and government assistance, we can find a solution that works for you. Please call us on **1800 994 789** or visit yvwm.com.au/financialhelp.

Registering your concession can also reduce the amount you need to pay. Please call us on **1800 680 824** or visit yvwm.com.au/concession.

Contact us

📞	Enquiries	1300 304 688	For language assistance
	Faults and Emergencies	13 27 62 (24hr)	العربية 1300 914 361
✉️	enquiry@yvwm.com.au		廣東話 1300 921 362
🌐	yvwm.com.au		Ελληνικά 1300 931 364
📞	TTY Voice Calls	133 677	普通话 1300 927 363
🗣️	Speak and Listen	1300 555 727	For all other languages call our translation service on 03 9046 4173

Next meter reading:

Between 2-9 Dec 2024

Our performance

We're committed to delivering on the outcomes our customers told us they value and expect.

🔗 Learn more at yvwm.com.au/performance

Pricing update

We're committed to keeping bills affordable, with bill increases lower than inflation. From 1 July 2024, bills will increase by 2.81% on average, which is 0.78% below inflation. This is around \$7.40 more on a typical quarterly bill.

🔗 Learn more at yvwm.com.au/prices



FORM 2
Building Act 1993
Building Regulations 2018
Regulation 37(1)

BUILDING PERMIT
2017118337257

Issued to

Agent of owner	Homebuyers Centre Victoria
ACN	156 503 310
Postal address	81 Lorimer Street, Docklands VIC 3008
Email	mmcmillan@abngroup.com.au
Address for serving or giving documents	81 Lorimer Street, Docklands VIC 3008
Contact person	Meagan McMillan
Telephone	

Ownership details

Owner	Shane Lindsay
Postal address	12 Iron Bridge Road, CRAIGIEBURN VIC 3064
Email	shanelindsay1234@hotmail.com
Contact person	Shane Lindsay
Telephone	0413294464

Property details

Lot	31438
Number	51
Street/road	Antares Parade
City/suburb/town	KALKALLO
Postcode	3064
LP/PS	PS818663
Volume	12186
Folio	142
Crown allotment	Not applicable
Section	Not applicable
Parish	KALKALLO
County	Not applicable
Municipal district	HUME CITY

Builder

Name	ABN GROUP (VIC) PTY LTD trading as Homebuyers Centre
ACN	130 382 188
Building practitioner registration number	CDB-U 49215
Postal address	Lorimer Street 81, DOCKLANDS VIC 3008
Telephone	+10396744500

This builder is specified under section 24B(4) of the **Building Act 1993** for the building work to be carried out under this permit.

Natural person for service of directions, notices and orders

Name	Dale Andrew Alcock
Postal address	Lorimer Street 81, DOCKLANDS VIC 3008
Telephone	+10396744500

Building practitioner or architect engaged to prepare documents for this permit

Name	ABN GROUP (VIC) PTY LTD
Category/class	Domestic Builder Unlimited
Registration number	CDB-U 49215
Name	Gervase Purich
Category/class	Engineer Civil
Registration number	EC46702

Details of domestic building work insurance

Name of builder	ABN GROUP (VIC) PTY LTD trading as Homebuyers Centre
Name of issuer or provider	HIA Insurance Services Pty Ltd
Policy number	C534615
Policy cover	\$263,308.00

Nature of building work

Construction type	new building
Storeys contained	2
Version of BCA applicable to permit	2019
Stage of building work permitted	0
Cost of building work	\$263,308.00
Total floor area of new building work in m ²	170 m ²

Building classification

Part of building	Double Storey Dwelling and Garage
BCA classification	1ai, 10a

Performance solution

A performance solution was used to determine compliance with the following performance requirements of the BCA that relate to the building to which this permit applies:

Relevant performance requirement	Details of performance solution
P2.1.1 Structural stability and resistance ,P2.2.2 Weatherproofing,P2.2.3 Rising damp	Building Product: Hebel PowerPanel XL Wall System Performance solution by: Cert Mark International Certificate of Conformity issued under ABCB Certification Scheme: CodeMark Certificate number: CM40049 Date of issue: 01/05/2019 Date of expiry: 01/05/2022
P2.6.1 Building	To allow a dual reticulation water system in lieu of a rainwater tank connected to all sanitary flushing systems.
P2.2.2 Weatherproofing	Building Product: Easylap Panel External Cladding Scyon Stria Cladding Performance Solution by: Cert Mark International Certificate of Conformity issued under ABCB Certification Scheme: CodeMark Certificate number: CM40223, Date of issue: 20/08/2018, Date of expiry: 20/08/2021.

Prescribed reporting authorities

The following bodies are prescribed reporting authorities for the purposes of the application for this permit in relation to matters set out below:

Reporting authority	Matter reported on or consented to	Regulation number
Council	Precautions over a street	Building Regulations 2018. 116(4)

Protection work

Protection work is not required in relation to the building work proposed in this permit.

Inspection requirements

The mandatory notification stages required under sections 34 and 35 of the **Building Act 1993** are:

Building part	Inspections
Double Storey Dwelling and Garage	<ul style="list-style-type: none">• pre slab: before placing a footing• steel: before pouring a footing or in situ reinforced concrete member• frame: on completion of the framework• pre plaster: before completion of framework and prior to plastering• final: on completion of all building work

Occupation or use of building

An occupancy permit is required prior to the occupation or use of this building.

If an occupancy permit is required, the permit is required for the whole of the building in relation to which the building work is carried out.

Commencement and completion

This building work must commence by **22 October 2021**.

If the building work to which this building permit applies is not commenced by this date, this building permit will lapse unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the **Building Regulations 2018**.

This building work must be completed by **22 October 2022**.

If the building work to which this building permit applies is not completed by this date this building permit will lapse unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the **Building Regulations 2018**.

Conditions

This permit is subject to the following conditions:

Description	Performance or information required
General	The building work must be carried out in accordance with the building permit, endorsed plans, specifications, other documents and/or suitable equivalent to the satisfaction of the building inspector and/or the relevant building surveyor.
Encroachment	There must be no unauthorised encroachment of any part of the building work beyond the title boundary of the property.
Title	The owner(s) is/are responsible for obtaining any planning approvals for the building work and complying with their obligations under property law, including complying with any covenants, encumbrances or a section 173 of the Planning and Environment Act 1987 agreement on title.
Termite treatment	Prior to or with an application for an occupancy permit, the builder must provide a copy of the termite protection certificate satisfactory to the relevant building surveyor that the building work has been constructed in accordance with AS3660–2014 Termite management.
Energy efficiency	Prior to or with an application for an occupancy permit, the builder must provide an energy rating certificate or statement satisfactory to the relevant building surveyor verifying that all requirements of the energy rating measures have been installed in accordance with the endorsed documents and the Building Code of Australia.

Waterproofing — internal wet areas	Prior to or with an application for an occupancy permit, the builder must provide a waterproofing certificate satisfactory to the relevant building surveyor, including any manufacturer's details and warranties and proprietary systems used, that all wet areas have been waterproofed in accordance with AS3740–2010 Waterproofing of domestic wet areas.
Glazing	Prior to or with an application for an occupancy permit, the builder must provide a certificate of compliance satisfactory to the relevant building surveyor indicating that the glass has been installed in accordance with the endorsed drawings and specifications and AS1288 Set–2006 Glass in buildings Set or AS2047–2014 Windows and external glazed doors in buildings, and if the property is in a designated bushfire-prone area, AS3959–2009 Construction of buildings in bushfire-prone areas, in respect of all glazing, including balustrading, doors, windows and screens.
Electrical certificates	Prior to or with an application for an occupancy permit, the builder must provide a certificate of electrical safety satisfactory to the relevant building surveyor for prescribed electrical installations or non-prescribed electrical installations, as applicable.
Plumbing certificates	Prior to or with an application for an occupancy permit, the builder must provide plumbing compliance certificates satisfactory to the relevant building surveyor for all applicable plumbing work (including referncing any performance solutions used) as follows: <ul style="list-style-type: none"> • roof plumbing • sanitary plumbing • drainage (below ground sewer) • drainage (below ground stormwater) • cold water plumbing • hot water plumbing • gasfitting
Frame inspection documentation — bracing	Prior to booking a frame inspection, the builder must provide bracing computations, certification and layouts satisfactory to the relevant building surveyor.
Frame inspection documentation — floor joists and beams	Prior to booking a frame inspection, the builder must provide floor joist and floor beam computations, certification and layouts satisfactory to the relevant building surveyor.
Frame inspection documentation — roof trusses	Prior to booking a frame inspection, the builder must provide roof truss computations, certification and layouts satisfactory to the relevant building surveyor.
Frame inspection documentation — wall framing	Prior to booking a frame inspection, the builder must provide wall framing computations, certification and layouts satisfactory to the relevant building surveyor.

Relevant building surveyor

Name	Group Four Building Surveyors Pty Ltd
ACN	158 953 425
Address	Level 4, 10 Nexus Court, Mulgrave VIC 3170
Email	enquiries@groupfour.com.au
Building practitioner registration number	CBS-U 58099

Designated building surveyor

Name	David Madeira
Building practitioner registration number	BS-U 27484
Permit number	2017118337257
Date of issue of permit	22 October 2020
Signature	





GROUP
FOUR

BUILDING SURVEYORS

BUILDING PERMIT

Number : 2017118337257

Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)

Designated Building Surveyor: David Madeira (BS-U 27484)

Issued on 22/10/2020

REFER TO GROUP LANDSCAPE PLAN

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B	CORRECTIONS	29/07/20	VC
C	ENERGY COMPLIANCE	05/08/20	DR
D	LAUNDRY AMENDMENT	10/08/20	PT
E	BP REJECTIONS & CLAROS	03/09/20	PT
F			
G			

GENERAL NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

CLIENT:

MR. S. LINDSAY

LOT 31438 ANTARES PARADE
KALKALLO VIC 3064

Landscape Plan

JOB No:
40821

DESIGN: **OCTAVE 18**

DRAWN BY:

REVISION NO:

SCALE:

FACADE: **Facade 2**

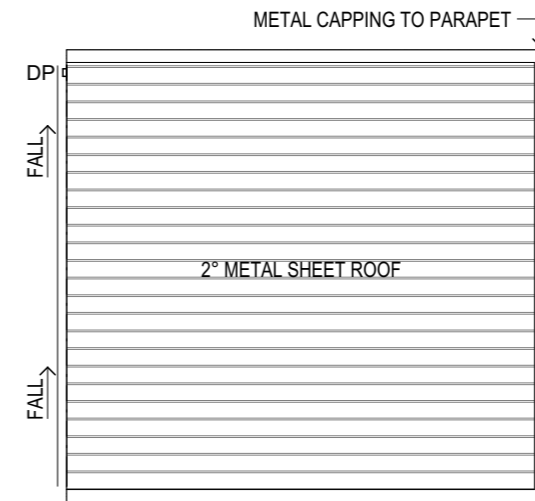
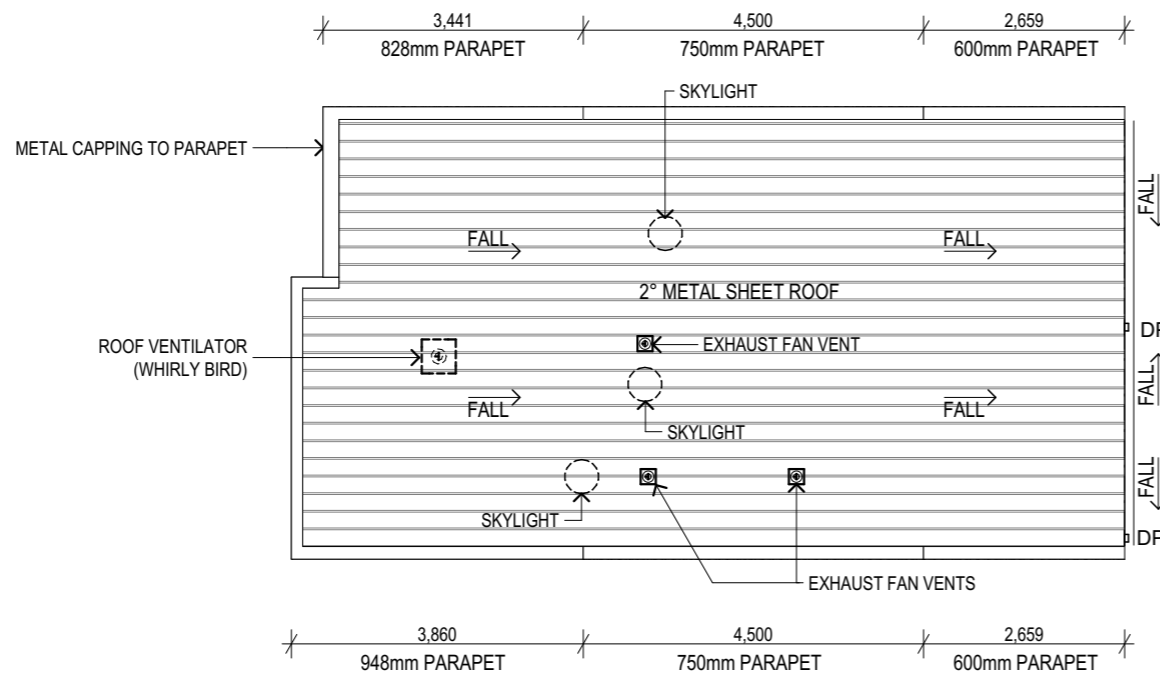
TYP HGT:

MASTER DRAWN

DRAWING No:
D.1 of 9

GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT
 Number : 2017118337257
 Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
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ENSURE ALL SKYLIGHT ARE 900mm MIN OFF THE TITLED BOUNDARY



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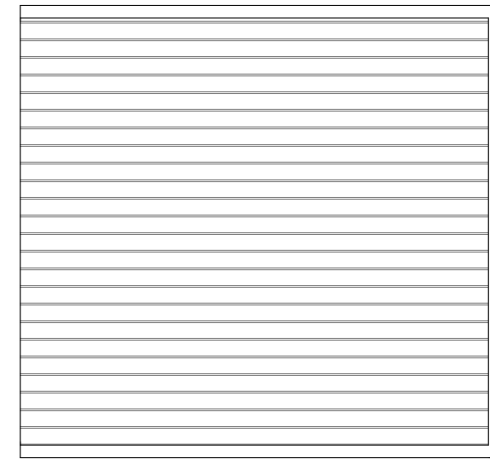
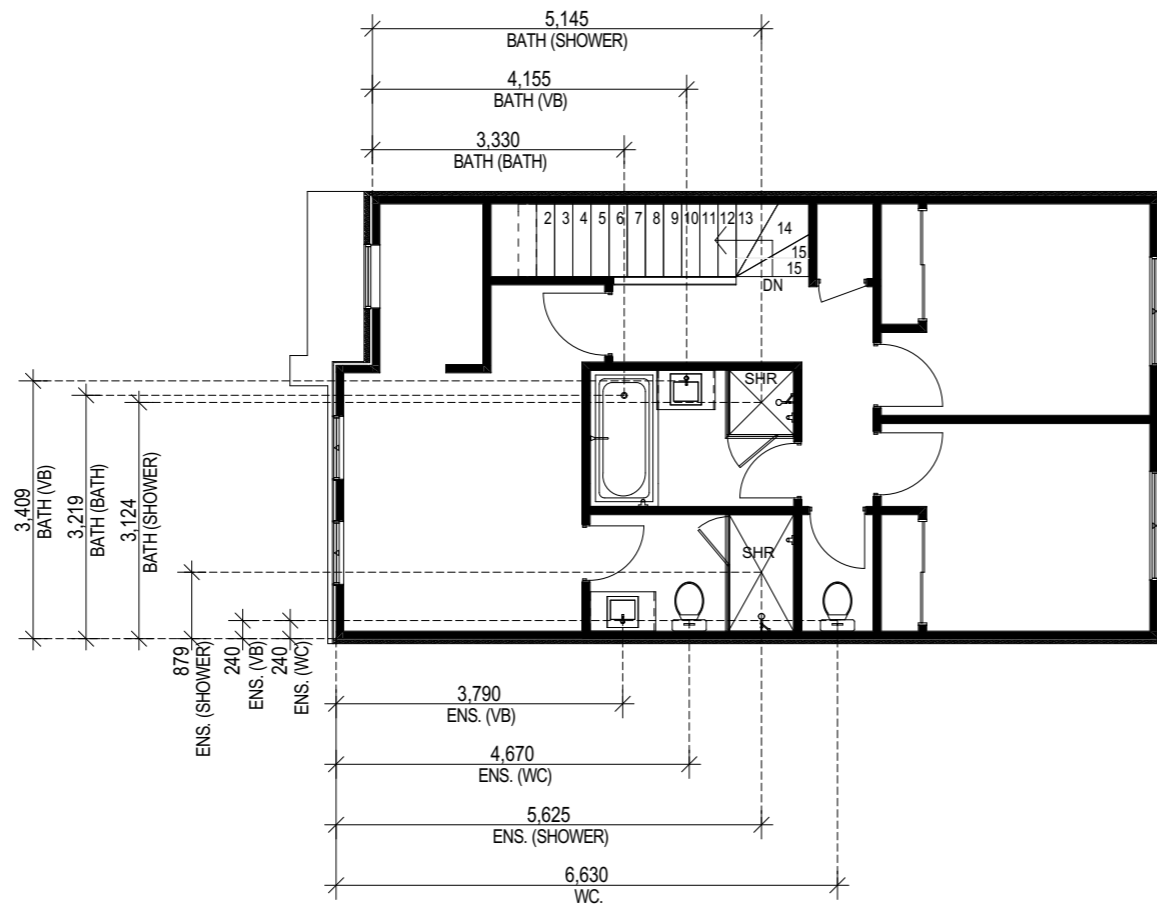
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Roof Plan			JOB No: 40821
DESIGN: OCTAVE 18	DRAWN BY:	REVISION NO:	SCALE: 1:100
FACADE: Facade 2	TYP HGT:	MASTER DRAWN	DRAWING No: D.2 of 9

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NOTE: ALL DIMENSIONS ARE TO THE OUTSIDE OF STUD

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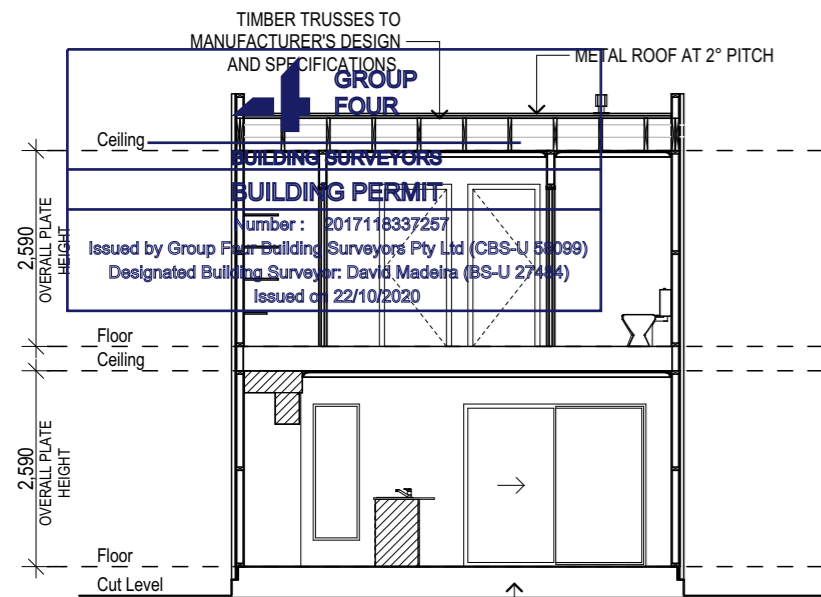
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First Floor Plumbing Setout Plan			JOB No: 40821
DESIGN: OCTAVE 18	DRAWN BY:	REVISION NO:	SCALE:1:100, 1:10
FACADE: Facade 2	TYP HGT:	MASTER DRAWN	DRAWING No: D.4 of 9

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X Section

1:100

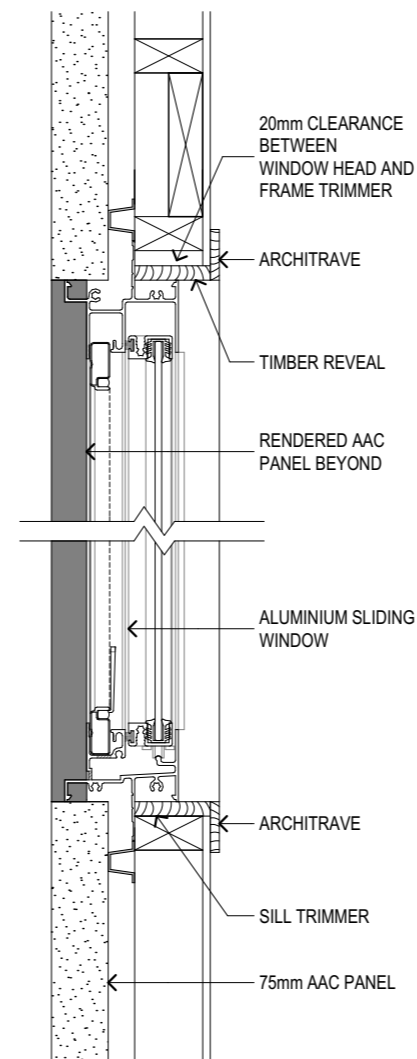
NOTE: REFER ENGINEER'S FOOTING DESIGN

ENERGY EFFICIENCY REQUIREMENTS					
	BULK R-VALUE	TYPE OF FOIL	NUMBER OF LAYER	POSITION OF FOIL	NOTES
CEILING	3.5	N/A	N/A		NO BULK INSULATION IN GARAGE
WALLS	2.0	AG	1	ON OUTSIDE OF STUD FRAME	
FLOORS	0.8	N/A	N/A		WAFFLEPOD (AS PER CSIRO SPECIFICATION)
WALLS INT.	N/A	N/A	N/A		
DBL STOREY	N/A	N/A	N/A		

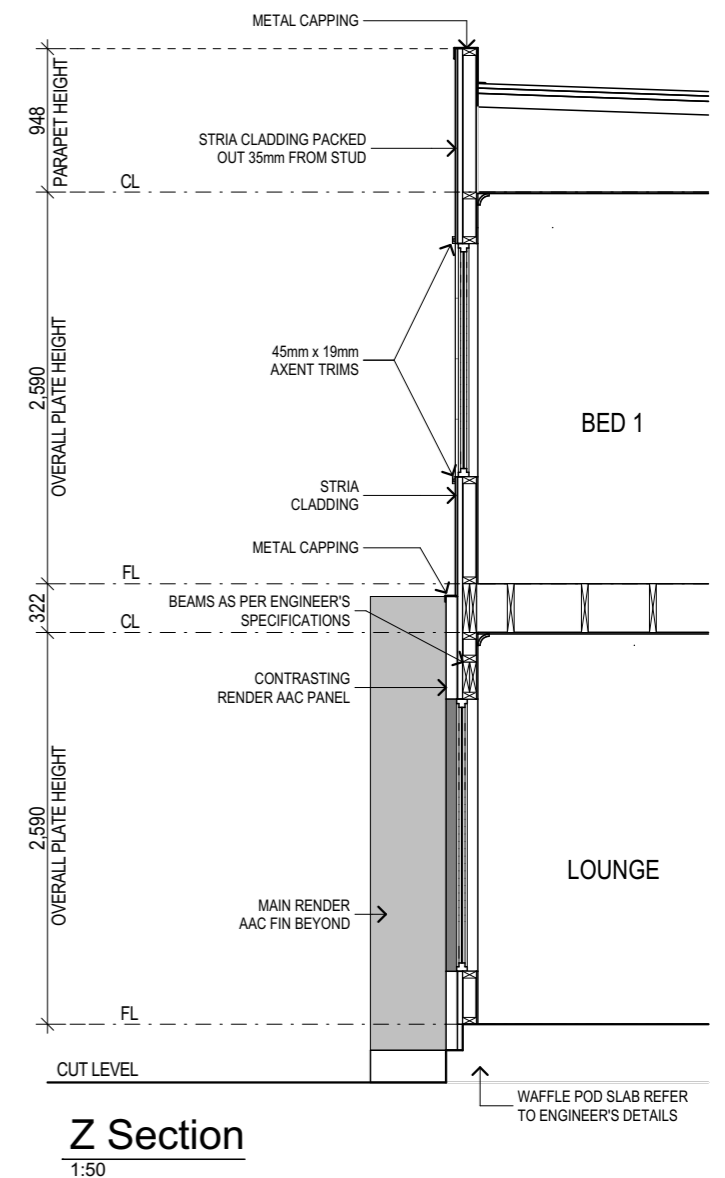
NOTES
 INCLUDES R2.5 PERIMETER WALL BATTS TO CEILING TO AVOID CEILING INSULATION COMPRESSION AS PER THE NCC SEAL GAPS & CRACKS. CAULKING AROUND ALL EXTERNAL WALL ARCHITRAVES TO ENSURE SEALED TO PLASTERBOARD LINING SEAL AND WEATHER STRIP ENTRY DOOR, GARAGE ACCESS DOOR AND IF APPLICABLE EXTERNAL LAUNDRY HINGE DOOR, WEATHER STRIP GARAGE REAR DOOR IF BAL 12.5 APPLIES
 EXHAUST FANS INCLUDING DRAUGHTSTOPS
 RECYCLE WATER TO ESTATE

3.12.1.1 BUILDING FABRIC THERMAL INSULATION

- a) WHERE REQUIRED, INSULATION MUST COMPLY WITH AS/NZS 4859.1 AND BE INSTALLED SO THAT IT:
 - i) ABUTS OR OVERLAPS ADJOINING INSULATION OTHER THAN AT SUPPORTING MEMBERS SUCH AS COLUMNS, STUDS, NOGGINGS, JOISTS, FURRING CHANNELS AND THE LIKE WHERE THE INSULATION MUST BUTT AGAINST THE MEMBER; AND
 - ii) FORMS A CONTINUOUS BARRIER WITH CEILINGS, WALLS, BULKHEADS, FLOORS OR THE LIKE THAT INHERENTLY CONTRIBUTE TO THE THERMAL BARRIER; AND
 - iii) DOES NOT AFFECT THE SAFE OR EFFECTIVE OPERATION OF A DOMESTIC SERVICE OR FITTING
- b) WHERE REQUIRED, REFLECTIVE INSULATION MUST BE INSTALLED WITH:
 - i) THE NECESSARY AIRSPACE TO ACHIEVE THE REQUIRED R-VALUE BETWEEN A REFLECTIVE SIDE OF THE REFLECTIVE INSULATION AND A BUILDING LINING OR CLADDING; AND
 - ii) THE REFLECTIVE INSULATION CLOSELY FITTED AGAINST ANY PENETRATION, DOOR OR WINDOW OPENING; AND
 - iii) THE REFLECTIVE INSULATION ADEQUATELY SUPPORTED BY FRAMING MEMBERS; AND
 - iv) EACH ADJOINING SHEET OF ROLL MEMBRANE BEING:
 - A) OVERLAPPED NOT LESS THAN 150MM; OR
 - B) TAPED TOGETHER.
- c) WHERE REQUIRED, BULK INSULATION MUST BE INSTALLED SO THAT:
 - i) IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN WHERE IT CROSSES ROOF BATTENS, WATER PIPES, ELECTRICAL CABLING OR THE LIKE; AND
 - ii) IN A CEILING, WHERE THERE IS NO BULK INSULATION OR REFLECTIVE INSULATION IN THE EXTERNAL WALL BENEATH, IT OVERLAPS THE EXTERNAL WALL BY NOT LESS THAN 50MM.



75mm AAC PANEL WINDOW DETAIL SCALE 1:10



Z Section 1:50

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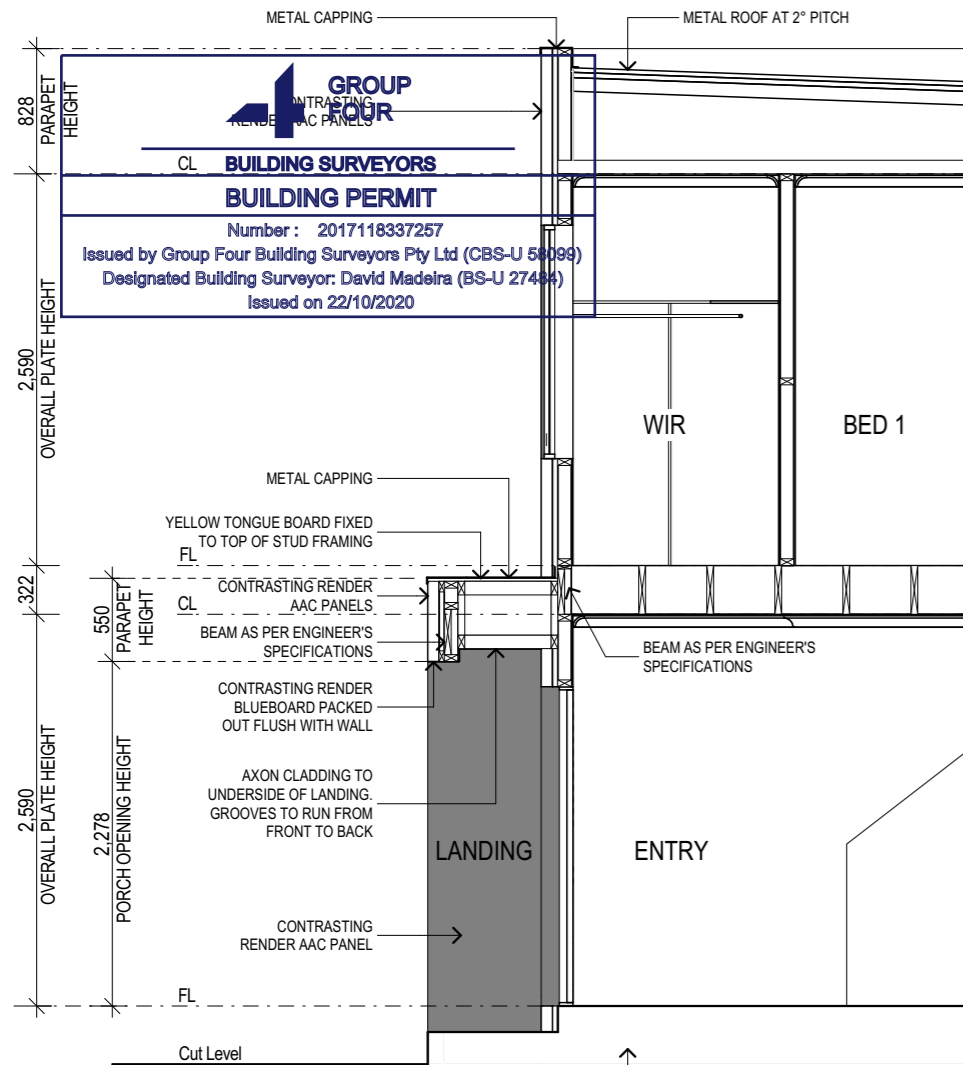
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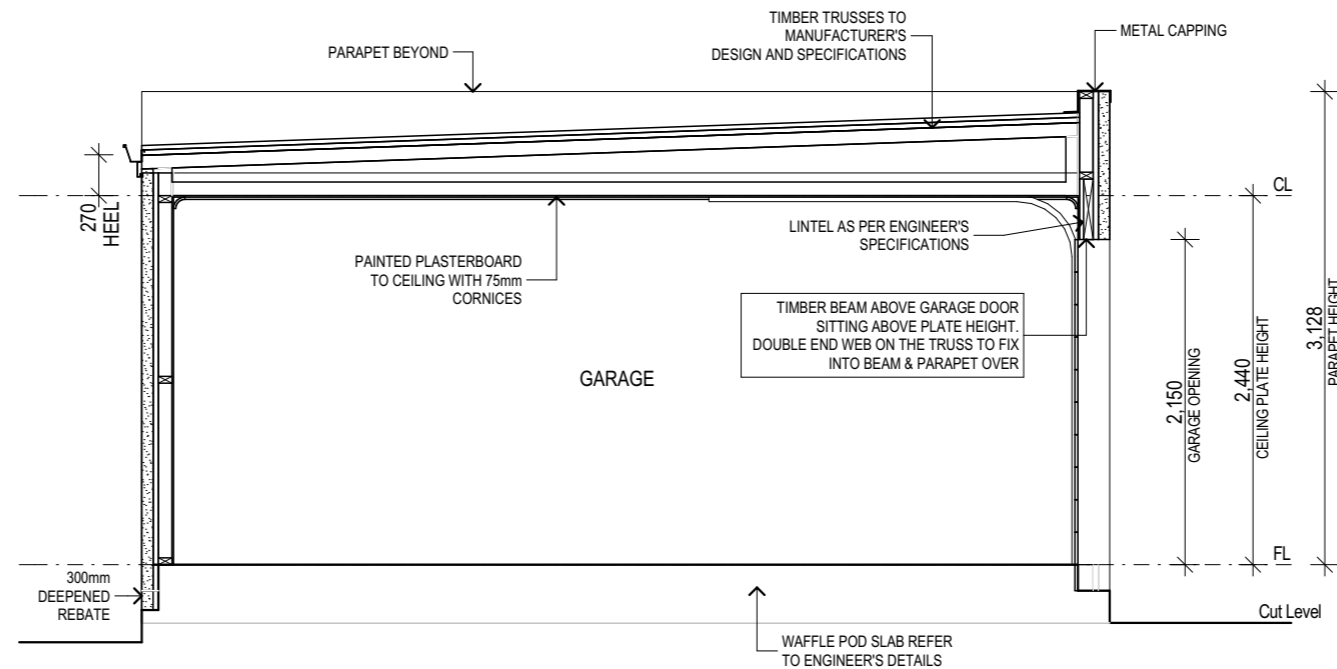
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DESIGN: OCTAVE 18	DRAWN BY:	REVISION NO:
FACADE: Facade 2	TYP HGT:	MASTER DRAWN
SCALE: 1:100, 1:10		DRAWING No: D.5 of 9

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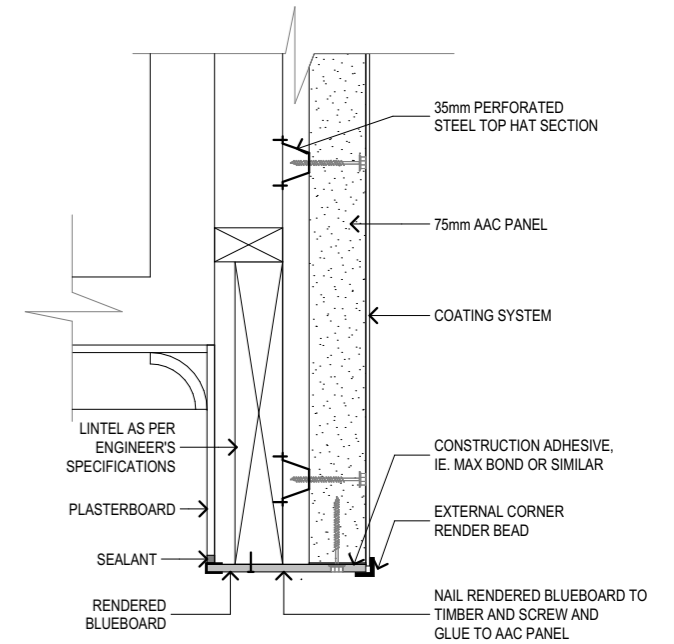
Y Section

1:50



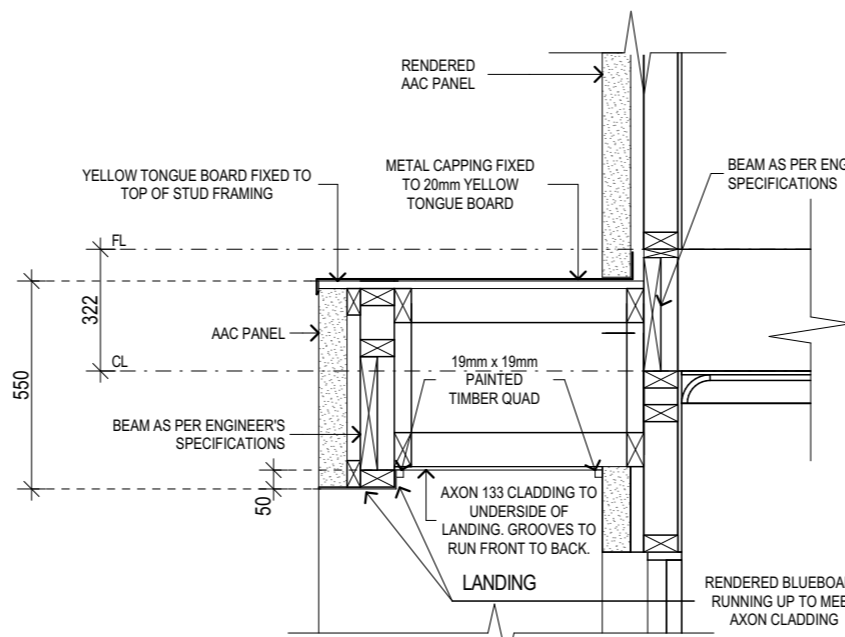
W Section

1:50



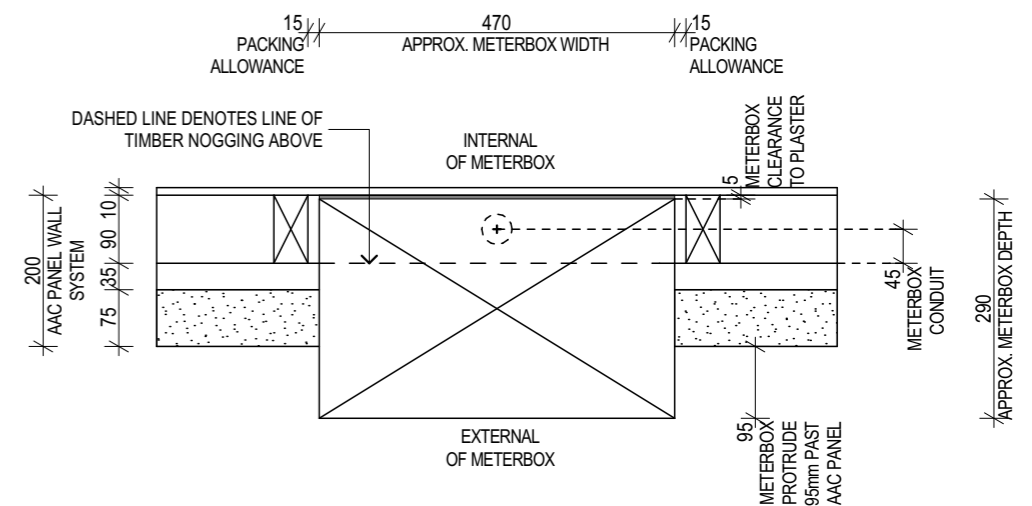
GARAGE HEAD DETAIL

SCALE 1:10



LANDING DETAIL

SCALE 1:20



RECESSED METERBOX DETAIL

SCALE 1:10

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Section 2

DESIGN: OCTAVE 18

FACADE: Facade 2

DRAWN BY: REVISION NO:

MASTER DRAWN

TYP HGT:

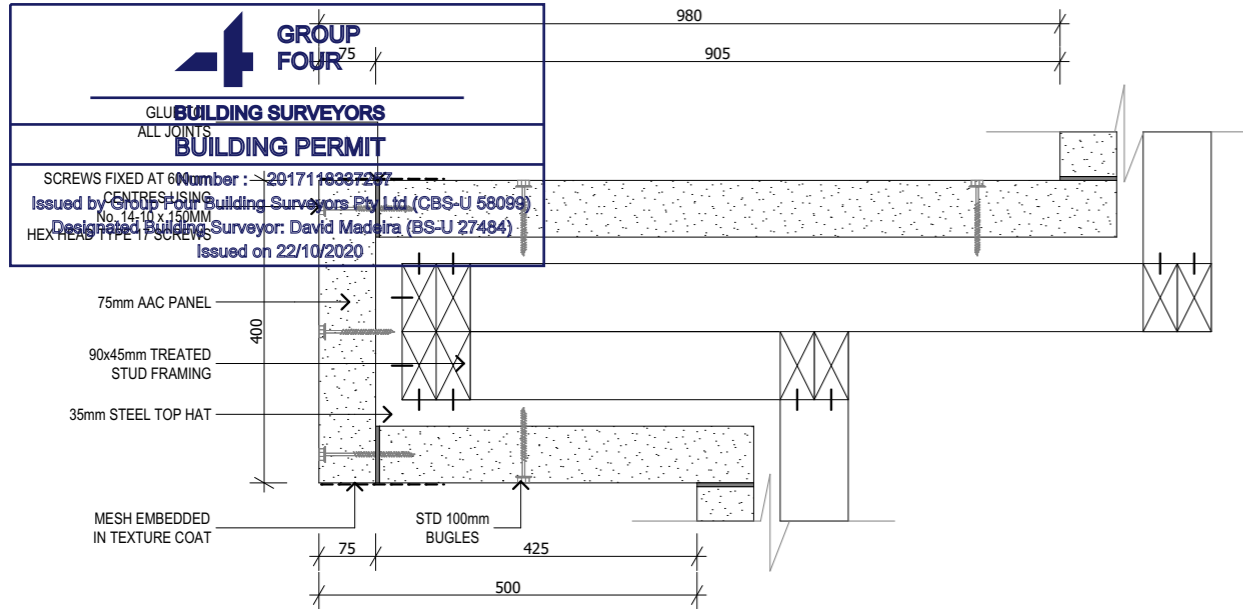
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40821

SCALE: 1:50, 1:20, 1:10

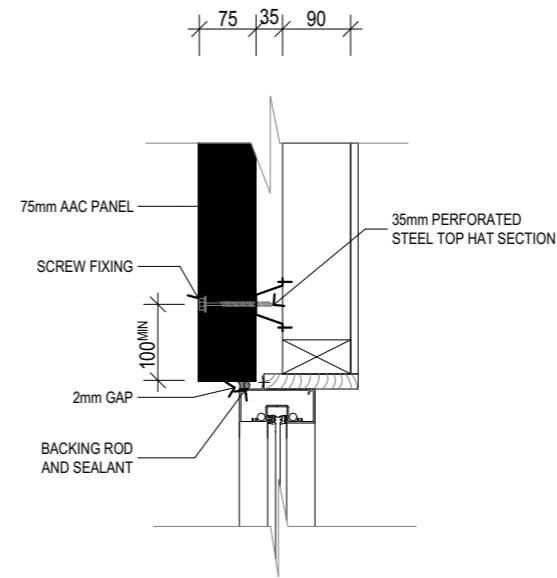
DRAWING No:

D.6 of 9

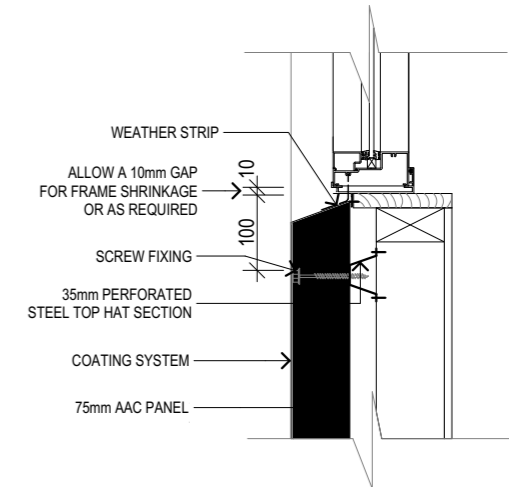
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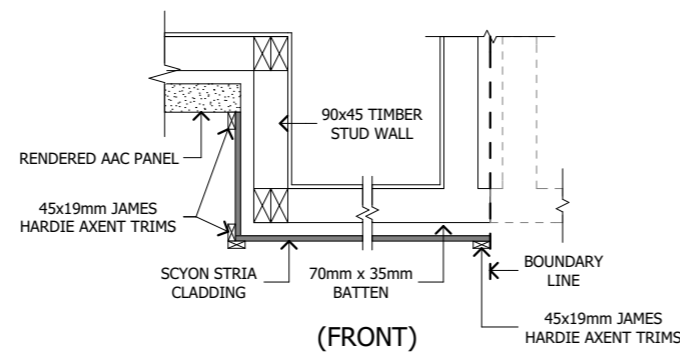
LANDING PIER DETAIL (PLAN VIEW)
SCALE 1:10



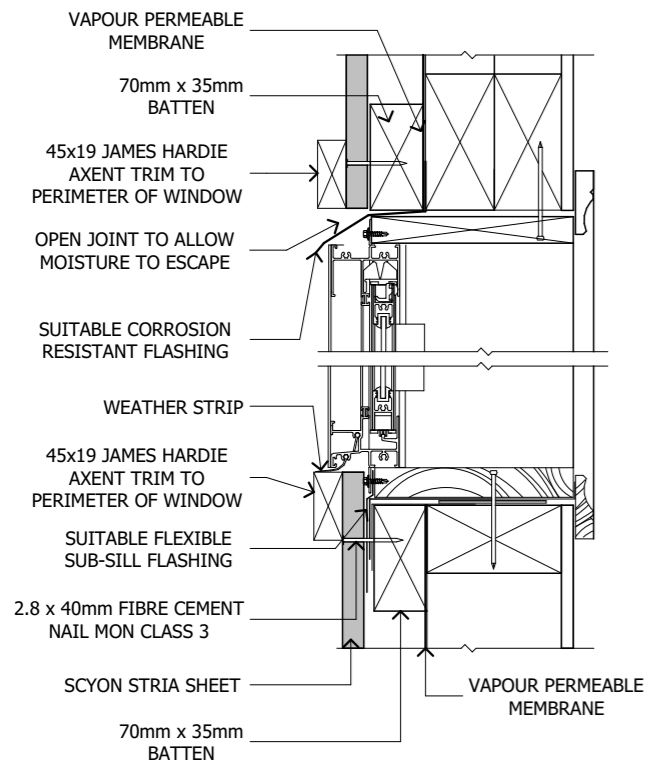
TYPICAL WINDOW HEADER DETAIL



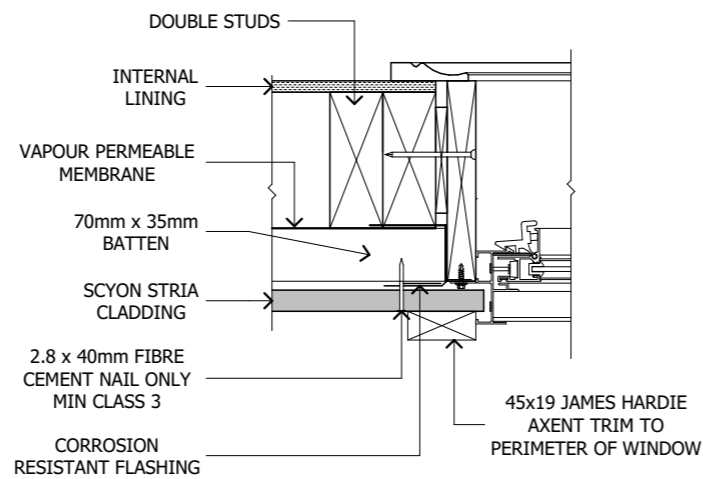
STANDARD SILL DETAIL



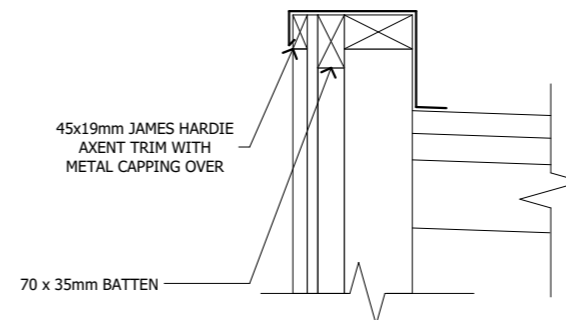
FIRST FLOOR STRIA DETAIL (PLAN VIEW)
SCALE 1:20



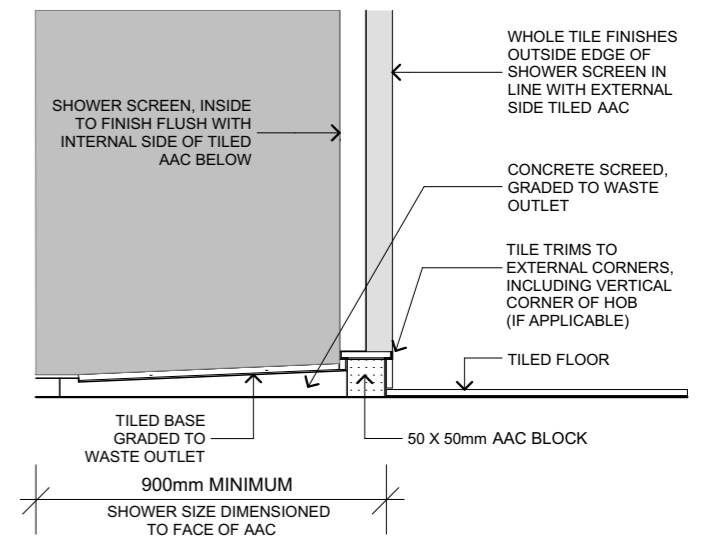
SCYON STRIA WINDOW CROSS SECTION
SCALE 1:5



SCYON STRIA WINDOW JAMB DETAIL
SCALE 1:5



STRIA PARAPET SECTION
SCALE 1:10



SHOWER AAC BLOCK DETAIL

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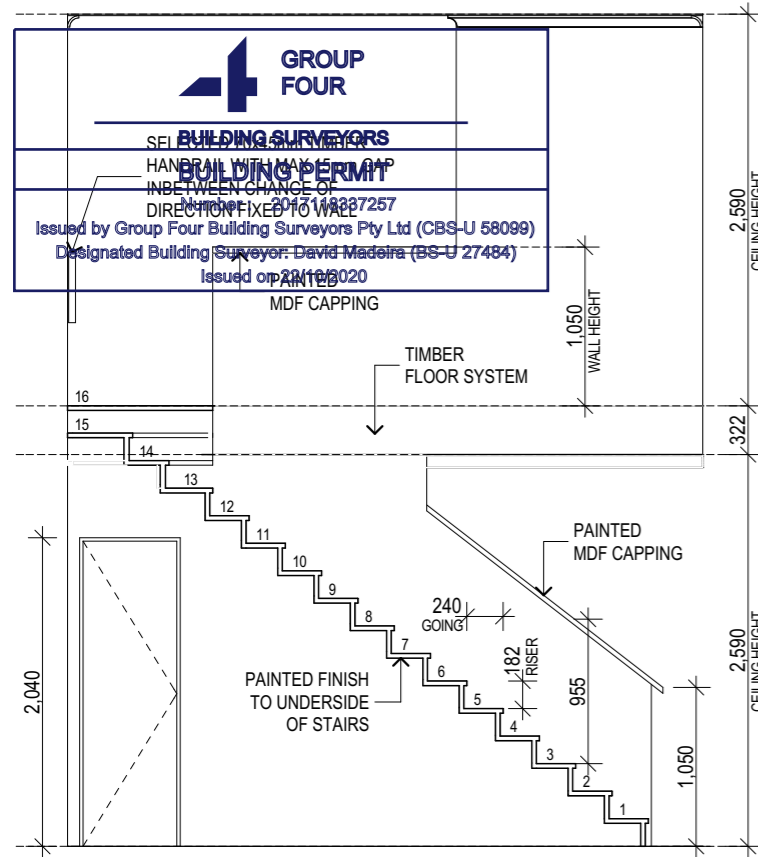
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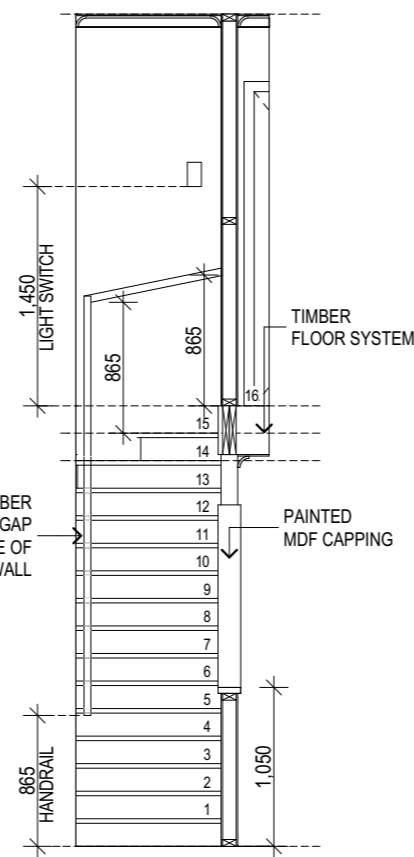
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	MASTER DRAWN	DRAWING No:
	TYP HGT:	D.7 of 9

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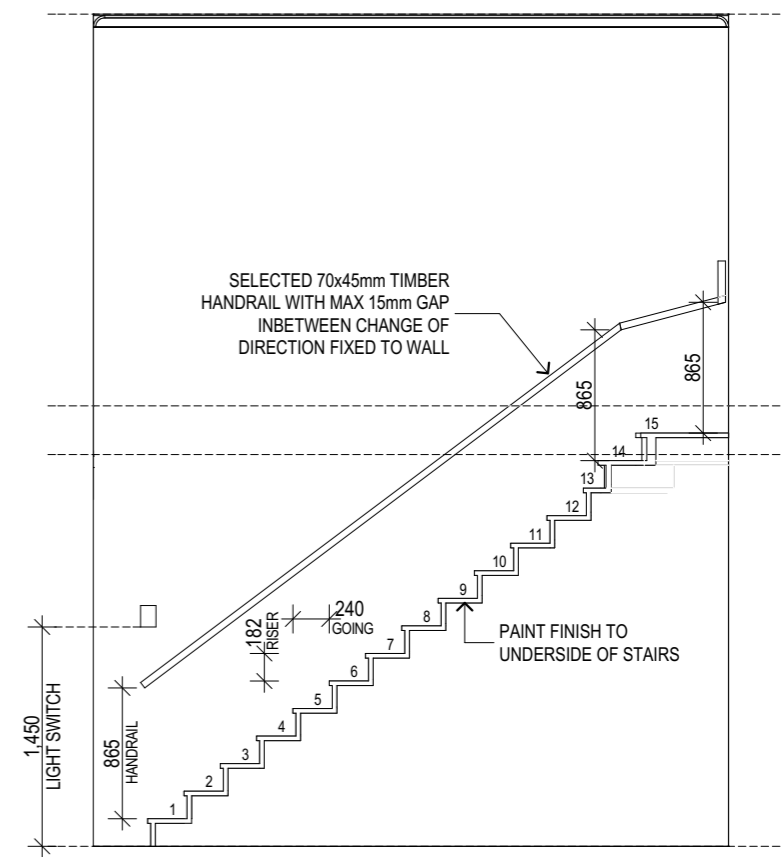
B Stairs

1:50



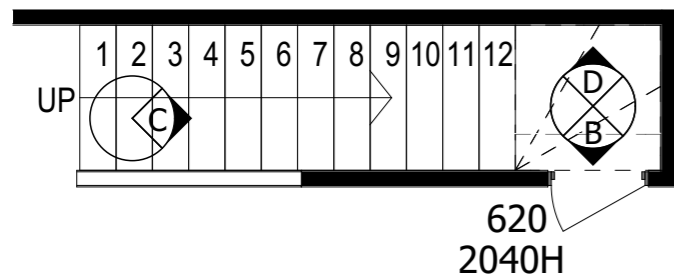
C Stairs

1:50



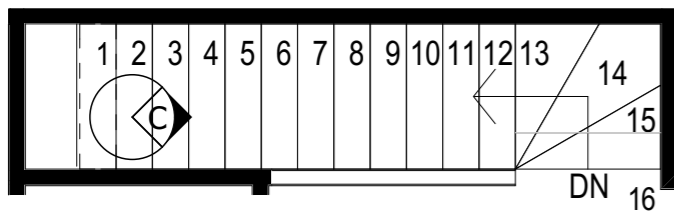
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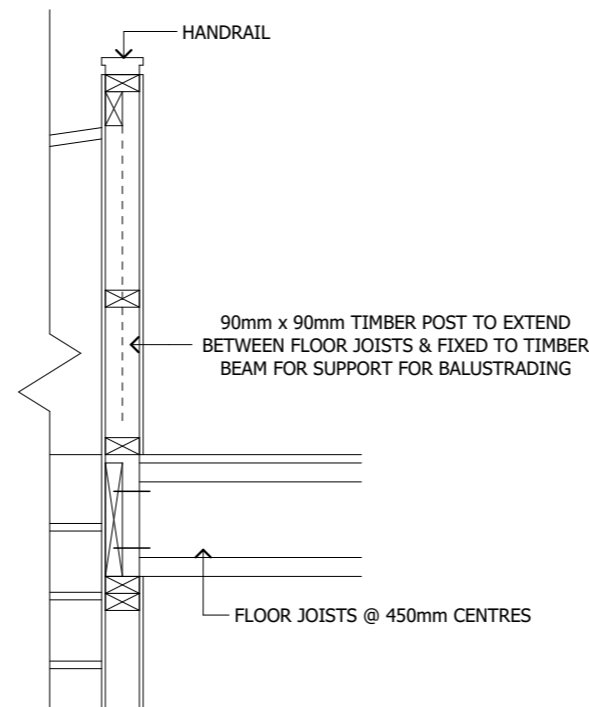
GROUND FLOOR STAIR LAYOUT

1:50



FIRST FLOOR STAIR LAYOUT

1:50



HANDRAIL DETAIL

SCALE 1:20

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F		
G		

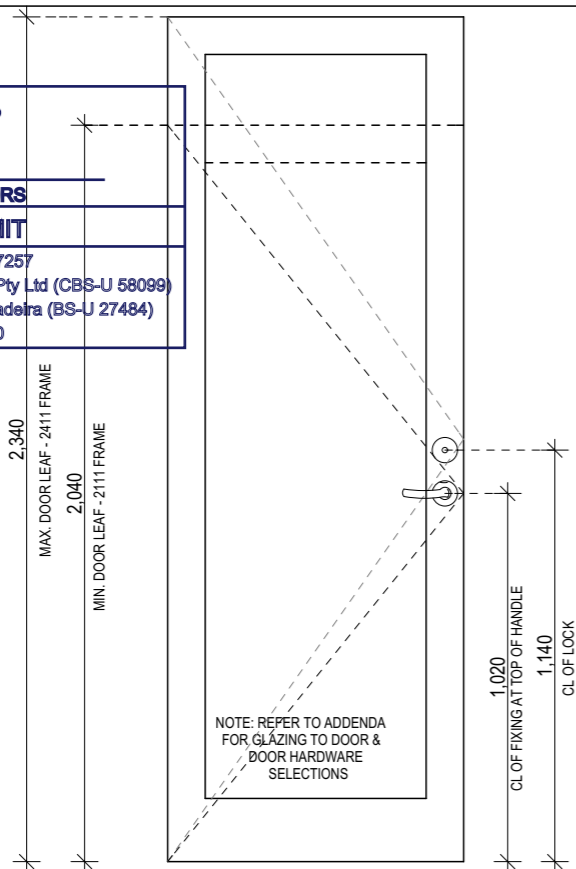
GENERAL NOTES:
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 - WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

CLIENT:
MR. S. LINDSAY
 LOT 31438 ANTARES PARADE
 KALKALLO VIC 3064

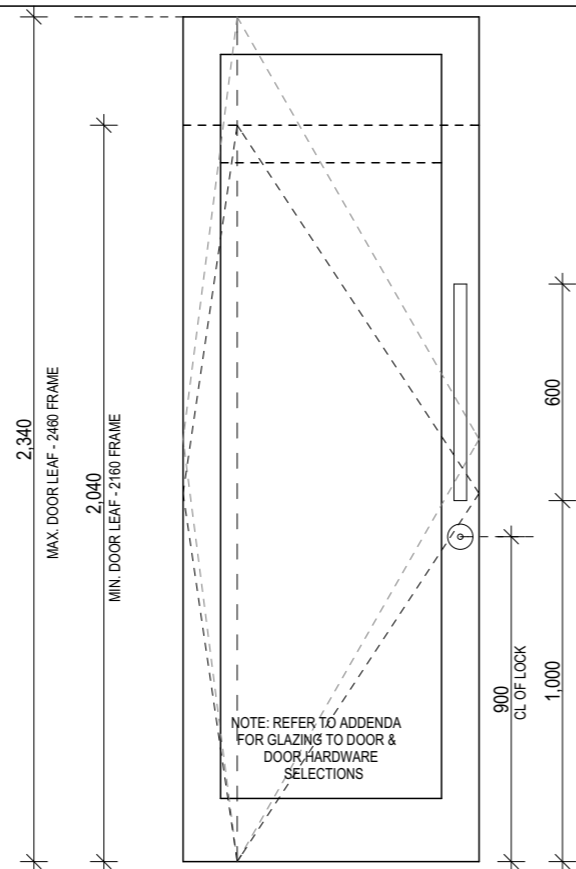
Stairs		JOB No:
		40821
DESIGN: OCTAVE 18	DRAWN BY:	REVISION NO:
FACADE: Facade 2	TYP HGT:	MASTER DRAWN
		SCALE: 1:50, 1:100
		DRAWING No: D.8 of 9



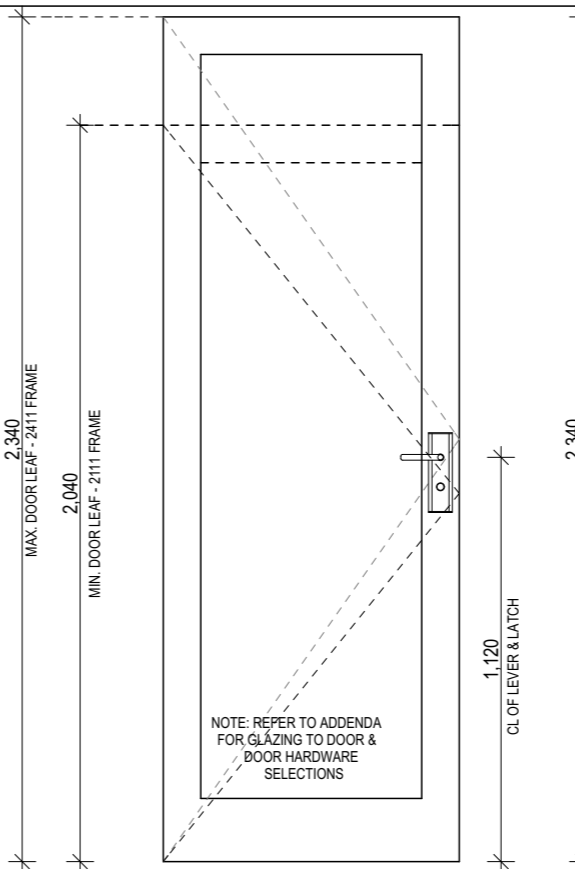
GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT
 Number: 2017118337257
 Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
 Designated Building Surveyor: David Madeira (BS-U 27484)
 Issued on 22/10/2020



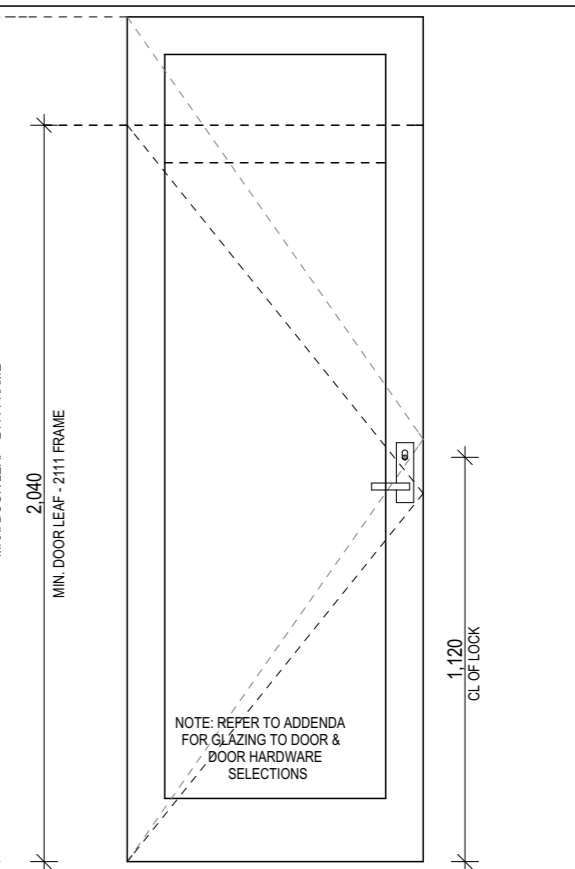
Handle/Lock location to typical Hinged door - Timber Frame



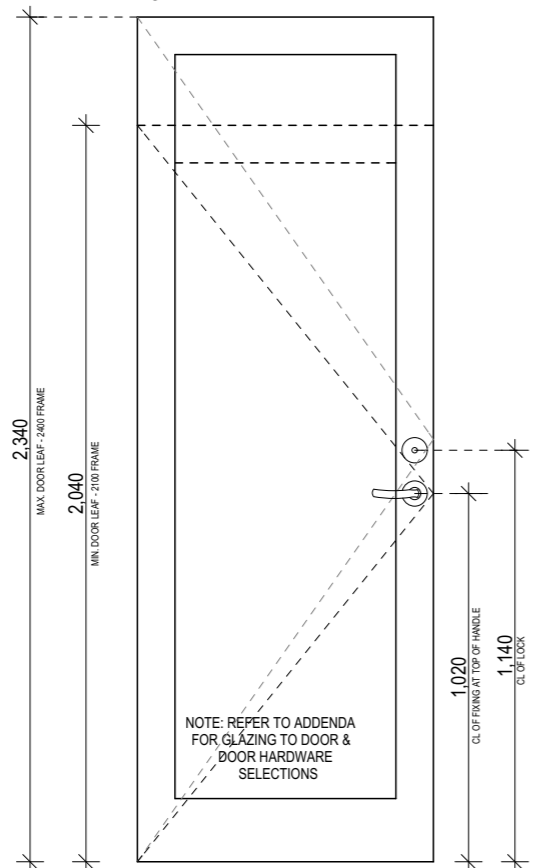
Handle/Lock location to typical Pivot door - Timber Frame



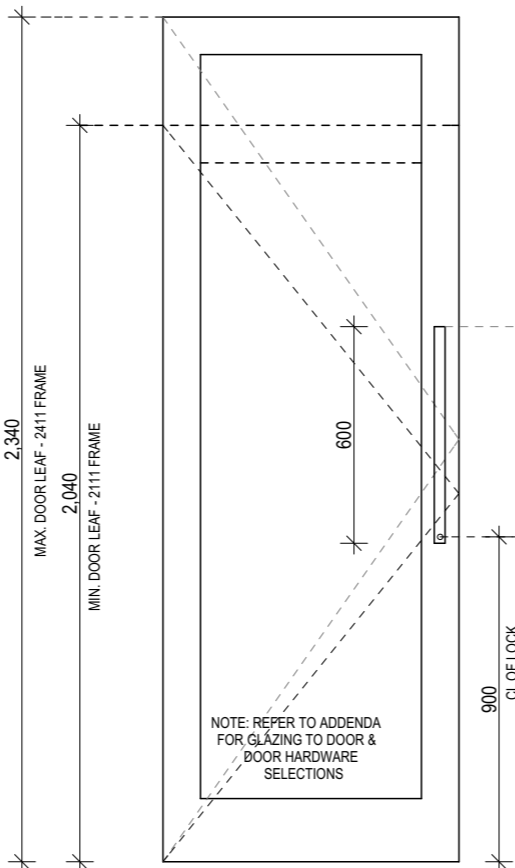
Handle/Lock location Nexion Vision Hinged door - Timber Frame



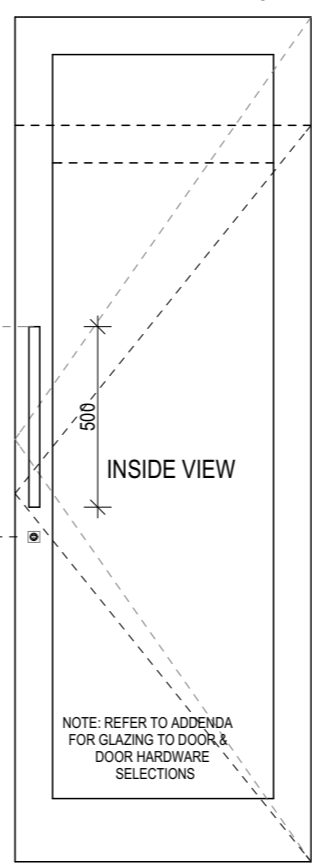
Lock location 1800 Series Hinged door - Timber Frame



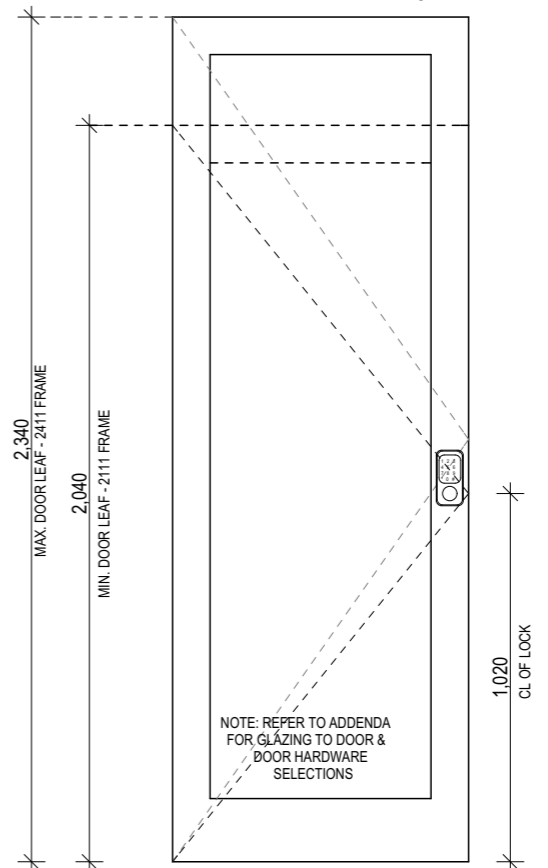
Handle/Lock location to typical Hinged door - Aluminium Frame



Handle/Lock location to typical Hinged door - Timber Frame Paradigm Pull handle lock set



Handle/Lock location to typical Hinged door - Timber Frame Paradigm Pull handle lock set



Keyless Digital Lock Hinged door - Timber Frame

NOT TO SCALE
 DO NOT MEASURE OFF DETAIL. PLEASE REFER TO DIMENSIONS FOR MEASUREMENTS

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 KALKALLO VIC 3064

Standard door details			
DESIGN: OCTAVE 18	DRAWN BY:	REVISION NO:	JOB No: 40821
FACADE: Facade 2	TYP HGT:	MASTER DRAWN	SCALE: 1:20
			DRAWING No: D.9 of 9

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HOUSE BUILDING PLATFORM
HOUSE CUT LEVEL: 232.837RL

GARAGE BUILDING PLATFORM
GARAGE CUT LEVEL: 233.061RL

FINISHED SURFACE LEVEL (REAR YARD)
BACK YARD LEVEL: 232.997RL

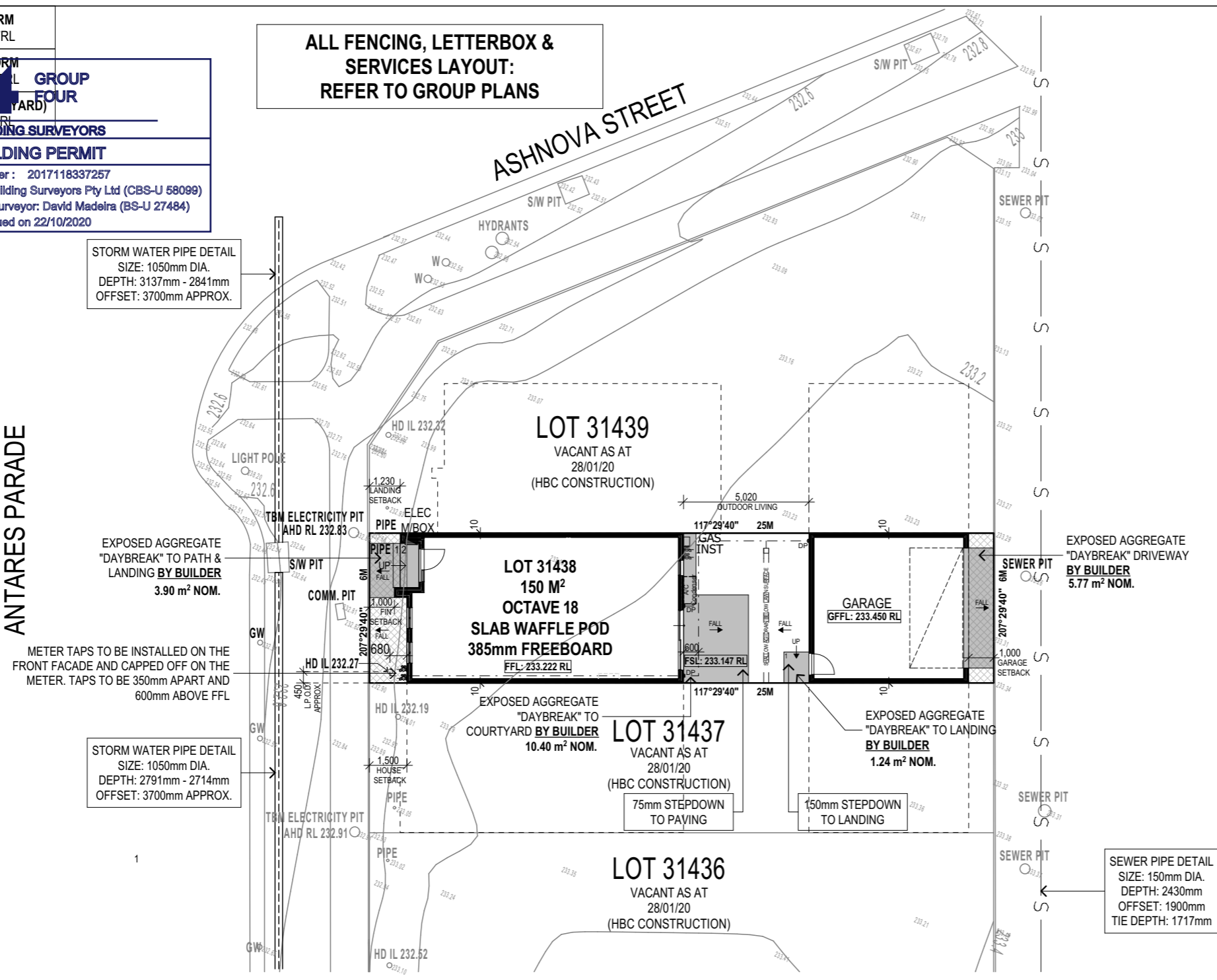
GROUP FOUR
BUILDING SURVEYORS

BUILDING PERMIT
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Issued on 22/10/2020

**ALL FENCING, LETTERBOX & SERVICES LAYOUT:
REFER TO GROUP PLANS**

ANTARES PARADE

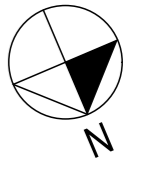
YISUN LANE



GENERAL NOTES:

- AGI DRAIN, STORMWATER DRAIN AND DOWN PIPE LAYOUT SHOWN IS INDICATIVE ONLY.
- IF A CONCRETE DRIVEWAY IS NOT PROVIDED IT IS THE OWNERS RESPONSIBILITY TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS.

SURVEY DATE	28/01/20
CONTOUR INTERVALS	200 mm
LEVELS TO	232.83
SITE AREA	150 sqm
BUILDING AREA	106.34 sqm
SITE COVERAGE	50.95%
WIND SPEED	N2
SITE CLASSIFICATION	H2



SMALL LOT HOUSING CODE:
TOWN PLANNING APPROVAL NOT REQUIRED FOR LOT UNDER 300m2 AS DWELLING COMPLIES WITH SLHC TYPE B.

6 STAR ENERGY RATING:
DWELLING TO COMPLY W/ THE REQUIREMENTS OF 6 STAR ENERGY RATING

MELWAY REF: PAGE 427 A4

DRAINAGE NOTES:
PROVIDE MIN. 100mm DIA. U.P.V.C. STORMWATER DRAINS WITH MIN. 1:100 FALL AND MIN. 300mm COVER, CONNECTED TO LEGAL POINT OF DISCHARGE

NOTE: ALL DOWNPIPES TO BE JOINED WITH PVC SWD

PROVIDE GARDEN TAP AND HWU OVERFLOW OUTLET ABOVE O.R.G. (OVERFLOW RELIEF GULLY)
PROVIDE ADDITIONAL O.R.G. TO ANY ADDITIONAL GRADEN TAPS

STORMWATER:
STORMWATER PIPES TO BE INSTALLED 600mm FROM PERIMETER OF BUILDING AND CONNECTED TO LEGAL POINT OF DISCHARGE. A NO GO ZONE IS IN PLACE 150mm EITHER SIDE OF STORMWATER.

RECYCLED WATER:
PROVIDE PROVISIONS FOR CLASS 'A' RECYCLED WATER. INCLUDES CLASS 'A' RECYCLED WATER TAPPING, 1 No. PURPLE TAP TO HOUSE & SEPARATE PLUMBING FOR TOILETS & WASHING MACHINE. LOCATION TO BE CONFIRMED BY PLUMBER

PLUMBING:
PROVIDE INSTANTANEOUS GAS HOT WATER SYSTEM IN LIEU OF STANDARD SOLAR HOT WATER SYSTEM. BUILDING SURVEYOR TO PROCEED WITH PERFORMANCE ASSESSMENT REPORT.

DENOTES: SILT PIT CONNECTED TO LEGAL POINT OF DISCHARGE

DENOTES: AGI DRAIN WITH SILT PIT, CONNECTED TO LEGAL POINT OF DISCHARGE.

PLIABLE MEMBRANE:
PLIABLE MEMBRANE TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2 TO EXTERNAL WALLS

EXHAUST SYSTEMS:
IN ACCORDANCE WITH NCC 3.8.7.3 KITCHEN RANGEHOOD EXHAUST TO HAVE MIN 40L/s WHILE BATHROOM/ENSUITE/WC EXHAUST TO HAVE MIN 25L/s AND TO BE DUCTED TO A VENTILATED ROOF SPACE IN ACCORDANCE WITH NCC 3.8.7.4

FIBRE OPTIC NETWORK (NBN Co.):
BUILDER TO PROVIDE 25mm CONDUIT FROM TELECOMMUNICATIONS PIT IN STREET TO METER BOX IN ACCORDANCE WITH DEVELOPERS GUIDELINES. CLIENT TO ORGANISE CONNECTION.

TERMITE PROTECTION
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.

BOUNDARY NOTE:
SEWER PIPE TO REAR BOUNDARY HAS BEEN CHECKED AND THERE IS NO EFFECT TO ANGLE OF REPOSE.

TRAFFICABLE LID:
PROVIDE TRAFFICABLE LID FOR SEWER TIE.

BOUNDARY NOTE:
S/WATER PIPE TO FRONT BOUNDARY HAS BEEN CHECKED AND THERE IS NO EFFECT TO ANGLE OF REPOSE.

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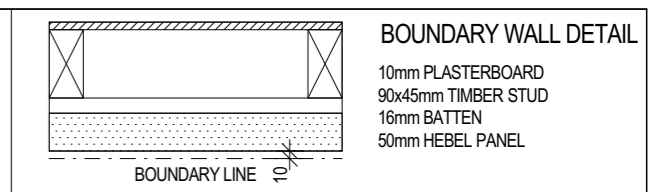
CLIENT:
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LOT 31438 ANTARES PARADE
KALKALLO VIC 3064

Site Plan		JOB No: 40821
DESIGN: OCTAVE 18	DRAWN BY:	REVISION NO:
FACADE: Facade 2	TYP HGT:	MASTER DRAWN
		SCALE: 1:200
		DRAWING No: 1 of 9

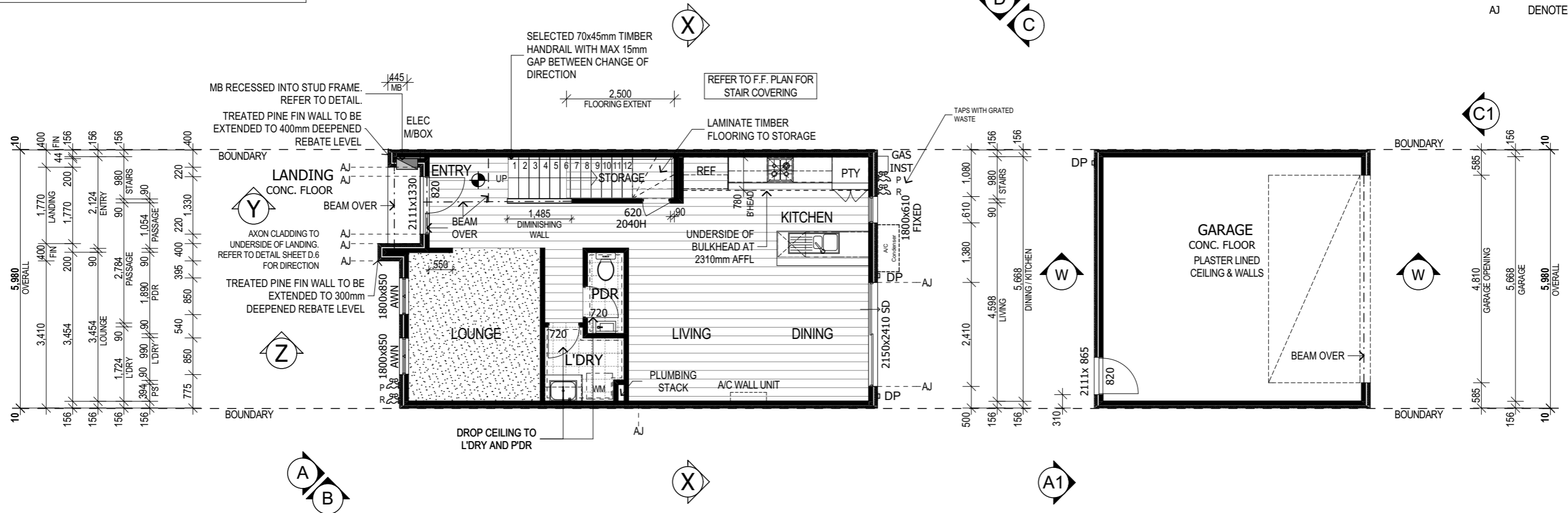
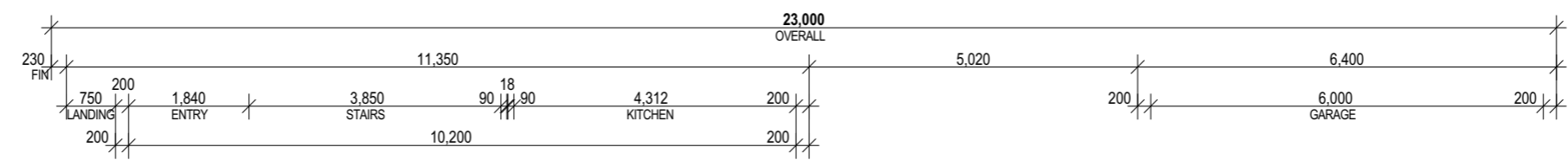
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172mm SLAB REBATE

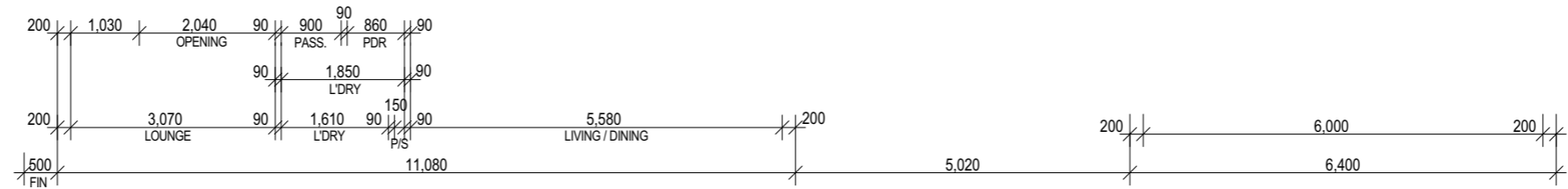
RECYCLED WATER:
 PROVIDE PROVISIONS FOR CLASS 'A' RECYCLED WATER.
 INCLUDES CLASS 'A' RECYCLED WATER TAPPING, 1 No. PURPLE
 TAP TO HOUSE & SEPARATE PLUMBING FOR TOILETS & WASHING
 MACHINE. LOCATION TO BE CONFIRMED BY PLUMBER



- DENOTES: CARPET
- DENOTES: FLOATING FLOOR
- DENOTES: FLOOR TILES
- R DENOTES: RECYCLED WATER TAP
- P DENOTES: POTABLE WATER TAP
- DENOTES: SQUARE SET CORNICE
- AJ DENOTES: ARTICULATION JOINT



- GENERAL NOTES:**
- INTERCONNECTED SMOKE DETECTORS AS PER NCC 2019
 - PROVIDE REMOVABLE HINGES TO WC DOORS PER NCC 3.8.3.3
 - TEMP. DOWNPIPES TO BE USED UNTIL CONNECTED TO SW DRAIN
 - GUTTER AND DRAINAGE SYSTEMS TO COMPLY WITH AS 3500.
 - STAIR TREADS SHALL COMPLY WITH THE SLIP RESISTANT CLASSIFICATION NCC TABLE 3.9.1.3 INDOOR STEPS & 3.9.1.4 OUTDOOR STEPS.
 - THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS AND SPECIFICATIONS
 - TIMBER ROOF TRUSSES TO MANUFACTURER'S COMPUTATIONS & LAYOUTS.
 - ROOF TRUSSES TO BE PLACED DIRECTLY ON TOP OF EXTERNAL WALL STUDS.
 - ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH A.S. 1684 - 2010 NATIONAL TIMBER FRAMING CODE & OR ENGINEER'S STRUCTURAL COMPUTATIONS.
 - WATERPROOFING OF WET AREAS TO COMPLY WITH A.S. 3740-2010.
 - WATERPROOFING TO ALL EXTERNAL WET AREAS TO BE IN ACCORDANCE WITH AS4652.2 CLAUSE 2.8.2.
 - IN ACCORDANCE WITH NCC 3.8.7.3 KITCHEN RANGEHOOD EXHAUST TO HAVE MIN 40L/s WHILE BATHROOM/ENSUITE/WC EXHAUST TO HAVE MIN 25L/s AND TO BE DUCTED TO A VENTILATED ROOF SPACE IN ACCORDANCE WITH NCC 3.8.7.4



HOUSE	SQM	SQR
FIRST FLOOR	64.95	
GROUND FLOOR	65.22	
TOTAL FLOOR AREA	130.17	14.01
LANDING	1.83	
GARAGE	38.27	
TOTAL AREA	170.27	18.33

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<p>81 LORIMER STREET DOCKLANDS, VIC. 3008 PH: (03) 9674 4500 FAX: (03) 9674 4501</p>	<p>REVISIONS:</p> <table border="1"> <tr><td>A</td><td>FINAL PLANS</td><td>13/07/20</td><td>DR</td></tr> <tr><td>B</td><td>CORRECTIONS</td><td>29/07/20</td><td>VC</td></tr> <tr><td>C</td><td>ENERGY COMPLIANCE</td><td>05/08/20</td><td>DR</td></tr> <tr><td>D</td><td>LAUNDRY AMENDMENT</td><td>10/08/20</td><td>PT</td></tr> <tr><td>E</td><td>BP REJECTIONS & CLAROS</td><td>03/09/20</td><td>PT</td></tr> <tr><td>F</td><td></td><td></td><td></td></tr> <tr><td>G</td><td></td><td></td><td></td></tr> </table>	A	FINAL PLANS	13/07/20	DR	B	CORRECTIONS	29/07/20	VC	C	ENERGY COMPLIANCE	05/08/20	DR	D	LAUNDRY AMENDMENT	10/08/20	PT	E	BP REJECTIONS & CLAROS	03/09/20	PT	F				G				<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. - WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES 	<p>CLIENT:</p> <p style="text-align: center;">MR. S. LINDSAY</p> <p style="text-align: center;">LOT 31438 ANTARES PARADE KALKALLO VIC 3064</p>	<p>Ground Floor Plan</p> <p>DESIGN: OCTAVE 18 FACADE: Facade 2</p>	<p>JOB No: 40821</p> <p>SCALE: 1:100</p> <p>DRAWING No: 2 of 9</p>
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<p>DRAWN BY: [] REVISION NO: []</p>		<p>TYP HGT: [] MASTER DRAWN []</p>																															

GENERAL NOTE:

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- REFER ENGINEERS DRAWINGS FOR AJ LOCATIONS.
- ALL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCT. ENGINEER'S DRAWINGS & COMPUTATIONS.
- ALL DOWNPIPES TO BE JOINTED PER PERMITS OF WEEPHOLES TYPICAL. Number: 2017118337257

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 Registered Building Supervisor David Madeira (BS-U 27484)
 Approved on 22/10/2020

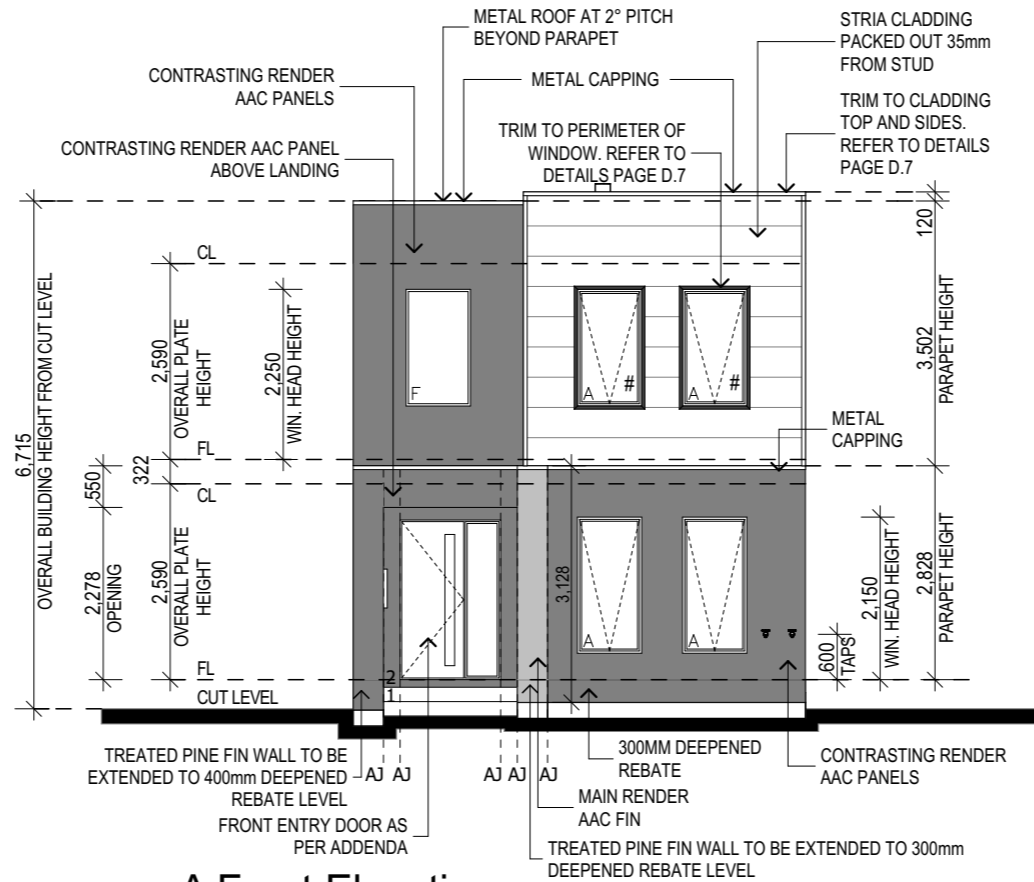
PROVIDE FLYSCREENS WITH BLACK NYLON MESH AND ALUMINIUM FRAME TO ALL OPENABLE AWNING AND SLIDING WINDOWS.

DENOTES: WINDOWS TO UPPER LEVEL TO HAVE A RESTRICTED MAXIMUM 125mm OPENING

SKYLIGHTS TO BE MINIMUM 900MM FROM BOUNDARY

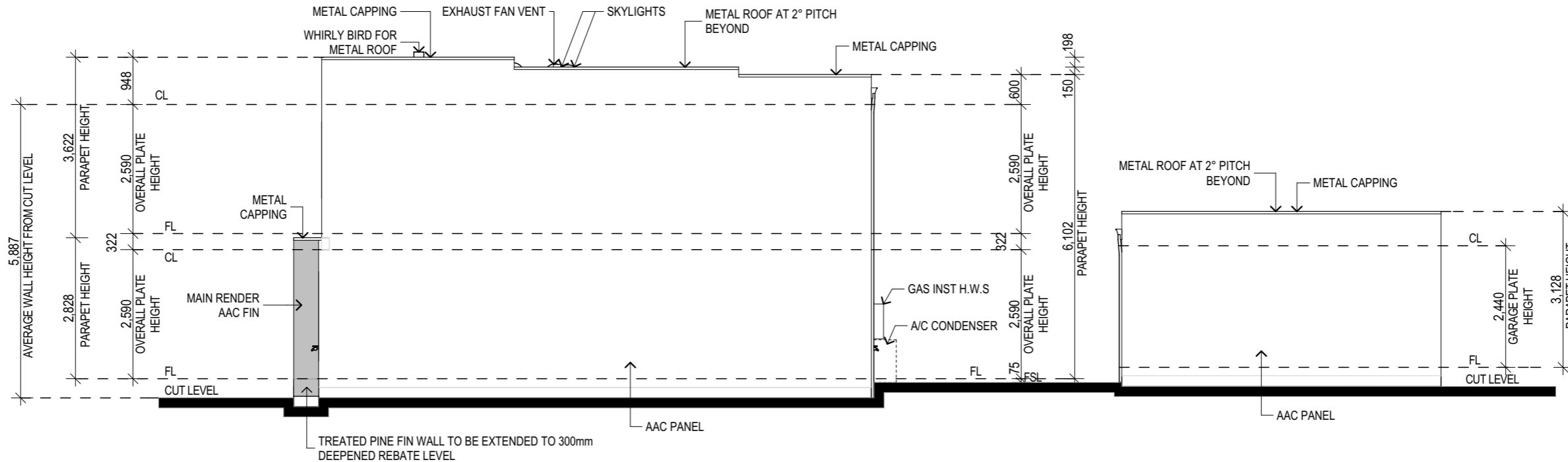
- DENOTES: MAIN RENDER COLOUR
- DENOTES: CONTRASTING RENDER COLOUR
- ▨ DENOTES: STRIA CLADDING
- AJ DENOTES: ARTICULATION JOINT

CONSTRUCTION JOINS:
 AAC PANEL VERTICAL CONSTRUCTION JOINS AS DENOTED ON PLANS AND ELEVATIONS



A Front Elevation

1:100



B Side Elevation

1:100

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CLIENT: MR. S. LINDSAY LOT 31438 ANTARES PARADE KALKALLO VIC 3064	Elevations 1		JOB No: 40821
	DESIGN: OCTAVE 18	DRAWN BY:	REVISION NO:
	FACADE: Facade 2	TYP HGT:	MASTER DRAWN
		SCALE: 1:100	DRAWING No: 4 of 9

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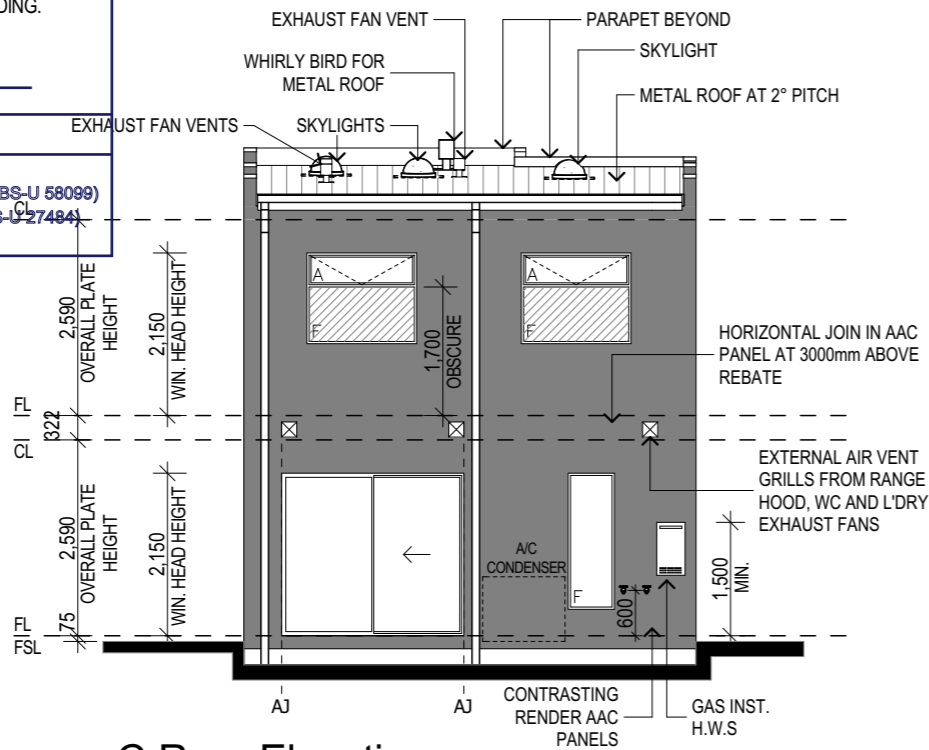
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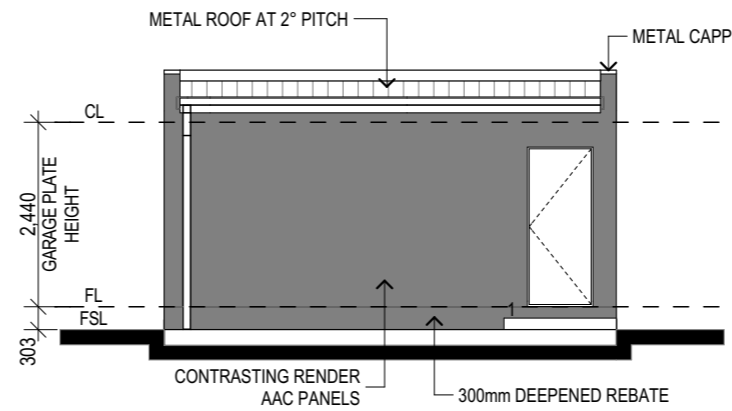
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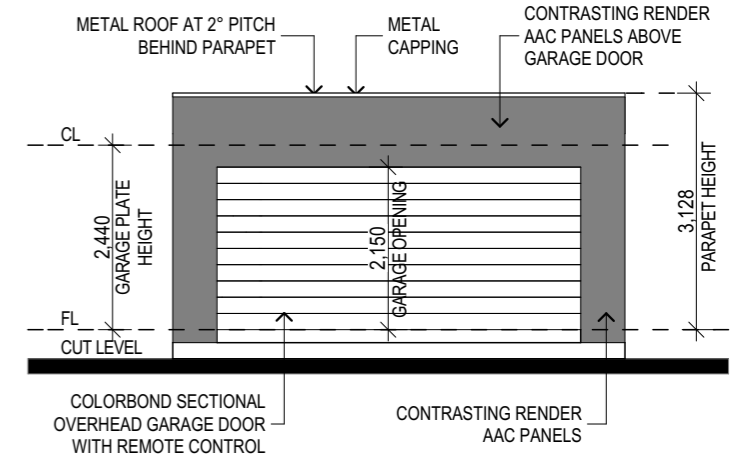
C Rear Elevation

1:100



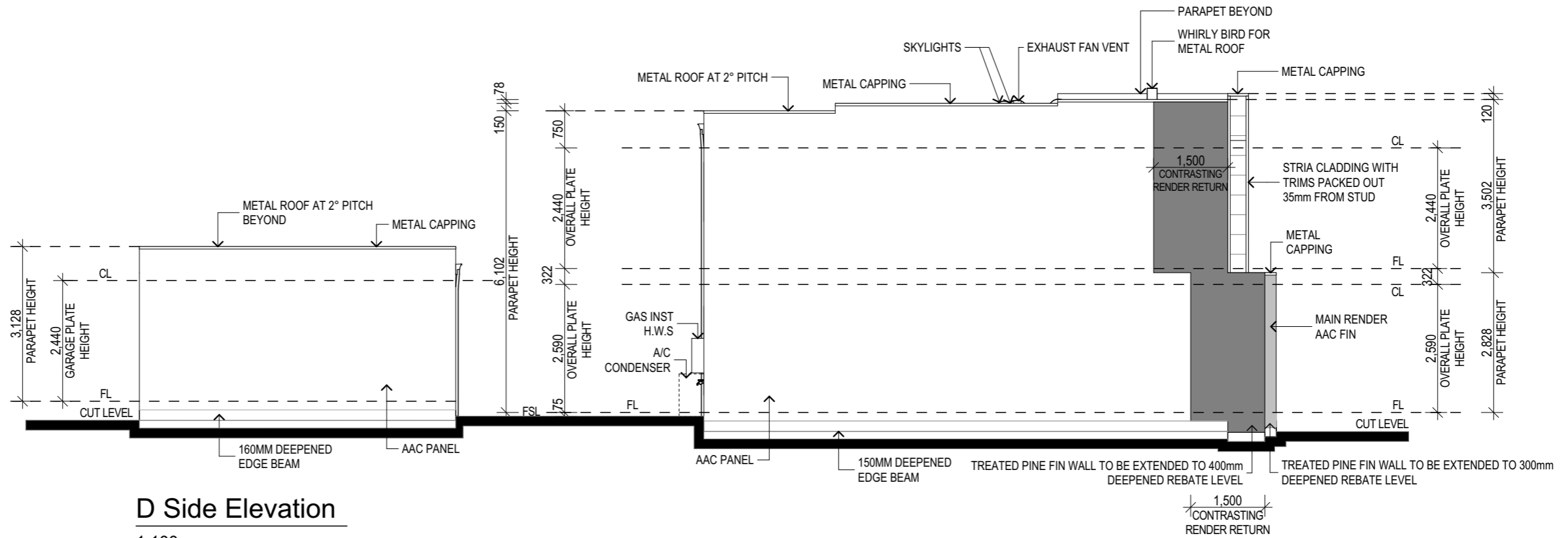
A1 Front Elevation

1:100



C1 Rear Elevation

1:100



D Side Elevation

1:100

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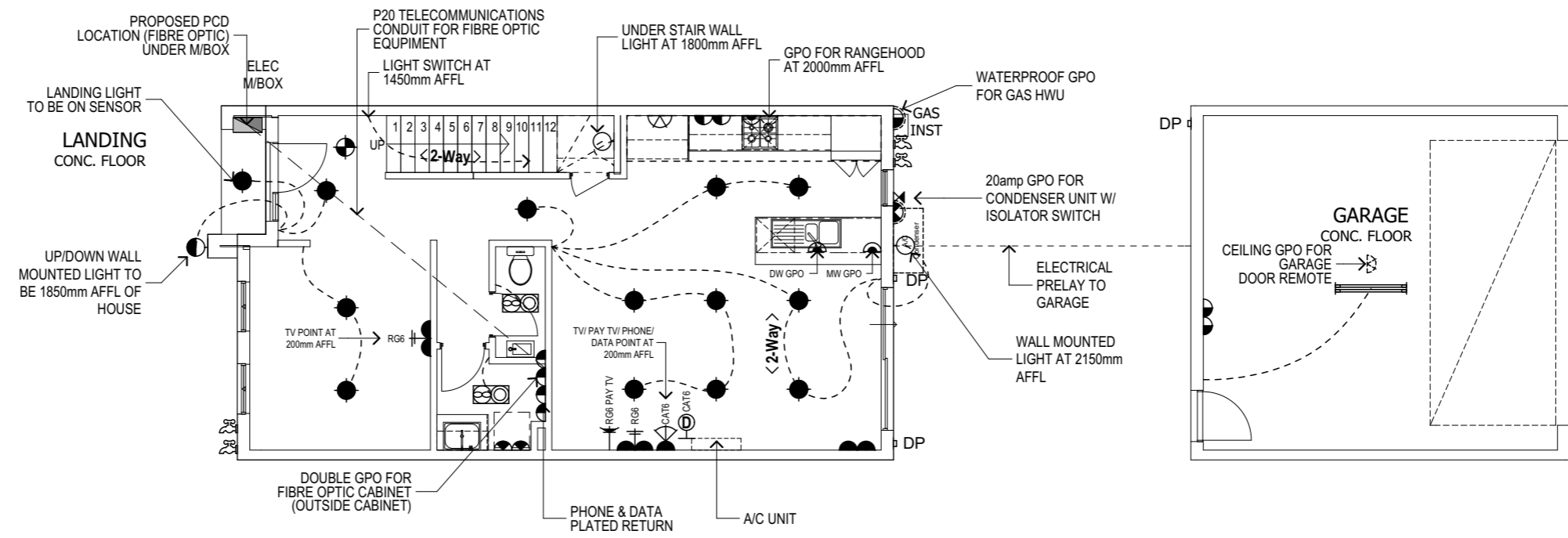
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CLIENT:
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KALKALLO VIC 3064

Elevations 2		JOB No:
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DESIGN: OCTAVE 18	DRAWN BY:	SCALE: 1:100
FACADE: Facade 2	REVISION NO:	DRAWING No:
	MASTER DRAWN	5 of 9

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Drafting Electrical Legend NBN			
	Ceiling Exhaust Fan/Light	40.00w	2
	Ceiling Light LV Recessed LED	6.00w	1
	Ceiling Light LV Recessed LED	8.00w	10
	Fluro Double	40.00w	1
	Up/Down Light	40.00w	1
	Wall Mounted Light	---	2
	DBL GPO @ 1450	---	4
	DBL GPO @ 200	---	3
	SNGL CEILING MOUNTED	---	1
	SNGL GPO @ 1650	---	1
	SNGL GPO @ 200	---	1
	SNGL GPO @ 2000	---	1
	SNGL GPO @ 650	---	3
	SNGL WP GPO @ 1150	---	1
	SNGL WP GPO @ 600	---	1
	Data Point	---	1
	Pay TV Point	---	1
	Isolation Switch	---	1
	Smoke Alarm	---	1
	Telephone Point	---	1
	Television Point	---	1
	Two Way Switch	---	2
	A/C Condenser Unit	---	1
	A/C Indoor Unit	---	1



STRUCTURED CABLING - NBN CO FIBRE OPTICS BASIC PACK
 PROVIDE NBN CO BASIC FIBRE OPTIC SYSTEM INCLUDING:
 - 25mm P20 CONDUIT AND BENDS WITH DRAWSTRING FROM NOMINATED LOCATION BELOW METER BOX
 - 2 PATCH LEADS
 NOTE: STANDARD PHONE POINT IS DELETED WHEN ABOVE PACKAGE IS SELECTED ADDITIONAL PHONE POINTS ARE "DAISY CHAINED"
 TV ANTENNA ATTACHED IN APPROPRIATE ROOF LOCATION ACCORDING TO INSTALLER RECOMMENDATION

- STANDARD CONNECTIONS:**
- PROVIDE LIGHT POINT & SINGLE GPO IN ROOF SPACE
 - WHERE INSTALLED, PROVIDE DIRECT POWER OUTLETS TO UNDER BENCH OVEN AND COOLING UNIT
 - SUPPLY & INSTALLATION OF LIGHT FITTINGS ARE NOT INCLUDED. COSTINGS ALLOW ONLY FOR BATTEN HOLDERS UNLESS SPECIFIED OTHERWISE.
- GENERAL NOTES:**
- LOCATIONS OF FIXTURES SHOWN ON PLANS ARE INDICATIVE ONLY AND MAY VARY DUE TO LOCATION OF STRUCTURAL MEMBERS AND TRUSS LAYOUTS
 - LOCATIONS OF DUCTED HEATING AND AIR CONDITIONING POSITIONS MAY VARY ON SITE DUE TO MANUFACTURER'S SPECIFICATIONS (IF APPLICABLE).

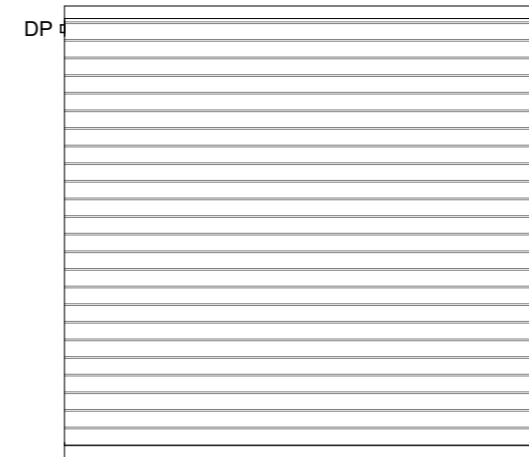
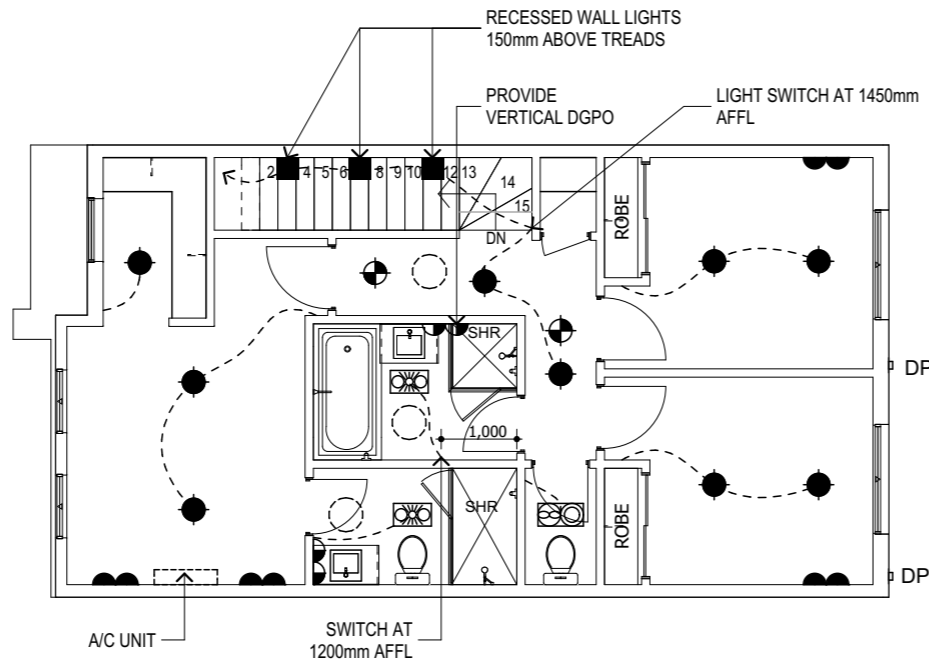
Building Class	Total Area	Total Lights	Total Wattage	Total Wattage M ²	Allow. Wattage
House	130.17 M ²	25	228/W	1.75 M ²	5.00 M ²
Garage	38.27 M ²	1	40/W	1.05 M ²	3.00 M ²
Outdoor	1.83 M ²	1	6/W	3.28 M ²	4.00 M ²
Average				1.61 M ²	4.00 M ²

Note: PORCH LIGHT ON DAYLIGHT SENSOR
 Perimeter lights have an average light source efficacy of not less than 40 Lumens/W
 Average Wattage Per M² = 1.61
COMPLIES

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	<p>DRAWN BY:</p> <p>REVISION NO:</p> <p>MASTER DRAWN</p> <p>TYP HGT:</p>																																								

Drafting Electrical Legend NBN			
	Ceiling Exhaust Fan/Heat/Light Combo	500.00w	2
	Ceiling Exhaust Fan/Light	40.00w	1
	Ceiling Light LV Recessed LED	11.00w	9
	Recessed Light	11.00w	3
	DBL GPO @ 2m	---	2
	DBL GPO @ 2m	---	4
	Smoke Alarm	---	2
	A/C Indoor Unit	---	1



STANDARD CONNECTIONS:

- PROVIDE LIGHT POINT & SINGLE GPO IN ROOF SPACE
- WHERE INSTALLED, PROVIDE DIRECT POWER OUTLETS TO UNDER BENCH OVEN AND COOLING UNIT
- SUPPLY & INSTALLATION OF LIGHT FITTINGS ARE NOT INCLUDED. COSTINGS ALLOW ONLY FOR BATTEN HOLDERS UNLESS SPECIFIED OTHERWISE.

GENERAL NOTES:

- LOCATIONS OF FIXTURES SHOWN ON PLANS ARE INDICATIVE ONLY AND MAY VARY DUE TO LOCATION OF STRUCTURAL MEMBERS AND TRUSS LAYOUTS
- LOCATIONS OF DUCTED HEATING AND AIR CONDITIONING POSITIONS MAY VARY ON SITE DUE TO MANUFACTURER'S SPECIFICATIONS.

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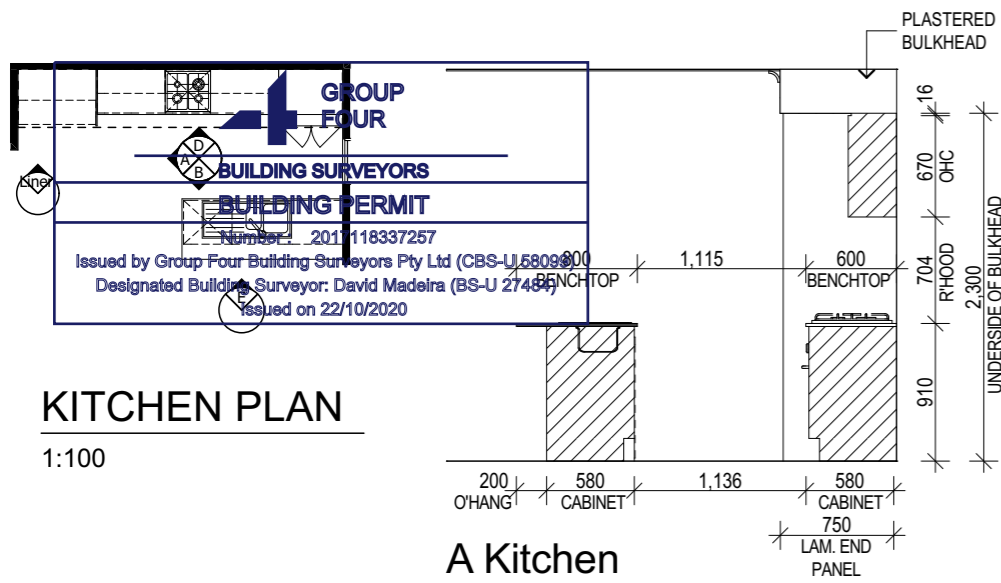
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CLIENT:
MR. S. LINDSAY
 LOT 31438 ANTARES PARADE
 KALKALLO VIC 3064

Electrical - First Floor NBN			
DESIGN: OCTAVE 18	DRAWN BY:	REVISION NO:	JOB No: 40821
FACADE: Facade 2	TYP HGT:	MASTER DRAWN	SCALE: 1:100, 1:1
			DRAWING No: 7 of 9

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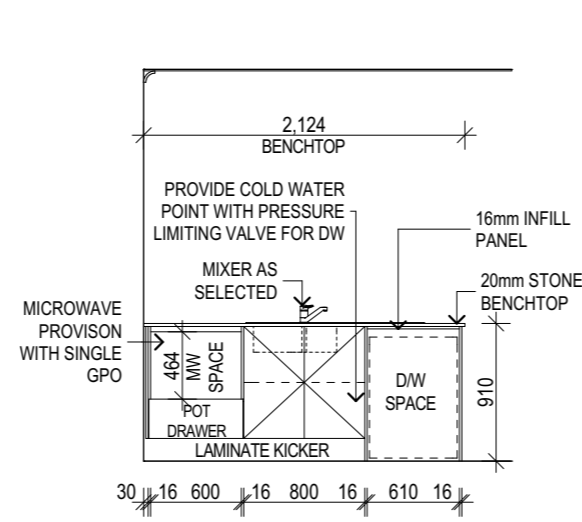


KITCHEN PLAN

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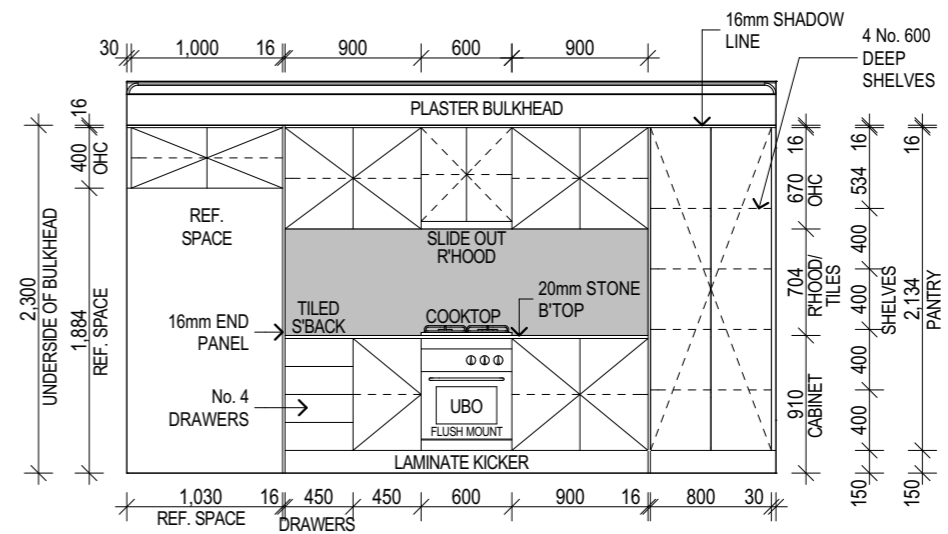
A Kitchen

1:50



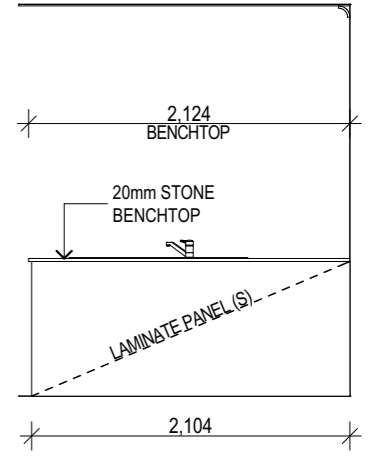
B Kitchen

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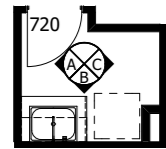
D Kitchen

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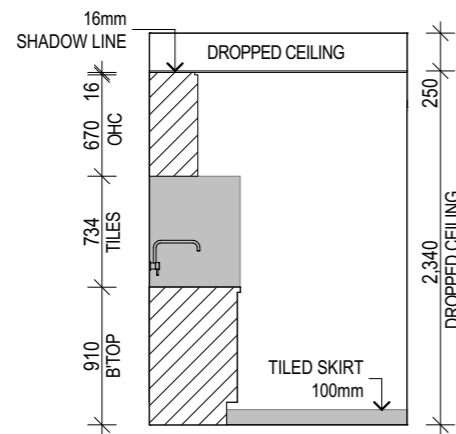
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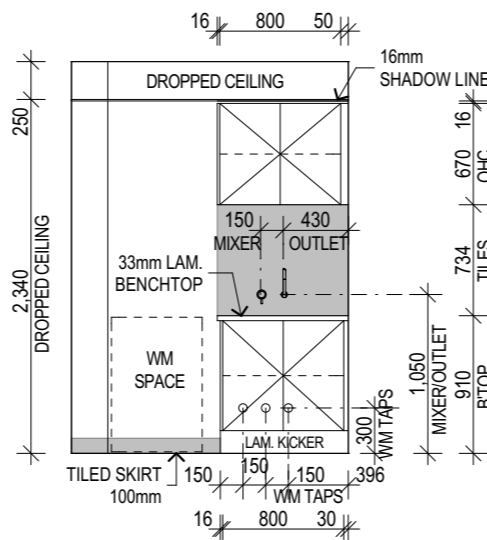
LAUNDRY PLAN

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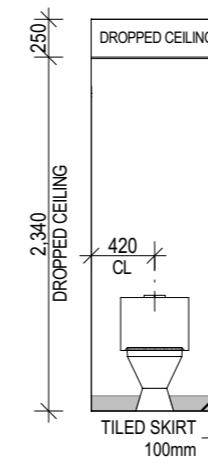
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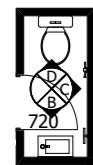
B Laundry

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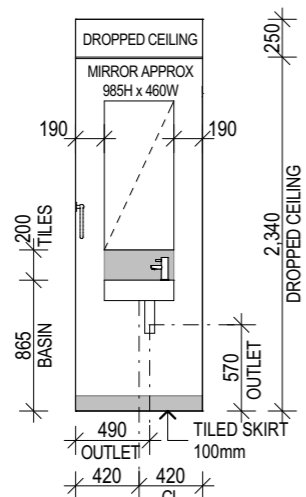
D Powder

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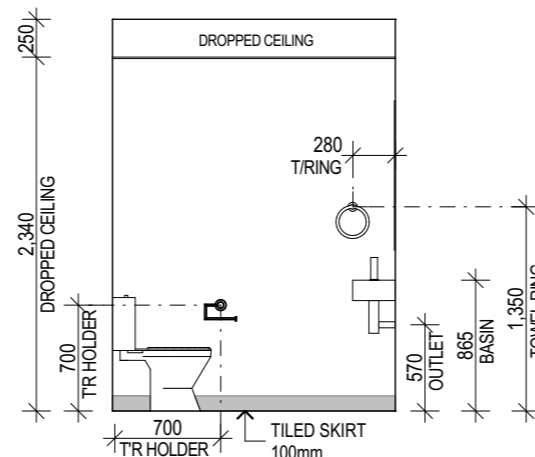
POWDER PLAN

1:100



B Powder

1:50



C Powder

1:50

GENERAL NOTE:
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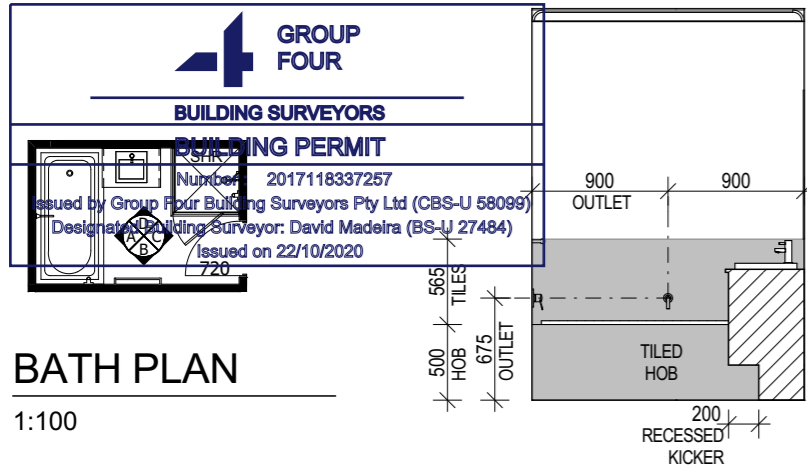


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CLIENT:
MR. S. LINDSAY
 LOT 31438 ANTARES PARADE
 KALKALLO VIC 3064

Internals 1		JOB No: 40821
DESIGN: OCTAVE 18	DRAWN BY:	REVISION NO:
FACADE: Facade 2	TYP HGT:	MASTER DRAWN
		SCALE:1:100, 1:50 DRAWING No: 8 of 9

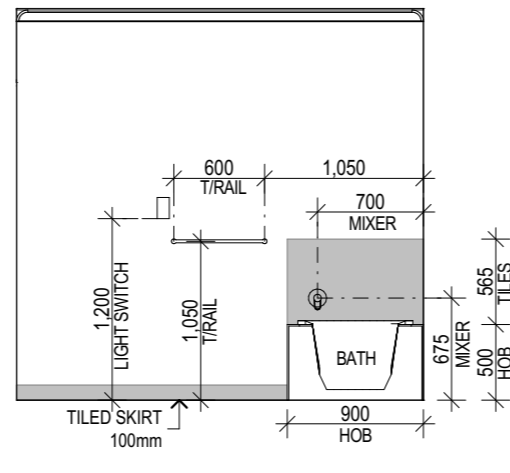


BATH PLAN

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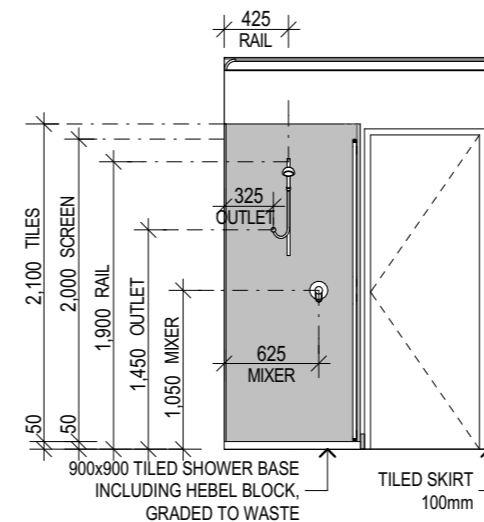
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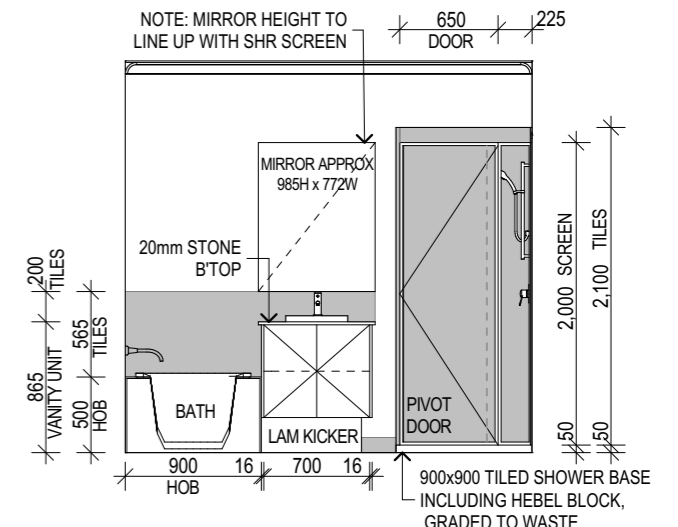
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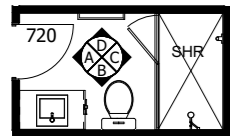
C Bath

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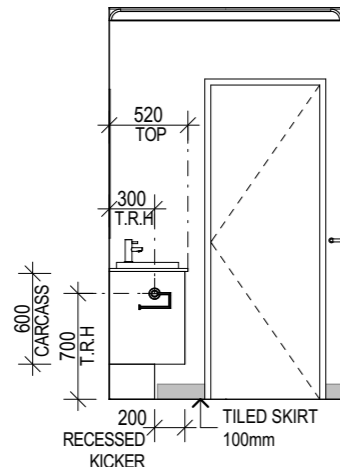
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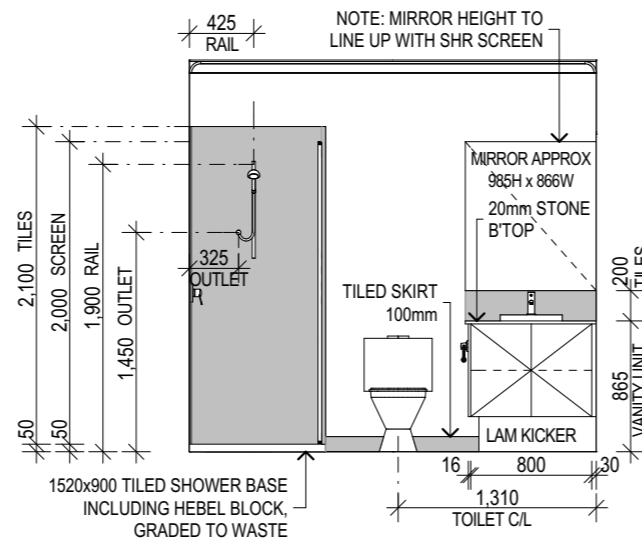
ENSUITE PLAN

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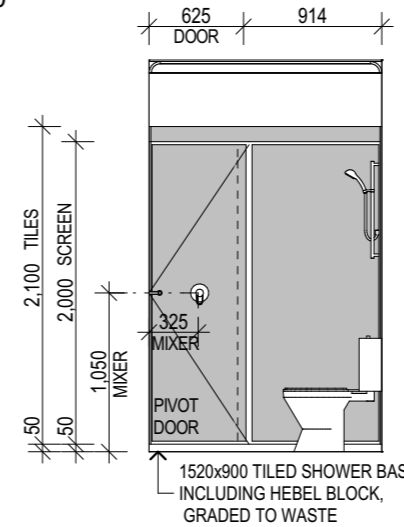
A Ensuite

1:50



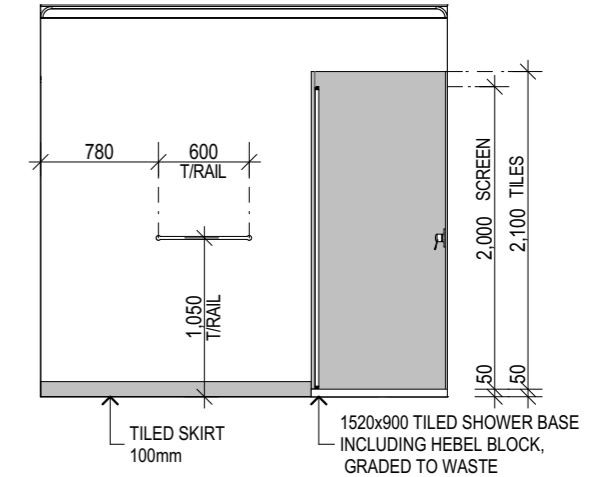
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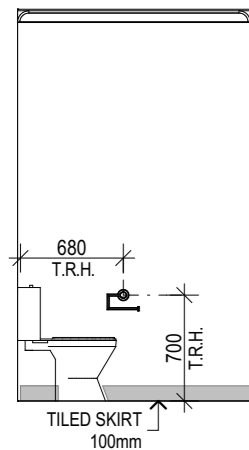
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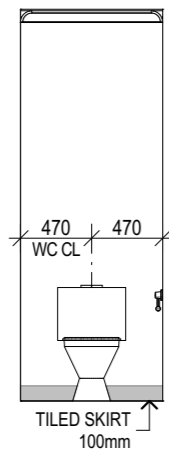
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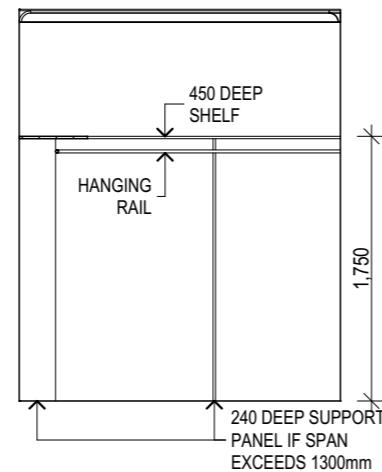
A WC

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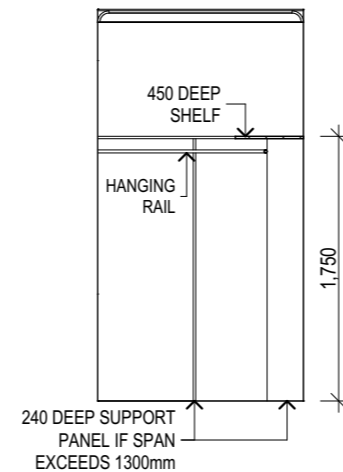
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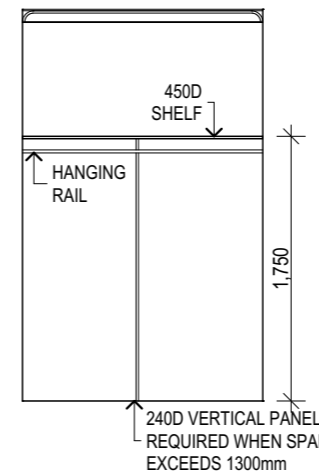
C WIR

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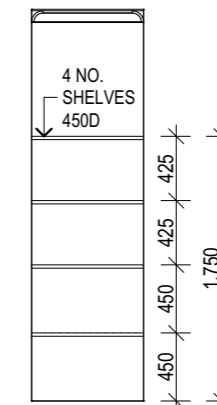
D WIR

1:50



Robe Typical

1:50



Linen Typical

1:50

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CLIENT:	MR. S. LINDSAY	JOB No:	40821
	LOT 31438 ANTARES PARADE KALKALLO VIC 3064	DESIGN: OCTAVE 18	SCALE: 1:100, 1:50
		FACADE: Facade 2	DRAWING No:
			9 of 9

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PH: (03) 9674 4500 FAX: (03) 9674 4501

SITE CLASSIFICATION REPORT

Client: Homebuyers Centre
 Number: 2017118337257
 Issued by Group Four Building Surveyors (130099)
 Designated Building Surveyor: David Madeira (BS-U 27484)
 Issued on 22/10/2020

Job No: 130054
Revision:

Site Address: Lot 31438 Antares Parade Kalkallo, 3064 **Date of Report:** 25/01/2020

This report is based on information supplied by the client and/ or assumed as typical for modern construction (refer Section 1). If any aspect of the site has changed from the date of site visit, the design engineer should be notified so that any necessary amendments can be considered.

SITE PHOTO 1



SITE CLASSIFICATION

H2 - Very highly reactive clay site.

(In accordance with AS2870-2011)

WIND RATING

N2

26 m/s Vhs & 40 m/s Vhu
 (In accordance with AS4055-2012)

SUMMARY REPORT
BUILDING SURVEYORS
BUILDING PERMIT

Number : 2017118337257

Issued by Group Four Building Surveyors Pty Ltd (CRS-1159499)
Designated Building Surveyor: David Madeira (BS-U 27484)
Issued on 22/10/2022

This summary is provided to quickly identify site observations and footing recommendations to the client, builder and design engineers. However care should be exercised and reference to a full report is recommended to avoid misunderstandings which may have subsequent design, construction and cost implications. Structerre is not liable for any differential caused by design growth or misunderstanding should the summary be used rather than the full report. In the event that only a summary report is issued Structerre must be retained as the design engineers.

P SITE INDICATORS (IF PRESENT)	
Soft / Collapsing Soil (I.e. bearing less than 50kPa):	No
Trees Onsite or Adjacent sites (refer to Site Survey for details):	No
Proposed or recent removal of house/ structures (i.e. Knockdown/ Rebuild)	No
Fill Containing Wood, Metal, Plastic, organics, oversize boulders etc... or other Harmful Materials: Specify details	No
Abnormal Moisture (As noted on Surface Soil Bore Log)	No
Deep Fill (Over 400mm):	No
Suspected Cut (Over 400mm):	No
Suspected removed trees:	No
Immature tree/s	No
OTHER CONDITIONS (IF PRESENT)	
Shallow Rock/ Floaters (I..e. Within 1.8 metre of the Surface):	Yes
Site surface saturated or prone to poor drainage	Yes
Difficulty penetrating FILL if present (I.e. refusal)	No
Incomplete Earthworks	No
Water Table/ Perched Water Table Encountered	No

DISCLAIMER

This report has been prepared on the behalf of and for the exclusive use of

Homebuyers Centre

This report is for Structerre only to use in design. Any design by anyone else for any structure must be specifically approved by Structerre. If used by anyone else for anything other than a Structerre design or structure, Structerre takes no responsibility

The purpose of this document is specifically for the site classification of either a pool, renovation, new single dwelling(s), or similar sized residential structure. This report is not intended for any other structure not specifically mentioned.

Any preliminary recommendations are based upon the site investigation and site classification only. This is to enable the design engineers to determine in their own professional opinion the final design of the project.

Desk Study / QA Review	Field Technician	Author	Approved
VN / QL	CK	VR	GP

TABLE OF CONTENTS

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	BUILDING PERMIT Number: 2017118337257
2.0	SITE INVESTIGATION Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099) Designated Building Surveyor: David Madeira (BS-U 27484) Issued on 22/10/2020
3.0	OBSERVATIONS & SITE SPECIFIC RECOMMENDATIONS
	3.1 Site Description
	3.2 Subsurface Conditions
	3.3 Geological Origins
	3.4 Site drainage
	3.5 Excavation difficulties
4.0	CHARACTERISTIC SURFACE MOVEMENT
	4.1 Characteristic Surface Movements (y _s)
5.0	FOOTING RECOMMENDATIONS
	5.1 CONCRETE SLAB
	5.2 TIMBER FLOORS

APPENDICIES

- APPENDIX A: **SITE PHOTOGRAPHS**
- APPENDIX B: **SITE SKETCH (refer to survey for full details)**
- APPENDIX C: **SURFACE SOIL BORE LOGS**

General Notes

Amendments	

1.0 INTRODUCTION BUILDING PERMIT

Structerre has been engaged by Homebuyers Centre to carry out soil testing in appropriate locations at Lot 31438 Antares Parade Kalkallo, 3064 to classify the site in its present condition, to enable a rational design of an appropriate footing system for an articulated brick veneer residential dwelling.

The satisfactory long-term performance of footing systems recommended in this report is dependent upon the ongoing site maintenance by the owner as described in AS2870-2011, Section 1.1.

2.0 SITE INVESTIGATION

Two boreholes were drilled using a ute mounted auger and disturbed samples were obtained, named, and broadly described in accordance with Unified Soil Classification System.

This report is based on site construction information (if any) supplied by the client. Should the proposed construction type vary from those advised (or assumed), this office should be notified, as additional testing may be required. It should also be noted that the test results might not be relevant if the location of a proposed structure varies from the originally advised.

This report relates to the ground conditions on the property at the time of the site investigation. If so advised by the client, this report has considered the proposed site preparation. If unadvised cutting or filling is proposed or carried out, additional testing may be required to reclassify the site as indicated in Clause 2.3.2 (B) and Clause 2.5.3 of AS2870-2011.

This site has been classified in accordance with Section 2 and Appendix D of AS2870-2011.

The characteristic surface movement, y_s , has been estimated either by shrink and swell tests as specified in AS1289.7.1.1-2991 in accordance with Clause 2.3.2 (i) of AS2870-2011, or by visual-tactile identification of the soil in accordance with Clause 2.3.2 (iii) of AS2870-2011. Results of our site investigation are attached in the Appendices.

3.0 OBSERVATIONS & SITE SPECIFIC RECOMMENDATIONS

3.1 Site Description

A photo of the site condition can be found on the front page. Additional photos if available can be found in Appendix A. At the time of site visit the drainage was found to be poor.

3.2 Subsurface Conditions

This report assumes subsurface conditions similar to those encountered in the boreholes are typical of the investigation area.

The soil test locations are indicated (approximately) on the attached site sketch (see Appendix B) along with limited site features; this sketch does not replace a site specific survey. For accurate and full details as to the site features and adjacent site features the site specific survey should be reviewed.

Number: 2015/118997257
Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
Designated Building Surveyor: David Madeira (BS-U 27484)
Issued on 22/10/2020

Full details of the observed subsurface conditions have been recorded on the attached bore logs (see Appendix C).

3.3 Geological Origins

Reference to the appropriate Geological Survey of Victoria map indicates the site is located in an area of Quaternary basalts. As required by AS1726-2017 a 'Desk Study' was prepared detailing anticipated geology, sub-surface profile, reactivity and review of aerial photography.

3.4 Site drainage

Although not encountered at the time of our soil test, sub-soil seepage and/or poor site drainage is common on sites in this region. This may cause some problems during footing construction including softening of footing bases and possible collapse of excavations. Long term footing performance might also be affected.

Installation of effective drainage to divert surface and/or ground water away from the footings well prior to construction of the slab may be required (refer General Notes).

Bearing capacities will be dependent on adequate drainage.

3.5 Excavation difficulties

Refusal on obstructions in FILL and/or on rock, floaters or hard/ very dense soils was encountered at shallow to moderate depth (refer to Surface Soil Bore Logs). Excavation for trenches, piers or a cut platform with light machinery may be difficult.

Where shallow rock is encountered, the footings or slab beams may be reduced in depth in accordance with the guidelines given in AS2870-2011, Clauses 3.1.6, 3.1.7 and 3.1.8, subject to review and approval by the design engineer.

Backhoe slots may be necessary due to the nature of the fill and/or natural soil.

4.0 BUILDING PERFORMANCE CHARACTERISTICS

Number: 2017/118337/257

Issued by Group Four Building Consultants Pty Ltd (UPEF 560M)

Designated Building Surveyor: David Madeira (BS-U 27484)

Issued on 22/10/2020

4.1 Characteristic Surface Movements (y_s)

For the encountered soil profile and normal seasonal soil moisture conditions, (where H_s is 2.3m and Δu is 1.2pF), we estimate the characteristic surface movements to be Y_s of between 60mm and 75mm, refer AS2870-2011.

5.0 FOOTING RECOMMENDATIONS

5.1 CONCRETE SLAB

A minimum slab freeboard of 150mm is recommended.


Surface Preparation. Removal of deleterious material such as grass, roots, organics material and topsoil containing organics will be required. This site scrape shall be done prior to placing rolled or controlled fill or placing of the concrete footings. Refer AS2870-2011 section 6.4.3.

The below footing recommendations assume that following a site scrape the remaining fill is to be compacted to achieve a minimum bearing capacity of 50kPa. If any soft spots are encountered where the bearing capacity cannot be achieved Structerre Engineers shall be contacted immediately for additional requirements. Any load bearing components of the footing (beams/ thickenings) should be founded into underlying natural horizons (refer to logs) as per AS2870-2011 2.5.3.

5.1.1 STIFFENED RAFT

A stiffened raft footing system suitable for an "H2" site classification may be appropriate. Refer to AS 2870-2011. All external footings supporting brickwork and load bearing footings shall be founded into natural Soil Horizons and proportioned for the bearing pressure as indicated on the Surface Soil Bore Logs in accordance with AS2870.

The natural surface material or approved fill (as per AS 2870-2011 Clause 6.4) will provide a minimum bearing of 50 kPa and will be adequate to support internal stiffening beams and slab panels. Where depth of fill exceeds the requirements of AS2870-2011, fully suspended footings and slab panels may be required and shall be designed by an experienced Engineer.

 GROUP FOUR 5.1.2 WAFFLE RAFT BUILDING SURVEYORS
BUILDING PERMIT Number: 2017118337257
<small>Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099) Designated Building Surveyor: David Madeira (BS-U 27484) Issued on 22/10/2020</small>

A waffle footing system appropriate to an "H2" site classification (385mm overall depth) may be appropriate for an articulated brick veneer dwelling. Refer AS-2870 2011 Fig 3.4. Footings shall be founded into natural Soil Horizons and proportioned for the bearing pressure as indicated on the Surface Soil Bore Logs in accordance with AS2870.

The natural surface material or approved fill (as per AS 2870-2011 Clause 6.4) will provide a minimum bearing of 50 kPa and will be adequate to support internal stiffening beams.

Where depth of fill exceeds the requirements of AS2870-2011, fully suspended footings and slab panels may be required and shall be designed by an experienced Engineer.

5.2 TIMBER FLOORS

5.2.1 STRIP AND PAD FOOTINGS

The current Australian Standard, AS2870 – 2011, does not provide recommendations for sites of very highly reactive sites. The design engineer must use engineering principles to provide a suitable design.

APPENDIX A: SITE PHOTOGRAPHS

BUILDING SURVEYORS

BUILDING PERMIT

Number : 2017118337257

Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)

Designated Building Surveyor: David Madeira (BS-U 27484)

Photo 2

Issued on 22/10/2020



Photo 3



Photo 4



APPENDIX B: SITE SKETCH

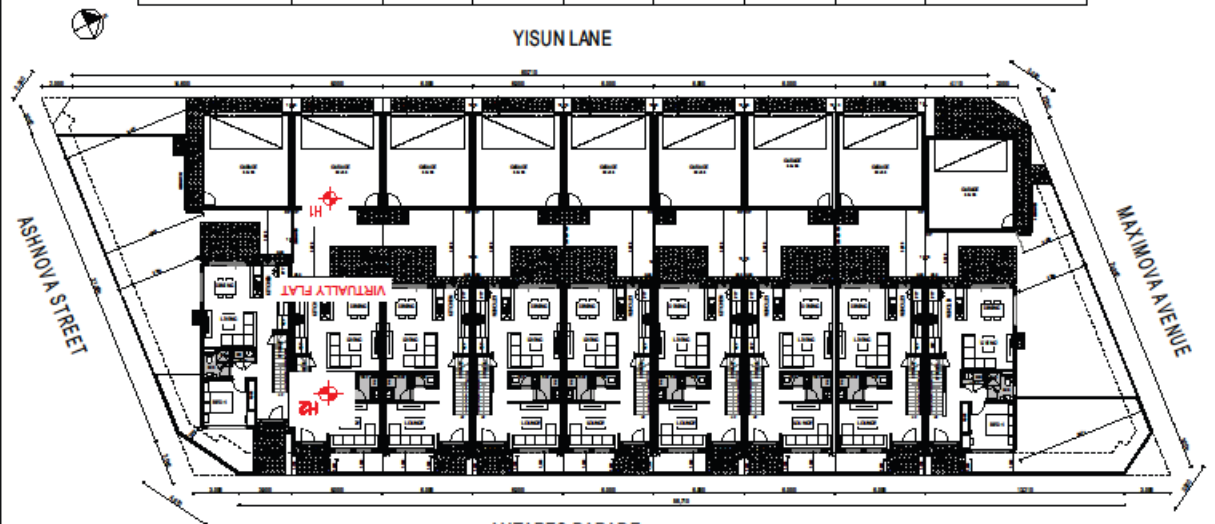
BUILDING SURVEYORS

BUILDING PERMIT

Number : 2017118337257

Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)

Designated Building Surveyor: David Madeira (BS-U 27484)	LOT 31435 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31434 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31433 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31432 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31431 OCTAVE 18 FACADE 1 - LH 273m ²
--	--	--	--	--	--



LOT	DWELLING										
	GROUND FLOOR (m ²)	FIRST FLOOR (m ²)	LANDING (m ²)	GARAGE (m ²)	TOTAL (m ²)	SITE (m ²)	COVERAGE (%)	PAVING (m ²)	PERMEABLE AREA (m ²)	PERMEABILITY (%)	P.D.5 (m ²)
31431	66.09	65.5	1.84	38.4	171.83	273	36.95%	56.69	129.93	47.61%	97.77
31432	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.5	24.18	16.12%	30.12
31433	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.51	23.76	15.84%	30.12
31434	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.68	24	16.00%	30.12
31435	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.74	23.84	15.80%	30.12
31436	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.92	23.76	15.84%	30.12
31437	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.93	23.76	15.84%	30.12
31438	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.84	23.84	15.80%	30.12
31439	66.09	65.5	1.84	38.4	171.83	283	37.57%	22.67	1.66	30.88%	122.3

NOTE:
TOWN PLANNING NOT REQUIRED.
SUIC TYPE B APPLIES.
RECYCLED WATER TO ESTATE
FIBRE OPTIC NETWORK: NBN

As shown on this plan, the design of the building and site is in accordance with the relevant provisions of the Building Act 2006 and the Building Regulations 2006.

Homebuyers Centre
180 800 0000
1000 ANTONY STREET
DOCKLANDS VIC 3008
FOR MORE INFO, VISIT US ONLINE

DATE OF ISSUE	24/02/2017
DATE OF REVISION	04/03/2017
DATE OF REVISION	04/03/2017
DATE OF REVISION	04/03/2017
DATE OF REVISION	04/03/2017
DATE OF REVISION	04/03/2017
DATE OF REVISION	04/03/2017
DATE OF REVISION	04/03/2017
DATE OF REVISION	04/03/2017
DATE OF REVISION	04/03/2017

GENERAL NOTES:
1. THIS DRAWING IS A PRELIMINARY DESIGN AND SHOULD BE USED AS A GUIDE ONLY.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

STOCKLAND CLOVERTON STAGE 314
LOT 31431 - 31439 ANTARES PARADE
KALKILLO

DESIGN: OCTAVE 18
FACADE: VARIOUS

DESIGNED BY: [Signature]
DATE: [Date]

APPENDIX C: SURFACE SOIL BORE LOGS

GROUP FOUR BUILDING SURVEYORS
BUILDING PERMIT
 Number: 2017/1633757
 Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
 Designated Building Surveyor: David Madeira (BS-U 27484)
 Issued on 22/10/2020
 CLIENT: Homebuyers Centre
 JOB No: 130054

SURFACE SOIL BORE LOG

DATE TESTED: **22/01/2020**
 LOCATION: **Lot 31438 Antares Parade Kalkallo, 3064**

SAMPLING METHOD: **Auger**

MATERIAL DESCRIPTION				HOLE 1 (mm)	HOLE 2 (mm)	HOLE 3 (mm)
HORIZON	UNIFIED SYMBOL	CONSISTENCY	MOISTURE STATE	SOIL DESCRIPTION		
FILL	-	Moderately compacted	Dry to Moist	0 - 100	0 - 200	-
A	(ML)	Firm	Dry	100 - 400	-	-
B	(CH)	Very Stiff	Dry to Moist	400 - 1200	200 - 1000	-
Refusal on rock* / floaters at all BH				Refusal Rock/ Floater	Refusal Rock/ Floater	

EOH = End of Hole

ALLOWABLE BEARING CAPACITIES*:

A HORIZON - 50 kPa (when well drained)

*(when well drained)

B HORIZON CLAY - 100 kPa @ 100 (mm) penetration and 250 kPa @ 600 (mm) penetration

* 250kPa at 100mm into/ onto impenetrable natural rock/ closely packed floaters

ADDITIONAL NOTES:

Tree removal nearby site

Groundwater and Soil Soils. The presence of ground water with surface soils may lead to construction difficulties during wet weather. Soils with a high silt content lose strength with ingress of moisture. Most soils with a highly expansive clay content will swell when wet and later shrink as they dry. Refer AS2870-2011 Appendix B, section B2.1. Construction of footings where there is free water must be avoided.

Surface Drainage. Attention to the site grading/drainage will be required from the start of site preparation and construction. The site should be graded and drained so that water cannot pond against the footings. The ground surface adjacent to the footings shall be graded at a uniform fall of 1:20 away from the footings. This shall be done as soon as footing construction has been completed. During construction, water run-off shall be collected and channelled away from the building. Refer AS2870-2011 clauses 5.2.1, 5.6.3 & 6.6.

Sub-Surface Drainage. Sub-surface drains such as agricultural drains shall be placed no closer than 1500mm from the building perimeter unless designed in accordance with engineering principles and shall be connected to a legal point of discharge via silt pits and stormwater drains as necessary. Refer AS2870-2011 section 5.6.3.

Undermining and Destabilising of Footings. Care shall be made not to cause damage to the structure by excavating too close to the footings. An angle of repose (soil at rest) is recommended as 30° in sand, and at 45° in clay, unless specifically tested.

Care of Footings prior to the Pour of Concrete. It is recommended that footing excavations are kept dewatered and clean prior to the concrete pour. Excavations open for a length of time during dry weather, can have an adverse effect of the foundations. Refer AS2870-2011 clauses 6.5.2(d) and 6.6(e).

Location and Backfilling of Service Trenches. Where CLAY soils are present it is recommended that service trenches (sewer and stormwater) are located as far away from the building as practically possible to eliminate the potential of inundation of moisture to the trench and soil swelling. Trenches shall be backfilled with compacted clay or a clay plug used to prevent water from flowing close to or under the residence. Porous material such as gravel, sand, crushed rock, screenings, or building rubble is not to be used. Refer AS2870-2011 clause 6.6(d).

Construction of the dwelling

Articulation. Brick growth or foundation movement may be a cause of visible cracks in buildings or brickwork. Therefore, it is important to provide full heights openings (doors and windows) or construction articulation joints at suitable spacings. The design Engineer shall make reference to AS4773 and Technical Note 61 from The Cement and Concrete Association of Australia. Refer Commentary to AS2870-2011 clause C5.6.1. It is recommended that articulation be specified by the design Engineer. All articulation joints shall be constructed in accordance with AS4773 and shall have any mortar cleaned out of the articulation joint prior to caulking.

Roof drainage (guttering and downpipes) should be connected to a legal point of discharge as soon as the roof is constructed. The use of flexible piping may be considered as a temporary measure.

Concrete Shrinkage Cracking. Surface cracking (known as Plastic Shrinkage Cracks) of concrete slabs is a common and expected occurrence as concrete cures. This cracking has no effect on the long-term structural integrity or performance of the slab. However, it may cause cracking in brittle floor tiles, and therefore the laying of floor tiles should be delayed as long as practicable and the use of flexible adhesives is required. Refer AS2870-2011 Appendix B, section B4.

Plumbing Requirements (Highly and extremely reactive clay sites). The building shall be provided with a system of plumbing detailed in accordance with AS2870-2011, Section 5.6.4.

Vibration of Concrete Footings. Concrete in beams shall be mechanically vibrated at time of concrete pour. Refer AS2870-2011, clause 6.6 (ii).

Long-term foundation maintenance

Owners should be aware of their obligations in relation to the maintenance of the building and site as per AS2870-2011 Appendix A.

The moisture conditions around the residence should be kept even on clay sites. Concrete slabs and footings require the following attention:

- (a) Good drainage of the site (including the above-mentioned sections 5.2, 5.3, 5.6.3, 5.6.4 and 6.6). Refer AS2870-2011, Appendix B, clause B2.3(a).
- (b) Restrictions on trees and shrubs should be considered. As a general rule do not plant trees within a distance from the building that equates to their mature height. Owners should seek advice from a suitably qualified arborist to ensure that appropriate species are planted. Refer AS2870-2011 Appendix B, clause B2.3(c).
- (c) Care shall be taken to avoid overwatering of gardens close to the building footings. Refer AS2870-2011 Appendix B, clause B2.3(b).
- (d) Garden beds directly adjacent to the residence should be avoided as they often have loose soil at the surface promoting ingress of water. Refer AS2870-2011, Appendix B clause B2.3(b).
- (e) Plumbing leaks and leaking taps shall be repaired promptly. DO NOT allow leaking taps or the overflow from hot water services and air conditioning units to discharge adjacent to the house footings. Refer AS2870-2011 Appendix B, clause B2.3(d).
- (f) Do not overload existing storm-water pipes by connecting additional drainage to existing systems e.g. from an owner adding an additional pergola roof. Note that any connections to or adjustments to the existing stormwater drainage system should only be carried out by a Licensed plumber.

We refer to the following websites; www.publish.csiro.au where the Foundation Maintenance and Footing Performance: A Homeowner's Guide is published and The Building Commission Document: How to Protect Your House.

Concrete paving installed around the entire perimeter of dwelling can help to stabilise the moisture conditions of the foundation soils. Any concrete paving, paths or impermeable barriers installed (and the ground on which they are laid) should slope away from the building and be separated from the structure with a layer of Bituminous Caneite or "Ableflex". Appropriate drainage needs to be considered.

What to do if Different Site Conditions are Encountered Post Site Investigation.

The soil colours provided on the bore logs may vary with moisture content and individual interpretation; therefore, colour alone should not be used to identify these materials. A simple test comparing moist and dry soils could be performed.

Recommendations in this report may vary if site conditions alter following our initial site investigation. Examples of change that may occur are:

- a. Significant earthworks (cutting or filling) of greater than 400mm
- b. Nearby construction
- c. Flooding / erosion
- d. Planting / removal of trees

GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT

If any of these occur, *Structerre* should be contacted to determine if this report remains valid.

Even the most experienced practitioner cannot predict what may be hidden by soil, rock or water. Therefore any variations or discrepancies in soil type, colour, or horizon depth must be reported to this office immediately, so their potential influence on the footings may be assessed.

Beyond the scope of this report

This report does not include;

A contaminated Site Assessment

Investigations of saline and acid sulphate conditions

Agricultural testing (nutrients of the soil)

Hydrology of the site

An in-depth historical study of the site showing past land uses and topography e.g. trees, wells, gullies.

Abnormal moisture conditions where there is no indication of differences across the site physically (existing structures, trees, dams, springs, creeks) or by visual / tactile assessment. Contact this office for methodology for sampling of soils to determine differences of moisture content across the site.

Slope Stability. Whilst due diligence has been exercised to assess the suitability of the site's ground conditions for the proposed construction, assessment of slope stability is not included in this commission. A suitably qualified and experienced person should be engaged to undertake a slope stability assessment if necessary.

General requirements and guidelines

This report assumes that appropriate site drainage, paving, and landscaping will have be implemented as soon as possible to ensure the satisfactory long-term performance of the footings systems.

Distress (or damage) of a structure to varying degrees can be expected throughout the life of a dwelling. Distress commonly occurs in dwellings founded on clay as a result of differential movement as one portion of the dwelling moves relative to the other areas. It is often observed in the form of cracking to external brickwork and internal plaster walls. Hairline and cracks up to 1mm wide can be expected in most structures, and cracks up to 5mm may not be serious but should be investigated. Refer AS2870-2011 Appendix B sections B3 and B4. Buildings subjected to abnormal moisture conditions have a higher probability of damage occurring.

The Borehole Site Plan is not-to-scale and shows approximate locations of features (boreholes and any particular observed site features such as trees). Slope direction and magnitude is an indicative guide only and shall not be used for design purposes. Refer to Levels Survey for site levels.

To avoid misinterpretation by other parties using this report and costly problems which may occur as a result, we commend that *Structerre Consulting Engineers* be retained to provide engineering designs based on this report.

Copyright

This report has been prepared specifically for the site owner for the sole purpose of providing a site classification for the nominated proposed structure.

This report is copyright to *Structerre Consulting Engineers*. The client for any third party shall use no part or whole of this report for any other purpose without the prior written consent of *Structerre*. The site owner is defined as the person or persons named on the front cover of this report or the person or persons for whom the named building company is acting as agent.

This report must not be reproduced, except in full and with the written approval of *Structerre Consulting Engineers*.

Limitations

The recommendations made in this report are based on the assumption that the test results are representative of the overall subsurface conditions. Should excavations reveal variations from the soil conditions indicated in the report, our office should be notified immediately before proceeding any further as the site classification may need revising and modifications to the design may be required. Furthermore, should we be provided with additional information that affects the site classification, after this report has been issued, an additional fee may be charged to revise and reissue our report.

Reference

AS2870-2011 "Residential Slabs and Footings"

SAA HB 28 – 1997 "The Design of Residential Slabs and Footings"

CSIRO "Plant Roots in Drains – Prevention and Cure" (Sheet BT17)

AS4055 – 2012 "Wind Loading for Housing"

AS1289 & AS1726

The Geomechanics Society and Institute of Engineers Australia.

HEDRA (Housing Engineering Design and Research Association) – Understanding soils, trees and how they affect your house.


WA | QLD | NSW | VIC

Ground Floor, Building 2, 630 Mitcham Road, Mitcham, Victoria 3132

Phone (+613) 8872 6999 | Fax (+613) 9873 2777 | Email melbourne@structerre.com.au | Web www.structerre.com.au

ABN 32 155 811 957 Structerre Consulting Engineers (VIC) Pty Ltd. ACN 155 811 957 trading as Love & Associates, Structural Works, Surveying Works and Structerre Consulting Engineers

File Version: SE AUST Site classification Template V1-11.doc

 GROUP FOUR CERTIFICATE OF COMPLIANCE FOR PROPOSED BUILDING WORK BUILDING SURVEYORS
This certificate is issued for: BUILDING PERMIT
Relevant Building Surveyor: Number: 2017118337257 Post Address: Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099) Designated Building Surveyor: David Madeira (BS-U 27484)

CERTIFICATE OF COMPLIANCE FOR PROPOSED BUILDING WORK

This certificate is issued in relation to the proposed building work at:

Number: Street/Road: Antares Parade
Lot: 31438 Suburb/Town: Kalkallo

Nature of proposed building work:

Construction of a New Building

Building Classification:

Part of Building: BCA Class 1a: Dwelling
Part of Building: BCA Class 10a: Private Garages

Prescribed class of building work for which this certificate is issued:

Design or part of the design of building work relating to a structural matter.

Documents setting out the design that is certified by this certificate:

Drawings: As nominated on the Sheet Index, Drawing Sheet S-000, Rev: 0 Job No.130054 Dated: 03/08/20
Prepared by Structerre Consulting

Computations: Prepared by Structerre Consulting Job No.130054 Dated: 03/08/20

Other documents relied on in preparation of the design that is certified by this certificate:

Soil Report: Prepared by Structerre Consulting No. 130054 Dated: 25/01/20
Surface Drainage: Prepared by Homebuyers Centre No. 40821 Dated: 29/07/20

The design certified by this certificate complies with the following provisions of Building Act 1993, Building Regulations 2018 or National Construction Code.

Part 3.0, 3.2 & 3.4 of the NCC 2019 including relevant Australian Standards;

AS/NZ 1170.0-2002	AS/NZ 1170.1-2002	AS/NZ 1170.2-2011	AS 4100-1998	AS 4055-2012
AS 2870-2011	AS1684.4-2010	AS 1684.2-2010	AS 1720.1-2010	AS 3600-2018
AS 3700-2018	AS 4773.1-2015	AS 4678-2002	AS 4773.2-2015	

I prepared the design, or part of the design, set out in the documents listed above.

I certify that the design set out in the documents listed above complies with the provisions set out above.

I believe that I hold the required skills, experience and knowledge to issue this certificate and can demonstrate this if requested to do so.

Engineer:

Name: Gervase Purich
Address: Ground Floor, Building 2,
No.630 Mitcham Road, Mitcham Vic, 3132
Email: melbourne@structerre.com.au
Building practitioner registration
Category and class: Engineer - Civil
Building practitioner registration no.: EC46702
Date of issue of certificate: 03/08/20
Signature:





BUILDING SURVEYORS

BUILDING PERMIT

Number : 2017118337257

Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)

Designated Building Surveyor: David Madeira (BS-U 27484)

Issued on 22/10/2020

Job No. 130054

Date: 03/08/20

STRUCTURAL COMPUTATIONS

PROJECT

CONSTRUCTION OF A NEW BUILDING

CLIENT

HOMEBUYERS CENTRE

email: hcmc@strucsterre.com.au



Mark : 1B1 **BUILDING SURVEYORS**
BUILDING PERMIT

Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
Designated Building Surveyor: David Madeira (BS-U 27484)
Issued on 24/09/2020

Tray 300x75 LVL Hyspan for length = 950 4350 950
Number of Trays = 1833/25
Structural Category = 1
CSA = 22500 mm² $F_b = 0.00$ MPa
 $Z_{xx} = 1126.0 \times 10^3$ mm³ $E = 13200.00$ MPa
 $I_{xx} = 168.8 \times 10^6$ mm⁴ $J_2 = 2$

GRAVITY/VERTICAL LOADS

Applied Loads

LC	TYPE	MAGNITUDE	LOCATION	f/f
A	U	SW 'self weight	0	

COMBINATION FACTORS

DL

DL x **1.35**

LL x -

Note : LC that can be applied to other members are in bold

X-Axis Actions / Design check results

Critical Combination for Strength is DL

LIMIT STATE DESIGN

	DL
K_1	0.57
Max Internal Actions	
Axial(kN)(-ve = comp)	0.00
Shear (kN)	0.44
Neg Moment(kN.m)	-0.28
Pos Moment(kN.m)	0.20
f/f Shear	0.01
f/f Moment	0.02
f/f Support Bearing	0.04 {R3}
f/f Support Crushing	0.05 {R3}
Deflect. (mm)	0.2 [2]
Deflect. Ratio L/d	>1000 [2]

Reactions

R1 Force(kN)- Left	-0.20
R2 Force(kN)	0.83
R3 Force(kN)	0.83
R4 Force(kN)- Right	-0.20
Sum of Reactions	(1.26 kN)

[] = Span Number { } = Reaction Number () Sum of Reactions

* = Short term deflection only

LATERAL/HORIZONTAL LOADS

UDL List (kPa)

USER : User defined UDL = 0 0 0 0.9

Applied Loads

LC	TYPE	MAGNITUDE	LOCATION	f/f
A	U	2.85*[USER]	0	

COMBINATION FACTORS

DL DL+WLat1

DL x **1.35** 0.80

LL x - 0.96 (0.41)

Note : LC that can be applied to other members are in bold

Values in () are the serviceability combination factors

Y-Axis Actions / Design check results

Critical Combination for Strength is DL+WLat1

LIMIT STATE DESIGN

	DL	DL+WLat1
K_1	0.57	1.00
Max Internal Actions		
Axial(kN)(-ve = comp)	0.00	0.00
Shear (kN)	0.00	-5.36
Neg Moment(kN.m)	0.00	-3.43
Pos Moment(kN.m)	0.00	2.40
f/f Shear	--	0.08
f/f Moment	--	0.31
f/f Support Bearing	--	0.26 {R3}
f/f Support Crushing	--	0.34 {R3}
Deflect. (mm)	0.0	10 [2]*
Deflect. Ratio L/d	0	419 [2]

Reactions

R1 Force(kN)- Left	0.00	-2.44
R2 Force(kN)	0.00	10.1
R3 Force(kN)	0.00	10.1
R4 Force(kN)- Right	0.00	-2.43
Sum of Reactions	(0.00 kN)	(15.4 kN)

[] = Span Number { } = Reaction Number () Sum of Reactions

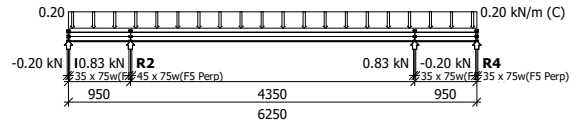
* = Short term deflection only

ADOPT : 300x75 LVL Hyspan for 1B1

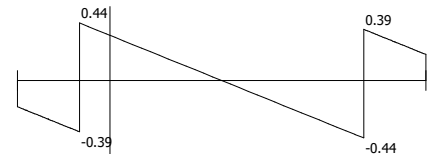
NOTES

(Design Spans = 950 4350 950 (6250 mm continuous))

DL about the X-X Axis

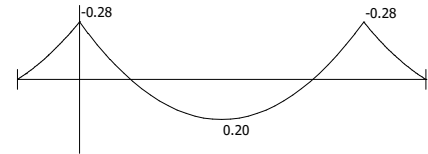


Shear (kN)



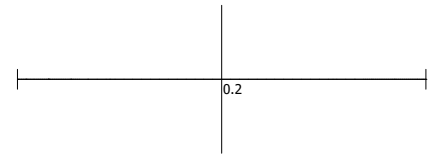
f/f = 0.01 @ 1418

Moment (kN.m)



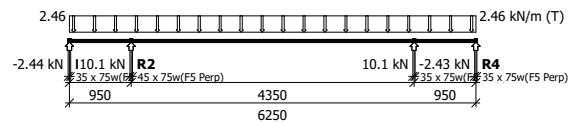
f/f = 0.02 @ 950

Deflection (mm)

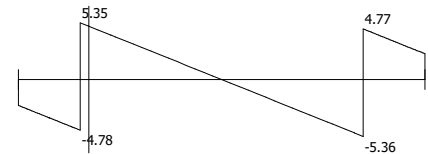


δ/Δ = 0.01 @ 3125 (x10)

DL+WLat1 about the Y-Y Axis

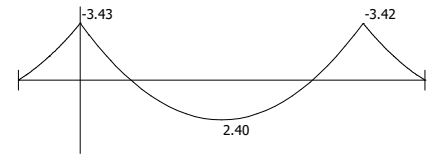


Shear (kN)



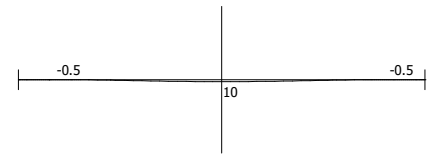
f/f = 0.08 @ 1084

Moment (kN.m)



f/f = 0.31 @ 950

Deflection (mm)



δ/Δ = 0.52 @ 3125 (x10)

email: hcmc@strucsterre.com.au



Mark : 1B2 beam

BUILDING SURVEYORS

BUILDING PERMIT

Try 2/300x45 LVL Hyspan for length = 1100

Structural Category = 1

Number : 2017118337257

Section Properties

Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)

Designated Building Surveyor: David Madara (BCU 27484)

Issued on 22/10/2020

GRAVITY/VERTICAL LOADS

UDL List (kPa)	DL	RLL	FLL
UDL2 : UDL list 2 =	0.5	0	1.5
USER : User defined UDL =	0.35	0	0

Applied Loads

LC	TYPE	MAGNITUDE	LOCATION	#/F
A	U	SW 'self weight	0	
A	U	0.225*[UDL2]	0	
A	U	3*[USER]	0	

COMBINATION FACTORS

DL	DL+FLL
DL x 1.35	1.20
LL x 1.50	(1.00)

Note : LC that can be applied to other members are in bold
Values in () are the serviceability combination factors

X-Axis Actions / Design check results

Critical Combination for Strength is DL

LIMIT STATE DESIGN

	DL	DL+FLL
K_1	0.57	0.80

Max Internal Actions

Axial(kN)-ve = comp)	0.00	0.00
Shear (kN)	-0.93	-1.10
Neg Moment(kN.m)	0.00	0.00
Pos Moment(kN.m)	0.26	0.30
f/F Shear	0.01	0.01
f/F Moment	0.02	0.02
f/F Support Bearing	0.07 {R2}	0.06 {R1}
f/F Support Crushing	0.09 {R1}	0.08 {R1}
Deflect. (mm)	0.0	0.0
Deflect. Ratio L/d	>1000	0

Reactions

R1 Force(kN)- Left	0.93	1.10
R2 Force(kN)- Right	0.93	1.10
Sum of Reactions	(1.86 kN)	(2.21 kN)

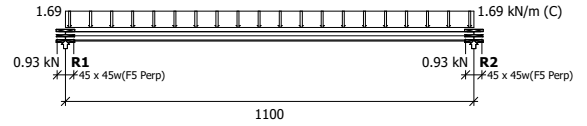
[] = Span Number () = Reaction Number () Sum of Reactions
* = Short term deflection only

ADOPT : 300x45 LVL Hyspan for 1B2

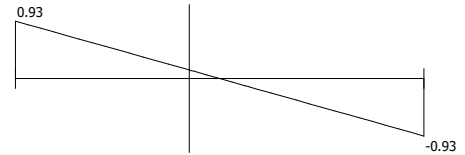
NOTES

(Design Span = 1100 mm.)

DL about the X-X Axis

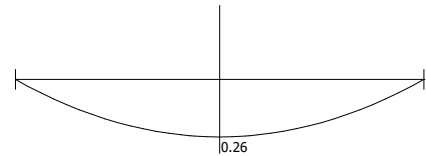


Shear (kN)



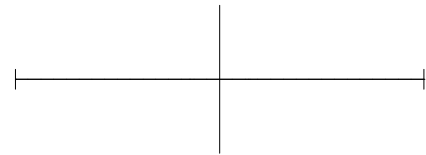
f/F = 0.01 @ 468

Moment (kN.m)



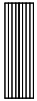
f/F = 0.02 @ 550

Deflection (mm)



$\delta/\Delta = 0.00 @ 550 (x10)$

Mark : 1B3 beam



Try 2/300x45 LVL Hyspan for length = 3400

Structural Category = 1

Section Properties

CSA = 13500 mm ²	$F_u = 0.00$ MPa
$Z_{xx} = 675.0 \times 10^3$ mm ³	$E = 13200.00$ MPa
$I_{xx} = 101.2 \times 10^6$ mm ⁴	$J_2 = 2$

GRAVITY/VERTICAL LOADS

UDL List (kPa)	DL	RLL	FLL
UDL2 : UDL list 2 =	0.5	0	1.5
USER : User defined UDL =	0.35	0	0

Applied Loads

LC	TYPE	MAGNITUDE	LOCATION	#/F
A	U	SW 'self weight	0	
A	U	(2.85 2.85 2.3 2.3)*[UDL2]	0 1500 1500	
A	P	R>11B2	1500	
A	U	3*[USER]	0	

COMBINATION FACTORS

DL	DL+FLL
DL x 1.35	1.20
LL x 1.50	(1.00)

Note : LC that can be applied to other members are in bold
Values in () are the serviceability combination factors

X-Axis Actions / Design check results

Critical Combination for Strength is DL+FLL

LIMIT STATE DESIGN

	DL	DL+FLL
K_1	0.57	0.80

Max Internal Actions

Axial(kN)-ve = comp)	0.00	0.00
Shear (kN)	6.41	16.1
Neg Moment(kN.m)	0.00	0.00
Pos Moment(kN.m)	5.59	13.3
f/F Shear	0.11	0.18
f/F Moment	0.21	0.33
f/F Support Bearing	0.12 {R1}	0.22 {R1}
f/F Support Crushing	0.16 {R1}	0.29 {R1}
Deflect. (mm)	3.7	2.5*
Deflect. Ratio L/d	929	>1000

Reactions

R1 Force(kN)- Left	6.41	16.1
R2 Force(kN)- Right	5.99	14.7
Sum of Reactions	(12.4 kN)	(30.8 kN)

[] = Span Number () = Reaction Number () Sum of Reactions
* = Short term deflection only

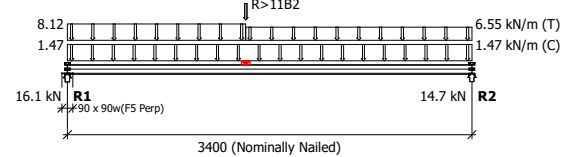
Bearing checks at support(s) 2 have not been carried out (Bearing data not set)

ADOPT : 2/300x45 LVL Hyspan for 1B3

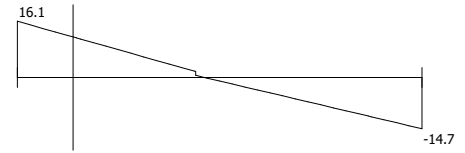
NOTES

(Design Span = 3400 mm.)

DL+FLL about the X-X Axis

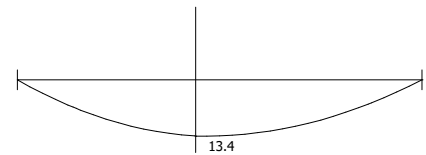


Shear (kN)



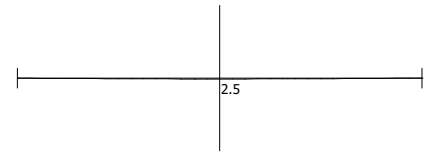
f/F = 0.18 @ 468

Moment (kN.m)



f/F = 0.33 @ 1500

Deflection (mm)



$\delta/\Delta = 0.28 @ 1700 (x10)$

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Mark : 1B4 beam

BUILDING SURVEYORS

BUILDING PERMIT

Try 2/360x45 LVL Hyspan for length = 2100
Structural Category = 1
Number : 2017118337257
Section Properties
Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
Designated Building Surveyor: David Madara (BCU 27484)
Issued on 22/10/2020

GRAVITY/VERTICAL LOADS

UDL List (kPa)	DL	RLL
USER : User defined UDL =	0.75	0
UDL1 : UDL list 1 =	0.45	0.25

Applied Loads

LC	TYPE	MAGNITUDE	LOCATION	#/F
A	U	SW 'self weight	0	
A	U	0.7*[USER]	0	
A	U	0.6*[UDL1]	0	

COMBINATION FACTORS

DL	DL+RLL
DL x 1.35	1.20
LL x 1.50	(1.00)

Note : LC that can be applied to other members are in bold
Values in () are the serviceability combination factors

X-Axis Actions / Design check results

Critical Combination for Strength is DL

LIMIT STATE DESIGN

	DL	DL+RLL
K_1	0.57	0.94

Max Internal Actions

Axial(kN)[-ve = comp]	0.00	0.00
Shear (kN)	-1.25	-1.35
Neg Moment(kN.m)	0.00	0.00
Pos Moment(kN.m)	0.66	0.71
f/F Shear	0.03	0.02
f/F Moment	0.07	0.05
f/F Support Bearing	0.10 {R1}	0.06 {R1}
f/F Support Crushing	0.13 {R1}	0.08 {R1}
Deflect. (mm)	0.3	0.0*
Deflect. Ratio L/d	>1000	>1000

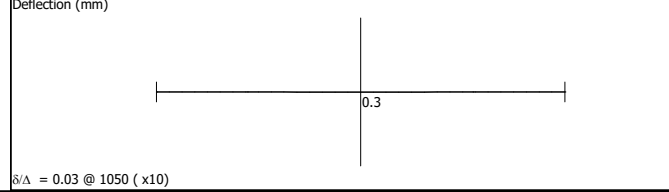
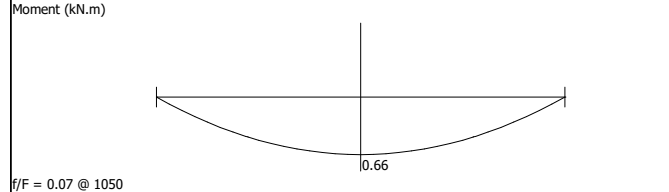
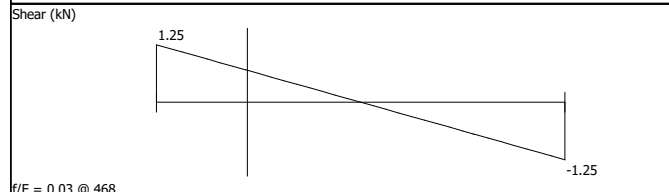
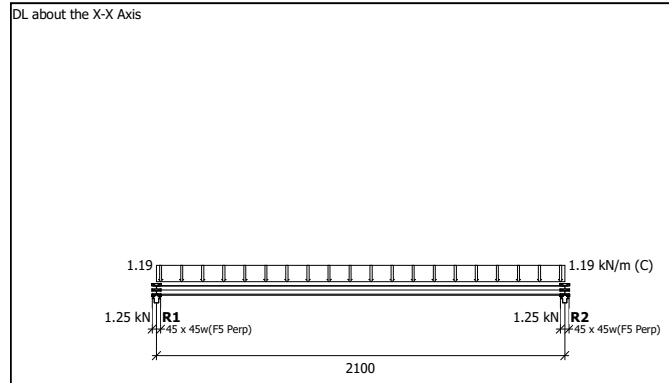
Reactions

R1 Force(kN)- Left	1.25	1.35
R2 Force(kN)- Right	1.25	1.35
Sum of Reactions	(2.51 kN)	(2.70 kN)

[] = Span Number () = Reaction Number () Sum of Reactions
* = Short term deflection only

ADOPT : 300x45 LVL Hyspan for 1B4

NOTES
(Design Span = 2100 mm.)



Mark : 1L1 LINTEL

Try 2/360x45 LVL Hyspan for length = 4900
Structural Category = 1

Section Properties

CSA = 16200 mm ²	$F_u = 0.00$ MPa
$Z_{xx} = 972.0 \times 10^3$ mm ³	$E = 13200.00$ MPa
$I_{xx} = 175.0 \times 10^6$ mm ⁴	$J_2 = 2$

GRAVITY/VERTICAL LOADS

UDL List (kPa)	DL	RLL
UDL1 : UDL list 1 =	0.45	0.25
USER : User defined UDL =	0.75	0

Applied Loads

LC	TYPE	MAGNITUDE	LOCATION	#/F
A	U	SW 'self weight	0	
A	U	3.2*[UDL1]	0	
A	U	1.0*[USER]	0	

COMBINATION FACTORS

DL	DL+RLL
DL x 1.35	1.20
LL x 1.50	(1.00)

Note : LC that can be applied to other members are in bold
Values in () are the serviceability combination factors

X-Axis Actions / Design check results

Critical Combination for Strength is DL

LIMIT STATE DESIGN

	DL	DL+RLL
K_1	0.57	0.94

Max Internal Actions

Axial(kN)[-ve = comp]	0.00	0.00
Shear (kN)	-7.95	-10.0
Neg Moment(kN.m)	0.00	0.00
Pos Moment(kN.m)	9.74	12.3
f/F Shear	0.11	0.09
f/F Moment	0.33	0.25
f/F Support Bearing	0.30 {R1}	0.23 {R1}
f/F Support Crushing	0.41 {R1}	0.31 {R1}
Deflect. (mm)	7.8	1.3*
Deflect. Ratio L/d	626	>1000

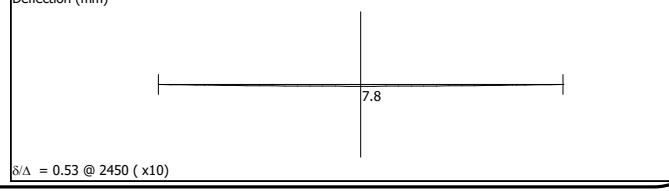
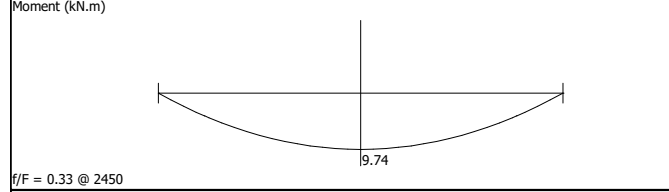
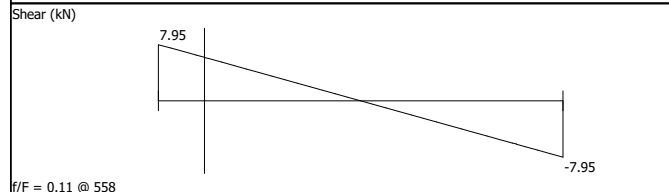
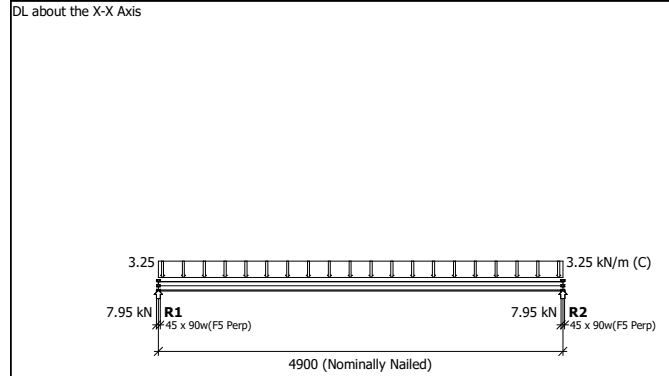
Reactions

R1 Force(kN)- Left	7.95	10.0
R2 Force(kN)- Right	7.95	10.0
Sum of Reactions	(15.9 kN)	(20.0 kN)

[] = Span Number () = Reaction Number () Sum of Reactions
* = Short term deflection only

ADOPT : 2/360x45 LVL Hyspan for 1L1

NOTES
(Design Span = 4900 mm.)



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Mark : 1L2 LINTEL

BUILDING SURVEYORS

BUILDING PERMIT

Try 2/240x45 LVL Hyspan for length = 750
Structural Category = 1
Number : 2017118337257
Section Properties
Issued by Group of Building Surveyors Pty Ltd (CBS-U 58099)
Designated Building Surveyor: David Madara (BCU 27484)
Issued on 22/10/2020

GRAVITY/VERTICAL LOADS

UDL List (kPa)	DL	RL	FLL
USER : User defined UDL =	0.75	0	0
UDL2 : UDL list 2 =	0.5	0	1.5

Applied Loads

LC	TYPE	MAGNITUDE	LOCATION	f/F
A	U	SW self weight	0	
A	U	3.3*[USER]	0	
A	U	2.3*[UDL2]	0	

COMBINATION FACTORS

DL	DL+FLL
DL x 1.35	1.20
LL x -	1.50 (1.00)

Note : LC that can be applied to other members are in bold
Values in () are the serviceability combination factors

X-Axis Actions / Design check results

Critical Combination for Strength is DL+FLL

LIMIT STATE DESIGN

	DL	DL+FLL
K_1	0.57	0.80

Max Internal Actions

Axial(kN)(-ve = comp)	0.00	0.00
Shear (kN)	-1.85	-3.59
Neg Moment(kN.m)	0.00	0.00
Pos Moment(kN.m)	0.35	0.67
f/F Shear	0.08	0.11
f/F Moment	0.11	0.15
f/F Support Bearing	0.14 {R1}	0.19 {R1}
f/F Support Crushing	0.19 {R1}	0.26 {R1}
Deflect. (mm)	0.3	0.1*
Deflect. Ratio L/d	>1000	>1000

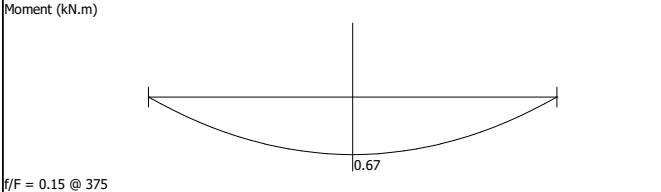
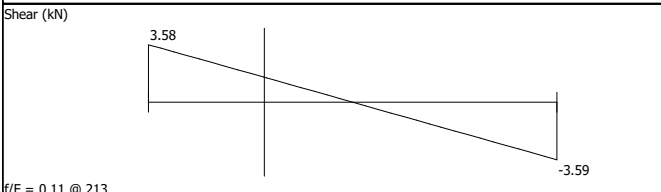
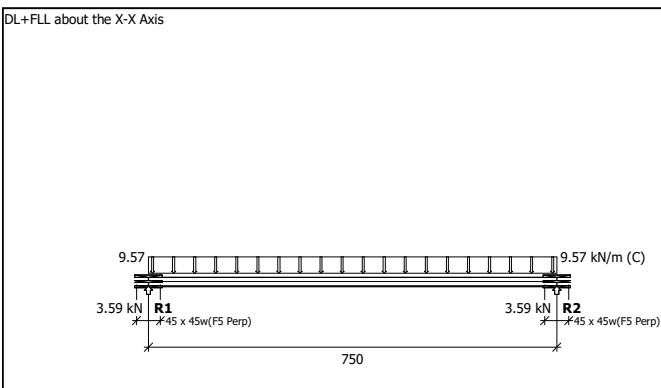
Reactions

R1 Force(kN)- Left	1.85	3.59
R2 Force(kN)- Right	1.85	3.59
Sum of Reactions	(3.71 kN)	(7.18 kN)

[] = Span Number () = Reaction Number () Sum of Reactions
* = Short term deflection only

ADOPT : 130x45 LVL Hyspan for 1L2

NOTES
(Design Span = 750 mm.)



Mark : 1L3 LINTEL

Try 2/240x45 LVL Hyspan for length = 2500
Structural Category = 1

Section Properties

CSA = 10800 mm ²	$F_u = 0.00$ MPa
$Z_{xx} = 432.0 \times 10^3$ mm ³	$E = 13200.00$ MPa
$I_{xx} = 51.8 \times 10^6$ mm ⁴	$J_2 = 2$

GRAVITY/VERTICAL LOADS

UDL List (kPa)	DL	RL	FLL
USER : User defined UDL =	0.75	0	0
UDL2 : UDL list 2 =	0.5	0	1.5
UDL1 : UDL list 1 =	0.45	0.25	0

Applied Loads

LC	TYPE	MAGNITUDE	LOCATION	f/F
A	U	SW self weight	0	
A	U	3.1*[USER]	0	
A	U	0.225*[UDL2]	0	
A	U	5.5*[UDL1]	0.350 1800	
A	P	R>1ON_1L3	350	
A	P	R>2ON_1L3	1800	

COMBINATION FACTORS

DL	DL+RL	DL+FLL
DL x 1.35	1.20	1.20
LL x -	1.50 (1.00)	1.50 (1.00)

Note : LC that can be applied to other members are in bold
Values in () are the serviceability combination factors

X-Axis Actions / Design check results

Critical Combination for Strength is DL

LIMIT STATE DESIGN

	DL	DL+RL	DL+FLL
K_1	0.57	0.94	0.80

Max Internal Actions

Axial(kN)(-ve = comp)	0.00	0.00	0.00
Shear (kN)	12.1	14.6	11.4
Neg Moment(kN.m)	0.00	0.00	0.00
Pos Moment(kN.m)	6.30	7.45	5.97
f/F Shear	0.24	0.17	0.16
f/F Moment	0.31	0.22	0.21
f/F Support Bearing	0.23 {R1}	0.17 {R1}	0.15 {R1}
f/F Support Crushing	0.31 {R1}	0.23 {R1}	0.21 {R1}
Deflect. (mm)	4.6	0.6*	0.1*
Deflect. Ratio L/d	542	>1000	>1000

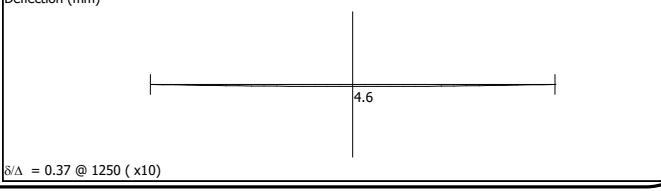
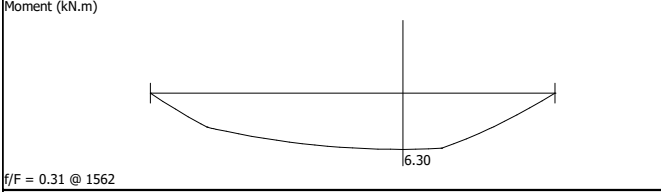
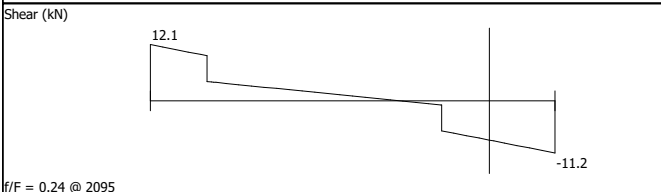
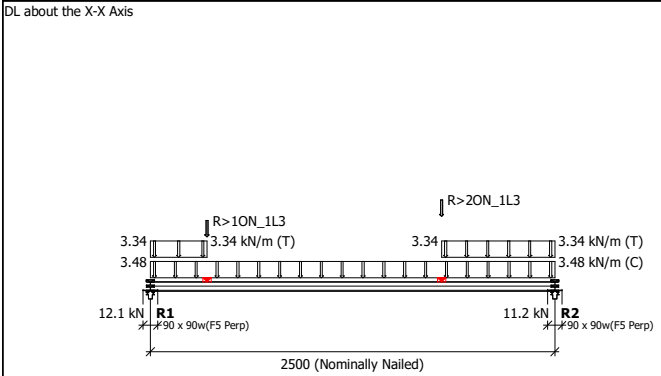
Reactions

R1 Force(kN)- Left	12.1	14.6	11.4
R2 Force(kN)- Right	11.2	13.5	10.6
Sum of Reactions	(23.3 kN)	(28.1 kN)	(22.0 kN)

[] = Span Number () = Reaction Number () Sum of Reactions
* = Short term deflection only

ADOPT : 2/240x45 LVL Hyspan for 1L3

NOTES
(Design Span = 2500 mm.)



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Mark : 1L4 LINTEL BUILDING SURVEYORS

Trussing LVL NYSpan for length = 1450

Structural Category = C

Number : 2017118337257

Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)

Designated Building Surveyor: David Madara (BCU 27484)

Issued on 22/10/2020

GRAVITY/VERTICAL LOADS

UDL List (kPa)	DL	RLL	FLL
USER : User defined UDL =	0.75	0	0
UDL2 : UDL list 2 =	0.5	0	1.5
UDL1 : UDL list 1 =	0.45	0.25	0

Applied Loads

LC	TYPE	MAGNITUDE	LOCATION	#/F
A	U	SW 'self weight	0	
A	U	4.3*[USER]	0	
A	U	0.225*[UDL2]	0	
A	U	5.2*[UDL1]	0 400 1250	
A	P	R>1ON_1L4	400	
A	P	R>2ON_1L4	1250	
A	P	R>11B3	750	
A	U	0.6*[UDL1]	0	

COMBINATION FACTORS

DL	DL+RLL	DL+FLL
DL x 1.35	1.20	1.20
LL x -	1.50 (1.00)	1.50 (1.00)

Note : LC that can be applied to other members are in bold
Values in () are the serviceability combination factors

X-Axis Actions / Design check results

Critical Combination for Strength is DL+FLL

LIMIT STATE DESIGN

	DL	DL+RLL	DL+FLL
K₁	0.57	0.94	0.80
Max Internal Actions			
Axial(kN)(-ve = comp)	0.00	0.00	0.00
Shear (kN)	-10.1	-10.7	-14.7
Neg Moment(kN.m)	0.00	0.00	0.00
Pos Moment(kN.m)	4.40	4.36	7.81
f/F Shear	0.47	0.30	0.55
f/F Moment	0.71	0.43	0.88
f/F Support Bearing	0.38 (R2)	0.25 (R2)	0.40 (R2)
f/F Support Crushing	0.51 (R2)	0.33 (R2)	0.53 (R2)
Deflect. (mm)	3.3	0.2*	1.2*
Deflect. Ratio L/d	437	>1000	>1000

Reactions

	R1	R2	Sum of Reactions
R1 Force(kN)- Left	9.64	10.3	14.0
R2 Force(kN)- Right	10.1	10.7	14.7
Sum of Reactions	(19.7 kN)	(21.0 kN)	(28.7 kN)

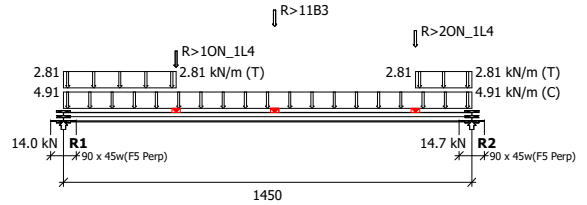
[] = Span Number { } = Reaction Number () Sum of Reactions
* = Short term deflection only

ADOPT : 200x45 LVL Hyspan for 1L4

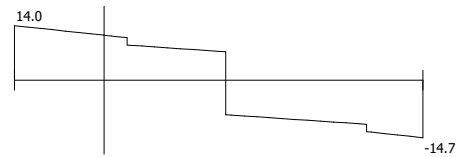
NOTES

(Design Span = 1450 mm.)

DL+FLL about the X-X Axis

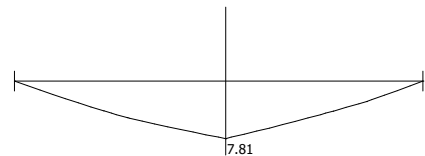


Shear (kN)



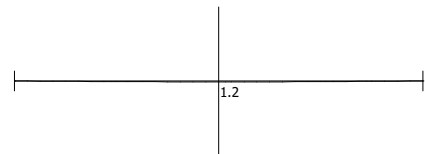
f/F = 0.55 @ 318

Moment (kN.m)



f/F = 0.88 @ 750

Deflection (mm)



δ/Δ = 0.13 @ 725 (x10)

 GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT
Number: 2017118337257
Issued by Group Four Building Surveyors Pty Ltd (CBS-0 66019)
Designated Building Surveyor: David Madeira (GS-0 27484)
Issued on 22/10/2020

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SHEET INDEX	
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S-200	FOOTING & SLAB DETAILS - SHEET 1
S-201	FOOTING & SLAB DETAILS - SHEET 2
S-202	FOOTING & SLAB DETAILS - SHEET 3
S-203	FOOTING & SLAB DETAILS - SHEET 4
S-300	FIRST FLOOR FRAMING PLAN
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S-401	FRAMING DETAILS - SHEET 2

FOR CONSTRUCTION
SUBJECT TO APPROVAL BY THE
RELEVANT BUILDING SURVEYOR
OR STATUTORY AUTHORITY.

APPROVED GERVASE PURICH CIVIL ENGINEER RBP. EC46702	CLIENT HOMEBUYERS CENTRE OCTAVE 18 - FACADE 2 CLIENT JOB NO.40821	SHEET COVER SHEET	PROJECT ADDRESS LOT 31438, ANTARES PARADE, KALKALLO		DESIGN BY PTC	REVISION 0	PROJECT NO. 130054
					CHECKED CB	DATE 03/08/20	SHEET NO. S-000

GENERAL NOTES:

- G1. IT IS THE RESPONSIBILITY OF THE CLIENT IN CONSULTATION WITH THEIR BUILDER TO CHECK AND VERIFY THE BUILDABILITY OF THE DESIGN AS PRESENTED AND REFER ANY CONCERNS BACK TO THE ENGINEER PRIOR TO CONSTRUCTION. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. IT IS ASSUMED THAT THE USER OF THESE DETAILS HAS A LEVEL OF COMPETENCE AND ADEQUATE KNOWLEDGE TO UNDERSTAND AND EXECUTE THE WORKS. PLEASE CONTACT THIS OFFICE FOR FURTHER ADVICE IF REQUIRED.
- G2. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL & OTHER CONSULTANTS DRAWINGS & SPECIFICATIONS. ANY DISCREPANCIES OR WRITTEN INSTRUCTIONS AS MAY BE REFERRED TO THE ARCHITECT/ENGINEER FOR DECISION.
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- G4. DIMENSIONS SHOWN ARE MILLIMETRES UNLESS OTHERWISE NOTED.
- G5. SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER.
- G6. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION & NO PART SHALL BE OVERSTRESSED.
- G7. ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE AS CODES & THE BY-LAWS & ORDINANCES OF THE RELEVANT BUILDING STATE AUTHORITY.
- G8. THIS REPORT IS BASED ON INFORMATION SUPPLIED BY THE CLIENT. IF ANY ASPECT OF THE SITE PREPARATION OR PROPOSED CONSTRUCTION CHANGES FROM THAT ORIGINALLY ADVISED, THE ENGINEER MUST BE NOTIFIED SO THAT ANY NECESSARY AMENDMENTS CAN BE MADE.
- G9. BUILDING PERMIT - FOR WORK REQUIRING BUILDING APPROVAL, A COPY OF THE BUILDING PERMIT (ISSUED BY COUNCIL OR PRIVATE BUILDING SURVEYOR) MUST BE FORWARDED TO STRUCTURE PRIOR TO ARRANGING ANY INSPECTIONS WITH THIS OFFICE.
- G10. THE ENGINEER'S APPROVAL SHALL BE SOUGHT PRIOR TO MAKING ANY SUBSTITUTIONS.

MISCELLANEOUS NOTES:

- M1. AREA BETWEEN SWIMMING POOL AND DWELLING TO BE PAVED WITH CONCRETE AND GRADED TO ENSURE ALL WATER IS DIRECTED VIA SECURE CONNECTIONS TO THE LEGAL POINT OF DISCHARGE (LPD). ALL JOINTS BETWEEN PAVING, POOL AND DWELLING TO BE MADE WATER TIGHT. ALL BRICKWORK WITHIN SPLASH ZONE OF POOL TO BE SEALED TO STOP INGRESS OF WATER. REFER TO BUILDING CONTRACTOR FOR PRODUCT.
- M2. SUITABLE QUARRY PRODUCT (20-80mm MAX IN DEPTH) MAY BE USED AS A LEVELLING/BEDDING LAYER TO LEVEL THE BUILDING PLATFORM PRIOR TO SLAB CONSTRUCTION. THE BEDDING LAYER SHALL BE COMPACTED TO THE SATISFACTION OF THE BUILDING INSPECTOR.
- M3. UNDER NO CIRCUMSTANCE IS ANYTHING (INCLUDING BASKETBALL HOOPS) TO BE FIXED TO THE WALL ABOVE LINTELS. OWNERS TO BE NOTIFIED IN WRITING.
- M4. WHERE LARGE AREAS OF BRITTLE FLOOR COVERINGS ARE SPECIFIED IN THE RESIDENCE. IN ACCORDANCE WITH AS 2870-2011 CLAUSE 5.3.7 AN APPROPRIATE FLEXIBLE BEDDING MORTAR SHALL BE USED. ONE OR MORE OF THE OTHER MEASURES PROVIDED IN CLAUSE 5.3.7 MAY ALSO BE ADOPTED TO ACCOUNT FOR CONCRETE CRACKING.
- M5. WHERE TREES HAVE BEEN REMOVED FROM THE BUILDING PLATFORM, ALL ROOTS ARE TO BE THOROUGHLY GROBBED OUT. ALL RESULTING HOLES SHALL BE BACKFILLED WITH CLEAN SITE-BORNE MATERIAL TO MATCH THE SOIL LAYERS INDICATED IN THE SOIL BORELOGS AND COMPACTED IN 150 MAX. LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR IN ORTHOGONAL DIRECTIONS.
- M6. ALL WATERPROOFING TO ARCHITECTURAL DETAILS (U.N.O)

DRAINAGE NOTES:

- D1. ALL WORKMANSHIP & MATERIAL SHALL BE IN ACCORDANCE WITH AS2870.
- D2. THE PRESENCE OF GROUND WATER WITH SURFACE SOIL MAY LEAD TO CONSTRUCTION DIFFICULTIES DURING WET WEATHER. DRAINAGE SHALL BE CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE GROUND UPHILL FROM THE SLAB ON CUT & FILL SITES, SHALL BE GRADED TO FALL 50mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF 1.0m. WATER RUN-OFF SHALL BE COLLECTED AND CHANNELLED AWAY FROM THE HOUSE DURING CONSTRUCTION VIA SURFACE OR SUBSURFACE DRAINS CONNECTED TO THE LEGAL POINT OF DISCHARGE (LPD). ANY PAVING SHALL ALSO BE SUITABLY SLOPED AND DRAINED. ATTENTION TO SITE GRADING/SITE DRAINAGE IS REQUIRED FROM THE START OF CONSTRUCTION.
- D3. WHERE FILLING IS PLACED ADJACENT TO THE BUILDING, THE FILLING SHALL BE COMPACTED & GRADED TO ENSURE DRAINAGE OF WATER AWAY FROM THE FOOTINGS.
- D4. DISCHARGE FROM THE DOWNPIPES MUST BE DIRECTED AWAY FROM THE BUILDING DURING CONSTRUCTION TO ENSURE WATER DOES NOT DISCHARGE OR POND ADJACENT TO THE FOOTINGS.
- D5. PLUMBING TRENCHES SHALL BE SLOPED AWAY FROM THE HOUSE & SHALL BE BACKFILLED WITH CLAY IN THE TOP 300mm WITHIN 1.5m OF THE HOUSE. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED WITH MOIST CLAY OR BENTONITE AT THE HIGH END OF THE FLOW TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM.
- D6. EXCAVATIONS NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED IN SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION. FOR EXAMPLE, EXCAVATIONS SHOULD BE BACKFILLED ABOVE OR ADJACENT THE FOOTING WITH MOIST CLAY, COMPACTED BY HAND-RODDING/TAMPING. POROUS MATERIAL SUCH AS SAND, GRAVEL OR BUILDING RUBBLE SHOULD NOT BE USED.
- D7. PENETRATIONS OF THE EDGE BEAMS & FOOTING BEAMS ARE TO BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED USING CLOSED-CELL POLYETHYLENE LAGGING OR SIMILAR TO ALLOW FOR MOVEMENT.
- D8. CONNECTION OF STORMWATER DRAINS & WASTE DRAINS SHALL INCLUDE FLEXIBLE CONNECTIONS (AS NECESSARY).

- D9. ADDITIONAL PLUMBING REQUIREMENTS ARE NEEDED FOR MODERATELY, HIGHLY & EXTREMELY REACTIVE SITES IN ACCORDANCE WITH CLAUSE 6.6 FROM AS 2870.
- D10. PLUMBING & DRAINAGE UNDER THE SLAB SHOULD BE AVOIDED WHERE PRACTICAL. REFER AS 2870 CLAUSE 5.6 (d).
- D11. ALL PIPING INCLUDING STORMWATER FITTINGS & ADAPTERS SHOULD BE PROTECTED FROM MECHANICAL DAMAGE.
- D12. PROVISIONS SHOULD BE MADE FOR THE CONNECTION OF OVERFLOW OR WATER DISCHARGE FROM FIXTURES SUCH AS HOT WATER SYSTEMS & AIR CONDITIONERS TO THE LEGAL POINT OF DISCHARGE (LPD).
- D13. STORMWATER SYSTEMS THAT COLLECT ROOF WATER & SURFACE WATER ARE REQUIRED TO BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500

PROPERTY MAINTENANCE NOTES:

- P1. APPENDIX A OF AS 2870 DEFINES THE OWNER AS THE PERSON OR ORGANISATION RESPONSIBLE FOR THE MAINTENANCE OF THE BUILDING & THE SITE.
- P2. THE OWNER'S ATTENTION IS DRAWN TO APPENDIX B 'PERFORMANCE CRITERIA & CONDITIONS FOR MAINTENANCE' & APPENDIX C 'CLASSIFICATION OF DAMAGE DUE TO FOUNDATION MOVEMENTS' OF AS 2870-2011.
- P3. AS PER CLAUSE 13.1 BUILDINGS DESIGNED & CONSTRUCTED TO AS 2870 ON A NORMAL SITE DOES NOT GUARANTEE A DISTRESS FREE DWELLING. BUILDINGS ARE EXPECTED TO EXPERIENCE EITHER NO DAMAGE, A LOW INCIDENCE OF DAMAGE CATEGORY 1 & OCCASIONAL INCIDENCE OF DAMAGE CATEGORY 2 AS SHOWN IN TABLE BELOW.

SUMMARY OF AS2870-2011 - APPENDIX C TABLES C1 & C2			
DAMAGE CATEGORIES	WALL CRACKS	SLAB CRACKS	LEVEL CHANGES OVER 3m
0 - Negligible	< 0.1mm	< 0.3mm	< 8mm
1 - Very Slight	< 1mm	< 1mm	< 10mm
2 - Slight	< 5mm	< 2mm	< 15mm
3 - Moderate	5mm to 15mm	2mm to 4mm	15mm to 25mm
4 - Severe	15mm to 25mm	4mm to 10mm	> 25mm

- P4. THIS DESIGN IS BASED UPON THE NORMAL FOOTING PERFORMANCE CRITERIA PROVIDED IN TABLE 2.2 OF AS2870-2011 WITH DAMAGE CATEGORIES DETAILED IN APPENDIX C. IF THESE PERFORMANCE CRITERIA ARE UNSUITABLE FOR THIS DWELLING PLEASE CONSULT THIS OFFICE FOR ADDITIONAL ENGINEERING ADVICE & DESIGN SERVICES.
- P5. THE LONG TERM PERFORMANCE OF THE FOOTINGS AS DESIGNED IS DEPENDANT ON THE ONGOING SITE MAINTENANCE BY OWNER INCLUDING FACTORS SUCH AS SITE DRAINAGE, VEGETATION & WATERING OF AREAS ADJACENT TO THE DWELLING.
- P6. WATERING OF LAWNS & GARDENS SHOULD BE CONSISTENT. OVER WATERING CAN DAMAGE FOOTINGS. EQUALLY FOOTINGS MAY BE DAMAGED BY PROLONGED PERIODS OF NEGLECT AFTER YEARS OF CAREFUL WATERING. LEAKING TAPS & PIPES & BLOCKED DRAINS & GUTTERS SHOULD BE REPAIRED PROMPTLY. PROLONGED NEGLECT CAN LEAD TO DAMAGED FOOTINGS.
- P7. TREES/ SHRUBS PROVIDED AS PART OF ANY PROPOSED LANDSCAPING SHALL BE PLANTED A MIN. DISTANCE AWAY FROM THE FOOTINGS EQUAL TO THE MATURE HEIGHT OF THE TREE/SHRUB. THE PROVISION OF NON-NATIVE SPECIES PLANTED AS SINGLE TREES/SHRUBS RATHER THAN IN GROUPINGS IS HIGHLY RECOMMENDED.
- P8. IT IS HIGHLY RECOMMENDED THAT CONCRETE PAVING BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE DWELLING. ALL CONCRETE PATHS & THE GROUND ON WHICH THEY ARE LAID SHALL SLOPE AWAY FROM THE BUILDING & BE DRAINED. DRAINAGE IN THE FORM OF SPOON DRAINS &/OR PITS, CONNECTED TO THE LEGAL POINT OF DRAINED FROM STRUCTURES WITH A 10mm LAYER OF "ABLEFLX" OR SIMILAR.
- P9. WHERE SEAL COATS HAVE BEEN APPLIED TO EXTERNAL SLABS WITHIN 1km OF SALT WATER, THE CONDITION OF THE SEALANT IS TO BE MONITORED & MAINTAINED THROUGHOUT THE LIFE OF THE SLAB.
- P10. WE ALSO DIRECT THE OWNER TO THE CSIRO PUBLICATION BTf 18' FOUNDATION MAINTENANCE & FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE'. COPIES OF THIS PUBLICATION ARE AVAILABLE FROM CSIRO PUBLISHING ON PH: 1300-788-000 OR AT http://www.publish.csiro.au/pid/7076.htm. THIS REPORT MAY BE RENDERED INVALID IF THE PROPERTY IS NOT MAINTAINED AS RECOMMENDED IN THIS PUBLICATION.

FOUNDATIONS & FOOTINGS NOTES:

- F1. FOOTINGS SHALL BE PLACED CENTRALLY UNDER WALLS & COLUMNS UNLESS OTHERWISE NOTED.
- F2. ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH AS 2870 & NATIONAL CONSTRUCTION CODE (N.C.C)
- F3. THE FOOTING DETAILS SHOWN ARE FOR THE SITE CLASSIFICATION STIPULATED. WHILST EVERY CARE HAS BEEN TAKEN TO VERIFY THAT THE INFORMATION SHOWN IS CORRECT, STRUCTURE CONSULTING ENGINEERS TAKE NO RESPONSIBILITY FOR VARIATIONS WHICH MAY OCCUR DUE TO VARIATIONS IN SITE CONDITIONS.
- F4. FILL USED IN THE CONSTRUCTION OF A SLAB EXCEPT WHERE THE SLAB IS SUSPENDED SHALL CONSIST OF CONTROLLED FILL OR ROLLED FILL IN ACCORDANCE WITH AS 2870.
- F4.1. ROLLED FILL CONSISTS OF MATERIAL COMPACTED IN LAYERS BY REPEATED ROLLING WITH AN EXCAVATOR. ROLLED FILL SHALL NOT EXCEED 600mm COMPACTED IN LAYERS NOT MORE THAN 300mm FOR SAND MATERIAL OR 400mm COMPACTED IN LAYERS NOT MORE THAN 150mm FOR OTHER MATERIAL.
- F4.2. CONTROLLED FILL CONSISTS OF WELL GRADED SAND FILL UP TO 800mm DEEP, WELL COMPACTED. IN NOT MORE THAN 300mm LAYERS BY VIBRATING PLATE OR VIBRATING ROLLER. NON SAND FILL UP TO 400mm DEEP, WELL COMPACTED IN NOT MORE THAN 150mm LAYERS BY A MECHANICAL ROLLER. CLAY FILL SHOULD BE MOIST DURING COMPACTION. THE DEPTHS OF FILL GIVEN ABOVE ARE DEPTHS MEASURED AFTER COMPACTION. FOR COMPACTED DEPTHS GREATER THAN THAT GIVEN ABOVE THE FILL SHALL BE SUBJECT TO CONTROL & TESTING. IF TEST FAILS THEN PIERS ARE REQUIRED. CONTACT THIS OFFICE PRIOR TO FURTHER CONSTRUCTION.
- F5. TOP SOIL CONTAINING GRASS ROOTS OR OTHER ORGANIC MATERIAL SHALL BE REMOVED FROM THE AREA ON WHICH THE SLAB IS TO REST.
- F6. IF ANY FOOTING IS LOCATED SUCH THAT A LINE DRAWN AT 45 DEGREES (FOR CLAY & 30 DEGREES FOR SAND) FROM ITS BASE INTERSECTS A PRIVATE SERVICE TRENCH, THEN PIERS ARE REQUIRED. REFER TO THE PRIVATE TRENCH SERVICE DETAIL FOR EXAMPLE.
- F7. EDGE BEAMS SHALL NOT BE FOUND ON ROLLED OR UNCONTROLLED FILL. REFER EDGE BEAM FOUNDING DEPTH NOTE.
- F8. WHERE PIERS ARE USED TO SUPPORT A SLAB ON UNCONTROLLED FILL, PLUMBING & DRAINAGE PIPES FOUND WITHIN SUCH FILL SHALL BE HUNG FROM THE SLAB MESH WITH CORROSIVE RESISTANT STRAPS.
- F9. FOR SATISFACTORY RESULTS, CONCRETE MUST BE CURED FOR AT LEAST 7 DAYS. CURING MAY BE ACHIEVED BY KEEPING THE CONCRETE MOIST, BY APPLYING A CURING MEMBRANE, OR BY COVERING THE CONCRETE WITH A MOISTURE BARRIER. MANY BUILDERS FIND THAT THE MOST SATISFACTORY WAY TO CURE A SLAB IS TO COVER IT WITH SHEETS OF POLYETHYLENE AS SOON AS POSSIBLE AFTER FINISHING. IF A SLAB IS MOIST WHEN COVERED & THE POLYETHYLENE IS HELD SECURELY ONTO THE CONCRETE, THIS SYSTEM PROVIDES SATISFACTORY CURING OF THE CONCRETE.

CONCRETE WORK NOTES:

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 & AS 2870. U.N.O
- C2. CONCRETE QUALITY FOR CEMENT TYPE A & EXPOSURE CLASSIFICATION A1 SHALL BE AS TABULATED AND SHALL BE VERIFIED BY TESTS (REFER TABLE BELOW). U.N.O, SEE SLAB PLAN FOR A2, B & C CATEGORIES.
- | ELEMENT | SLUMP | AGG | CONCRETE GRADE | COVER U.N.O (mm) |
|-----------------|-------|------|----------------|------------------|
| SLABS ON GROUND | 100mm | 20mm | 20N | 20 TOP |
| | | | | 30 BTM. & SIDES |
| | | | | 40 TOP (EXT.) |
| FOOTINGS | 100mm | 20mm | 20N | 50 TYPICAL |
| SUSPENDED SLAB | 80mm | 20mm | 32N | 30 TOP |
| | | | | 20 BTM. & SIDES |
| | | | | 45 TYPICAL |
| BEAMS | 80mm | 20mm | 32N | 45 TOP |
| | | | | 35 BTM. |
| STAIRS | 80mm | 20mm | 32N | 30 SIDES (INT.) |
| | | | | 40 SIDES (EXT.) |
| WALLS | 80mm | 20mm | 32N | 30 TYPICAL |
| | | | | 40 TYPICAL |
| COLUMN | 80mm | 20mm | 32N | 40 TYPICAL |

- C3. SAMPLE AND TEST IN ACCORDANCE WITH AS 3600.
- C4. CONSOLIDATE BY VIBRATION.
- C5. THOROUGHLY SCABBLE CONCRETE ON WHICH NEW CONCRETE IS TO BE POURED.
- C6. ALL CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH AS3600. WHERE CURING COMPOUNDS ARE USED IT MUST BE APPLIED AS FOLLOWS:
- C6.2. ONTO SLAB WITHIN 2HRS OF FINISHING OPERATION.
- C6.3. ONTO WALLS AND COLUMNS IMMEDIATELY AFTER REMOVAL OF FORMWORK.
- C7. SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- C8. CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER.
- C9. BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS, IF ANY.
- C10. CONCRETE SHALL BE KEPT FREE OF SUPPORTING BRICKWORK WITH 2 LAYERS OF MALTHOID. HORIZONTAL FORMWORK SHALL BE STRIPPED WHEN APPROVED BY THE ENGINEER.
- C11. SLABS ON GROUND SHALL BE PROVIDED WITH A VAPOUR BARRIER IN ACCORDANCE WITH AS 2870 U.N.O.
- C12. U.N.O NO ALLOWANCE HAS BEEN MADE FOR STACKED MATERIALS OR MACHINERY ON THE CONCRETE STRUCTURE.
- C13. NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE ELEMENTS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER.
- C14. REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY, IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- C15. SPLICES IN REINFORCEMENT MADE IN POSITIONS OTHER THAN SHOWN SHALL BE TO THE APPROVAL OF THE ENGINEER. WHERE THE LAP LENGTH IS NOT SHOWN IT SHALL BE SUFFICIENT TO DEVELOP THE FULL STRENGTH OF THE REINFORCEMENT.
- C16. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- C17. PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
- C18. ALL REINFORCING BARS SHALL COMPLY WITH AS 4671. ALL FABRIC SHALL COMPLY WITH AS 4671 AND SHALL BE SUPPLIED IN FLAT SHEETS.
- C19. REINFORCEMENT SYMBOLS:
N - DENOTES GRADE D500 HIGH STRENGTH DEFORMED BARS TO AS 4671.
R - DENOTES GRADE R250 HOT ROLLED PLAIN BARS TO AS 4671.
SL - DENOTES HARD-DRAWN WIRE SQUARE REINFORCING FABRIC TO AS 4671.
RL - DENOTES HARD-DRAWN WIRE RECTANGULAR REINFORCING MESH TO AS 4671.
L - DENOTES HARD-DRAWN WIRE TRENCH MESH TO AS 4671.
THE NUMBER IMMEDIATELY FOLLOWING THESE SYMBOLS IS THE BAR DIAMETER IN MILLIMETRES.
- C20. FABRIC/MESH REINFORCEMENT TO BE LAPPED ONE MESH PLUS 30mm. LAPS IN POSITIONS OF MAXIMUM MOMENT ARE NOT PERMITTED.
- C21. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON INSULATED STEEL, PLASTIC OR CONCRETE CHAIRS GENERALLY AT NOT GREATER THAN 800 CENTRES BOTH WAYS. RODS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
- C22. ALL TENSILE REINFORCEMENT TO BE LAPPED AS SHOWN IN TABLE BELOW:
- | REINFORCEMENT BAR | N12 | N16 | N20 | N24 |
|-------------------|-----|-----|-----|-----|
| LAP LENGTH | 400 | 600 | 700 | 800 |

STRUCTURAL STEELWORK NOTES:

- S1. ALL STEELWORK USED ON THIS PROJECT IS TO BE THIRD-PARTY CERTIFIED.
- S2. CONSTRUCTION CATEGORY C2 REQUIRED FOR ALL WORK IN ACCORDANCE WITH AS/NZS 5131 UNLESS NOTED OTHERWISE.
- S3. DESIGN CONFORMS TO THE FOLLOWING STANDARDS:
AS 4100 - STEEL STRUCTURES.
AS/NZS 4600 - COLD-FORMED STEEL STRUCTURES.
FABRICATION AND ERECTION IN ACCORDANCE WITH THE PROVISIONS OF AS/NZS 5131.
- S4. ALL STEELWORK SHALL BE TEMPORARILY BUT SECURELY BRACED UNTIL ALL FINAL BRACING, CLADDING AND STABILISING BRICK OR BLOCKWORK HAVE BEEN COMPLETED, TO MAINTAIN THE STRUCTURE IN A SAFE AND STABLE CONDITION DURING CONSTRUCTION. ALL BRICK LINTELS TO BE PROPPED AT MID SPAN UNTIL BRICKWORK OVER IS A MINIMUM 3 DAYS OLD.
- S5. BASE PLATES SHALL BE GROUTED BEFORE THE MEMBER IS SUBSTANTIALLY LOADED. GROUT SHALL HAVE A MINIMUM STRENGTH F_c OF 25 MPa AND SHALL BE DRY PACK MORTAR RAMMED IN, OR AN APPROVED NON-SHRINK GROUT.
- S6. U.N.O. ALL MATERIAL SHALL BE GRADE 250 HOT-ROLLED PLATES COMPLYING WITH AS/NZS 3678. GRADE 300 UB, UC, PFC, EA, UA, FLATS & ROUNDS COMPLYING WITH AS/NZS 3679.1. GRADE 300 WB, WC COMPLYING WITH AS/NZS 3679.2. GRADE C350 CHS COMPLYING WITH AS 1163. GRADE C450 RHS, SHS COMPLYING WITH AS 1163.
- S7. WELDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF AS/NZS 1554.1. WELDING CONSUMABLES SHALL BE GRADE E40X OR W50X U.N.O. ALL WELDS SHALL BE 6mm CFW SP CATEGORY U.N.O. ALL BUT WELDS SHALL BE SP CATEGORY U.N.O. INSPECTION IS REQUIRED IN ACCORDANCE WITH AS/NZS 1554.1. ALL GP / SP WELDS SHALL BE 100% VISUALLY SCANNED. SP FILLET WELDS SHALL HAVE 10% VISUAL EXAMINATION U.N.O. SP BUTT WELDS SHALL HAVE 50% VISUAL EXAMINATION U.N.O. ALL GP WELDS SHALL HAVE 10% VISUAL EXAMINATION.
- S8. BOLTS SHALL BE M16 DIAMETER U.N.O. BOLT CATEGORY TO BE 8.8/5 COMPLYING WITH AS 4100, AS/NZS 1252 & AS/NZS 4291.1 U.N.O. PROVIDE DESIGN ENGINEER WITH EVIDENCE OF COMPLIANCE WITH THESE CODES. HOLDING DOWN BOLTS SHALL BE CATEGORY 4.6/5 U.N.O. THREADS MAY BE INCLUDED IN THE SHEAR PLANES U.N.O.

- ALL BOLTS, NUTS AND WASHERS SHALL BE HOT DIP GALVANISED.
BOLTS DENOTED 4.6/5 ARE COMMERCIAL BOLTS OF STRENGTH GRADE 4.6 TO AS 1111 SNUG TIGHT.
BOLTS DENOTED 8.8/5, 8.8/7B AND 8.8/7F ARE HIGH STRENGTH STRUCTURAL BOLTS OF STRENGTH GRADE 8.8 TO AS/NZS 1252 & AS/NZS 4291.1.
8.8/5 DENOTES BOLTS SMUG TIGHT.
8.8/7B DENOTES BOLTS FULLY TENSIONED IN BEARING, TO AS 4100.
8.8/7F DENOTES BOLTS FULLY TENSIONED IN FRICTION, TO AS 4100 - MATING SURFACES MUST NOT BE PAINTED.
- S9. BOLTED STEEL TO STEEL CONNECTIONS MAY BE SUBSTITUTED WITH 6mm CFW WELDED CONNECTIONS (ALL AROUND). F.S.B.W WHERE SPECIFIED SHALL BE MAINTAINED.
- S10. ALL DETAILS, GAUGE LINES ETC. (WHERE NOT SPECIFICALLY SHOWN) ARE TO BE IN ACCORDANCE WITH AISC PUBLICATIONS "DESIGN CAPACITY TABLES FOR STRUCTURAL STEEL" AND "STANDARDISED STRUCTURAL CONNECTIONS". PLATES ARE TO BE 10mm THICK, CUT FROM STANDARD FLAT BARS U.N.O. ENDS OF HOLLOW SECTIONS SHALL BE SEALED WITH NOMINAL THICKNESS PLATES AND CONTINUOUSLY WELDED TO SEAL ENDS, UNO.
- S11. CORROSION PROTECTION.
- S11.1. INTERNAL STEELWORK (ENCLOSED)
- S11.2. THE STEELWORK SHALL BE CLEANED TO AS 1627 CLASS 1 AND GIVEN ONE COAT OF ALKYD PRIMER TO GIVE A DRY FILM THICKNESS OF 50 MICRONS BEFORE DISPATCH TO SITE, UNLESS THE STEEL IS TO BE ENCASED IN CONCRETE OR IS DETAILED OTHERWISE. APPLY ONE FINISH COAT OF ALL WEATHER GLOSS ACRYLIC PAINT.
- S11.3. EXTERNAL STEELWORK (UNENCLOSED)
- S11.4. ALL STRUCTURAL STEELWORK WHICH IS EXPOSED OR IN CONTACT WITH EXPOSED BRICKWORK AND ALL LINTELS, SHALL BE HOT DIP GALVANISED AFTER FABRICATION. STEELWORK GALVANISED AFTER FABRICATION SHALL COMPLY WITH AS/NZS 4680.
- S11.5. AS AN ALTERNATIVE TO GALVANISING, ALL STRUCTURAL STEELWORK WHICH IS EXPOSED SHALL BE CLEANED TO AS 1627 CLASS 2 / 1/2 PREPARATION AND GIVEN A COAT OF INORGANIC ZINC SILICATE TO GIVE A DRY FILM THICKNESS OF 75 MICRONS BEFORE DISPATCH TO THE SITE, UNLESS THE STEEL IS TO BE ENCASED IN CONCRETE OR IS DETAILED OTHERWISE.
- S11.6. REPAIR OF GALVANISED COATING AFTER WELDING PREPARATION - REMOVE ALL WELDING SCALE, SLAG & SHARP EDGES. POWER TOOL CLEAN TO AS 1627.2, CLASS 3. USING ABRASIVE WHEEL ON A POLISHER AT 3500RPM. DEGREASE & REMOVE ALL SURFACE CONTAMINANTS TO AS 1627.1.
- S11.7. "SEVERE" CORROSION ENVIRONMENT - APPLY 2 COATS OF Z-POCK EPOXY ZINC TO AS 3750.9, TO TOTAL 150um DFT, FOLLOWED BY 2 PACK EPOXY ENAMEL TO TOTAL 150um DFT.
- S11.8. "MODERATE" CORROSION ENVIRONMENT - APPLY A TOTAL OF 125um DFT OF DULUX METALSHELD COLD GALV. PRIMER OR EQUIV IN 2 COATS, USING BRUSH OR SPRAY CAN.
- S12. UNLESS NOTED OTHERWISE, PROTECTIVE COATINGS FOR STEELWORK SHALL BE AS TABULATED BELOW AND IN ACCORDANCE WITH VOL. 2 PART 3.4.4 OF THE NCC.

ENVIRONMENT (EXPOSURE CLASS AS PER AS 2312)	STRUCTURAL MEMBERS (NOT BUILT INTO MASONRY/CONCRETE)		LINTELS (BUILT INTO MASONRY OR CONCRETE)
	INTERNAL	EXTERNAL	
VERY LOW	0	-	-
LOW	0	1	2
MEDIUM	0	2	3
HIGH	1	3	4
VERY HIGH	1	4	5

PROTECTIVE COATING SPECIFICATION TO AS 2699.3

ARTICULATED MASONRY NOTES:

- A1. THIS DESIGN ASSUMES THAT MASONRY ARTICULATION JOINTS WILL BE INSTALLED TO AS 4773 UNLESS NOTED OTHERWISE. ANY MASONRY ARTICULATION JOINTS SHALL BE POSITIONED IN ACCORDANCE WITH AS 4773 & AS 3700 SECTION 12.16.4 AND AS FOLLOWS:
- A.1.1. MAXIMUM JOINT SPACING = 5.0m U.N.O
- A.1.2. WITHIN 2.0m - 4.5m OF EXTERNAL CORNERS
- A.1.3. CHANGE OF WALL HEIGHT & MASONRY WALL THICKNESS
- A.1.4. JUNCTIONS OF DIFFERENT MASONRY MATERIALS
- A.1.5. WHERE OLD BRICKWORK MEETS NEW BRICKWORK
- A.1.6. ABOVE JOINTS IN FOOTINGS & SLABS & SLIP JOINT LOCATIONS
- A.1.7. ABOVE JUNCTION OF STRIP FOOTINGS TO SLABS
- A.1.8. FOR MASONRY WALLS OVER 3.0m HIGH, REFER ENGINEER.
- A2. WHERE MASONRY ARTICULATION IS SHOWN BESIDE OPENINGS, THE JOINT IS TO CONTINUE THROUGH THE WINDOW/DOOR FRAME & THE BRICKWORK TO THE FULL HEIGHT OF THE WALL. AT THESE LOCATIONS, THE FRAMES ARE TO BE FIXED WITH FASTENERS THAT WILL ALLOW MOVEMENT OF THE JOINT.
- A3. WHERE MASONRY ARTICULATION IS SHOWN BESIDE OPENINGS WITH BRICKWORK ABOVE THE OPENING, CARE SHOULD BE TAKEN TO PROVIDE A SLIP JOINT AROUND THE END OF THE LINTEL.
- A4. TO ENSURE FULL COMPLIANCE WITH AS 4773 & LOCAL REQUIREMENTS (I.E. QBCC SUBSIDENCE POLICY) STRUCTURE RECOMMENDS A MASONRY ARTICULATION LAYOUT IS PREPARED PER DESIGN. THE TABLE BELOW IS TO BE CONSIDERED ONLY IF NO PLAN IS PROVIDED BY AN ENGINEER.

MAX SPACING OF ARTICULATION JOINTS TO AS 4773 (UNREINFORCED MASONRY U.N.O)			
SITE CLASS	CONSTRUCTION & SURFACE FINISH	10mm JOINT SPACING (m)	
		<4m HIGH	4m TO 8.1m
A & S	EXPANSION JOINTS ONLY	7.0	6.0
M & M-O	EXTERNAL FACE FINISH	5.0	4.2
	EXTERNAL RENDERED/PAINTED	5.0	3.9
H1, H2, H1-O, H2-O	EXTERNAL FACE FINISH	5.0	3.5
	EXTERNAL RENDERED/PAINTED	4.5	3.2
P, E, E-O	REFER NOTE 2 / LOCATIONS	4.0 U.N.O	3.0 U.N.O

- THE SITE CLASS REFERS TO THE SOIL CLASSIFICATION AS DEFINED IN AS 2870
- JOINTS ON CLASS E, E-O & P SITES, REFER TO ENGINEER FOR ADVICE
- IF 15mm JOINTS ARE TO BE USED, SPACINGS MAY BE RELAXED AS PER AS 4773

CLAY MASONRY NOTES:

- CM.1. DESIGN CONFORMS TO AS 3700 - MASONRY STRUCTURES. CONSTRUCT IN ACCORDANCE WITH THE PROVISIONS OF AS 3700.
STRENGTH, F_{uc} = 12 MPa
SALT RESISTANCE GRADE = EXPOSURE
- CM.2. CORE-FILLING GROUT TO BRICK PIERS = 20 MPa. U.N.O.
- CM.3. JOINTS TO BE TOOLED. REFER ARTICULATION MASONRY NOTES FOR ARTICULATION JOINT REQUIREMENTS.
- CM.4. WEEPHOLES SHALL BE PROVIDED WHEREVER IT IS NECESSARY TO DRAIN MOISTURE FROM OR THROUGH MASONRY CONSTRUCTION. WHERE FLASHINGS ARE INCORPORATED IN THE MASONRY, WEEPHOLES SHALL BE PROVIDED IN THE MASONRY COURSE IMMEDIATELY ABOVE THE FLASHING, AT CENTRES NOT EXCEEDING 1200mm.

WIND/WALL THE CLASSIFICATION				
CLASS	WIND (Vp)	WALL TIE	HORIZONTAL SPACING	VERTICAL SPACING
			N1	W2BN1
N2	W3N2	MEDIUM DUTY	600	600
N3	W4N3	MEDIUM DUTY	600	430

WALL TIE SPACINGS AROUND OPENINGS 300 CTS. EACH WAY.
(Vp = PERMISSIBLE STRESS METHOD)
WALL TIE FIXINGS TO HAVE 50 MIN. EMBEDMENT INTO MORTAR.
FACE FIXED VENER TIES TO BE SCREW FIXED.

DURABILITY CLASSIFICATION			
CATEGORY (DURABILITY)	WALL TIES AS 3700	GRADE OF BRICKS AS/NZ 4456.10	*MORTAR AS 3700
SEVERE MARINE	R4 (STAINLESS OR POLYMER)	EXPOSURE	M4 (1:1:6)
MARINE	R3	GENERAL PURPOSE	M3 (1:1:6)
EXTERIOR	R2	GENERAL PURPOSE	M2 (1:2:8)

* NOMINAL MORTAR THICKNESS TO BE 10mm.

TIMBER NOTES:

- T1. ALL EXTERNAL TIMBER MEMBERS ARE TO BE WEATHER TREATED. MANUFACTURED TIMBER ELEMENTS (e.g. LVL) EXPOSED TO WEATHERING SHALL BE L.O.S.P. TREATED TO H3 LEVEL. WHERE EXPOSED TO DIRECT SUN, FURTHER PROTECTION WITH A GOOD QUALITY PAINT SYSTEM IS REQUIRED.
- T2. ALL WORK IN STRUCTURAL TIMBER TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF AS 1684, SAA TIMBER FRAMING CODE AS 1720, SAA TIMBER ENGINEERING CODE AS 1920 - GLUED LAMINATED STRUCTURAL TIMBER.
- T3. TIMBER MEMBERS PARALLEL TO MASONRY WALLS SHALL BE SEPARATED FROM THE MASONRY WITH A GAP OR WATERPROOF MEMBRANE.
- T4. TIMBER MEMBER SUPPORTED BY TIMBER POST OR BRICKWORK SHALL HAVE 5mm MIN. CLEARANCE FROM SURROUNDING BRICKWORK AT TOP & SIDES. DO NOT FILL GAP WITH MORTAR. FLASH SECURELY TO PREVENT INGRESS OF WATER.
- T5. ALL MULTIPLE SAWN MEMBERS TO BE NAIL LAMINATED IN ACCORDANCE WITH REQUIREMENTS OF AS 1684. FOR MULTIPLE LVL MEMBERS REFER TO MANUFACTURER'S SPECIFICATIONS.
- T6. BOLTS, ALL NUTS & BOLTS TO BE PROVIDED WITH WASHERS. ALL BOLTS TO BE TIGHTENED FINALLY BEFORE HANDOVER. BOLT HOLES TO BE 2mm OVERSIZE IN UNSEASONED TIMBER.
- T7. UNLESS DETAILED OTHERWISE TIMBER MEMBERS TO BE FIXED WITH NOMINAL NAILING AS SPECIFIED IN AS 1684. ALL THE DOWN OF ROOF MEMBERS (INCLUDING LINTELS) IN ACCORDANCE WITH AS 1684.
- T8. SIZES AND DETAILS NOT SHOWN SHALL COMPLY WITH AS 1684. ALL OPENINGS TO BE FULLY FLASHED.
- T9. ALL BOLTS TO HAVE MILD STEEL GALVANISED WASHERS - BOLTS UP TO 12mm DIA - 50x50x3 WASHERS (or 55 DIA. x 3) BOLTS UP TO 16mm DIA - 57x57x4 WASHERS (or 65 DIA. x 4) BOLTS UP TO 20mm DIA - 65x65x5 WASHERS (or 75 DIA. x 5)
- T10. WHERE TERMITE PROTECTION IS REQUIRED, INSTALL IN ACCORDANCE WITH AS3660. BUILDER SHALL CONFIRM WITH OWNER THE PREFERRED METHOD OF TERMITE MANAGEMENT. OWNER IS RESPONSIBLE FOR ONGOING INSPECTION OF STRUCTURAL ELEMENTS & ENSURING THAT TERMITE MANAGEMENT SYSTEMS ARE NOT BREACHED.
- T11. ALL BEAMS, LINTELS, ROOF MEMBERS DESIGNED BY STRUCTURE TO HAVE ZS STUD SUPPORT TO EACH END UNLESS NOTED OTHERWISE. REFER FRAMING SUPPORT TABLES.
- T12. SMARTFRAME LVL15, HYSSPAN- (F17 GRADED LVL) OR E-BEAM- (F17) MAY BE USED AS AN ALTERNATIVE TO F17 KDHW.
- T13. E-BEAM- (F17) MAY BE USED AS AN ALTERNATIVE TO HYSSPAN- (F17 GRADED LVL)
- T14. EQUIVALENT SMARTFRAME LVL 15 or E-BEAM MAY BE USED AS AN ALTERNATIVE TO HYSSPAN.
- T15. EXTERNAL WALLS AND INTERNAL LOAD BEARING WALL LOADS FROM ROOF MEMBERS AND/OR FLOOR JOISTS ARE TO BE LOCATED DIRECTLY ABOVE STUDS OR WITHIN 1.5 x DEPTH OF PLATE FROM THE STUD.
- T16. LOADS FROM DOUBLE STUDS OR GREATER FROM UPPER LEVEL TO BE TRANSFERRED TO LOWER STOREY SUPPORTS VIA COMPRESSION BLOCKS. REFER TO MANUFACTURER'S DETAIL. SAME SIZE STUDS TO BE PROVIDED ON THE LOWER FLOORS. THESE STUDS WILL NOT BE NOMINATED ON PLAN.

ROOF TRUSS NOTES:

- RT.1. THE BASIS OF DESIGN SHALL BE SAA LOADING CODE AS 1170.1, AS 1170.2 & SAA TIMBER STRUCTURE CODE AS 1720.1.
- RT.2. DESIGN THE ROOF TRUSSES AS PER THE WIND CLASSIFICATION AS SPECIFIED.
- RT.3. ALL TRUSS SUPPORTS BY OTHERS U.N.O. INTERNAL LOAD BEARING WALLS TO HAVE STUDS LOCATED DIRECTLY BELOW EACH TRUSS.
- RT.4. IN ADDITION TO THE NOMINATED PERMANENT BRACING, PROVIDE ANY ADDITIONAL PERMANENT BRACING REQUIRED FOR STRUCTURAL SUFFICIENCY OF THE TRUSS SYSTEM.
- RT.5. PROVIDE ANY TEMPORARY BRACING REQUIRED TO MAINTAIN THE STABILITY OF THE TRUSSES AT ALL STAGES OF ERECTION.
- RT.6. MAKE ALLOWANCES FOR SIZE AND LOCATION OF MECHANICAL SERVICES/AIRCONDITIONING DUCTWORK IF APPLICABLE.
- RT.7. SPAN TRUSSES ONLY BETWEEN THE NOMINATED SUPPORTS AND HOLDING DOWN POSITIONS INDICATED.
- RT.8. LOCATION & LOAD OF GIRDER TRUSSES ARE ASSUMED - TRUSS LAYOUT HAS NOT BEEN SIGHTED U.N.O. THESE PLANS SHALL BE PROVIDED TO TRUSS MANUFACTURER FOR CONFIRMATION. THIS OFFICE SHALL BE ADVISED OF ANY DISCREPANCIES AS REVISED DESIGN MAY BE REQUIRED AT ADDITIONAL COST.

GENERAL SAFETY NOTES:

- IT IS THE CLIENT'S RESPONSIBILITY TO PROVIDE THIS "SAF

SLAB DESIGN SUMMARY (U.N.O)	
BOX SIZE	1090 x 1090
BOX HEIGHT	'bh' 300mm
SLAB THICKNESS	'st' 80mm
OVERALL DEPTH	'od' 385mm
EDGE BEAM WIDTH	BUILDING SURVEYORS
INTERNAL RIB WIDTH	BUILDING PERMIT
INTERNAL BEAM WIDTH	Number: 201741837257
SLAB REINFT	Issued by Group Four Building Services PQR Ltd (CBS-U 58099)
INTERNAL RIB REINFT	Designed by Building Surveyors & Engineers (BS-U 27484)
EDGE BEAM REINFT	Issued on 22/10/2020
INTERNAL BEAM REINFT	2/3-L12TM or 3-N16 BARS BTM

GEOTECHNICAL INFORMATION	
SOIL CLASSIFICATION	H2
DATE	25/01/20
REFERENCE NO	130054
LEVEL 1 COMPACTION	N/A
MIN. BEARING CAPACITY	50 kPa

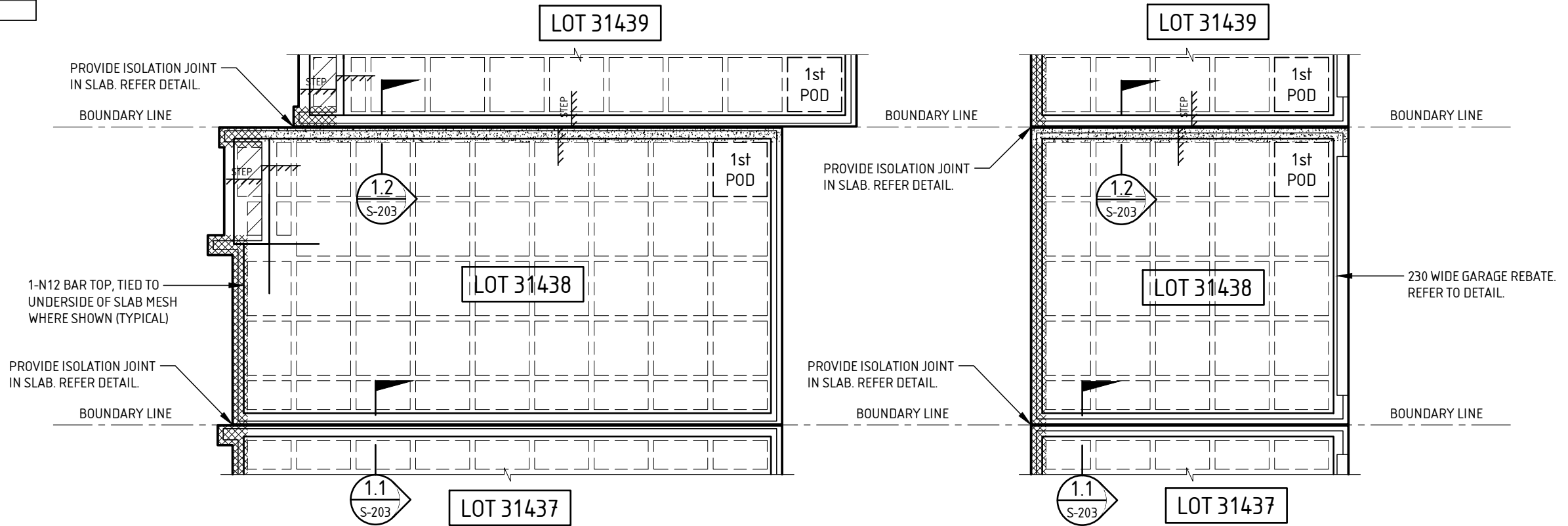
EASEMENT DETAILS SUPPLIED
 THIS FOOTING DESIGN HAS TAKEN INTO CONSIDERATION THE SERVICES LOCATED WITHIN ADJACENT EASEMENT/S AS INDICATED ON THE SITE PLAN OR SEWER SDO PLAN PROVIDED BY BUILDER.

EDGE BEAM FOUNDING DEPTH
 UNLESS SUPPORTED ON PIERS/PILES ALL EDGE BEAMS SHALL BE FOUNDED ONTO FIRM NATURAL SOIL WITH A BEARING CAPACITY OF AT LEAST 50 kPa OR ON CONTROLLED FILL. LOCALLY DEEPEN OR PROVIDE BLINDING CONCRETE AS REQUIRED. OPTIONAL LEVELING BEDDING SHALL NOT BE USED UNDER EDGE BEAMS DEEPENED BELOW BENCH LEVEL.

BEAM & RIB REINFORCEMENT
 ALL BEAMS OR INTERNAL RIBS WIDER THAN SPECIFIED IN WAFFLE SLAB SCHEDULE SHALL BE REINFORCED WITH AN ADDITIONAL BAR TOP & BTM. FOR EVERY 100 INCREASE IN WIDTH. REFER INTERNAL RIB REINFT FOR BAR SIZE. ENSURE ALL EDGE BEAM REINFT CONTINUES TO FIRST INTERNAL RIB OR AS SHOWN ON PLAN (TYPICAL).

DAMP-PROOF MEMBRANE
 PROVIDE 0.2mm HIGH IMPACT DAMP-PROOF MEMBRANE TERMINATING ABOVE FINISHED GROUND OR PAVING LEVEL IN ACCORDANCE WITH AS 2870-2011 CLAUSE 5.5.2 (a)

HEBEL PANEL CONSTRUCTION
 REFER ARCHITECTURAL DRAWINGS FOR REBATE WIDTH. REFER HEBEL PANEL MANUFACTURER'S SPECIFICATIONS FOR ARTICULATION JOINT SPACING & FIXING DETAILS.



LEGEND	
	HATCHING DENOTES DEEPENED REBATE. EXTENT TO BE CONFIRMED ON SITE. STEP LOWER LEVEL AS REQUIRED. REFER DETAILS.
	HATCHING DENOTES DEEPENED EDGE BEAM. EDGE BEAM TO BE DEEPENED TO SAME LEVEL AS ADJACENT FOOTING TO PREVENT UNDERMINING.
	DENOTES WAFFLE POD TO BE SETDOWN. REFER FOOTING DETAILS.
	DENOTES STEP IN SLAB. REFER FOOTING DETAILS.

SITE PREPARATION NOTES

- 1) REMOVE SURFACE SOIL CONTAINING GRASS, ROOTS, AND ORGANIC MATTER FROM THE BUILDING AREA INCLUDING TOP 100mm OF EXISTING FILL.
- 2) ROLL THE WORKING SURFACE. IF SOFT SPOTS ARE ENCOUNTERED, THIS OFFICE SHALL BE CONTACTED IMMEDIATELY FOR ADDITIONAL REQUIREMENTS.
- 3) CUT AND/OR FILL (OR SITE SCRAPE) SITE TO FORM A LEVEL BENCH RL 232.837
- 4) ANY FILLING PLACED AS PART OF CUT/FILL OPERATIONS SHALL BE COMPACTED AT OPTIMUM MOISTURE CONTENT IN 150mm MAXIMUM LAYERS, BY REPEATED ROLLING IN ORTHOGONAL DIRECTIONS, IN ACCORDANCE WITH AS2870-2011 Clause 6.4.2. THE MAXIMUM DEPTH OF COMPACTED FILL SHALL NOT EXCEED 300mm. IF FILL EXCEEDS 300mm OR BUILDING PLATFORM IS SOFT OR SUSPECT THEN CONTACT THIS OFFICE FOR ADDITIONAL REQUIREMENTS.
- 5) UNPROTECTED BATTER SLOPES (HEIGHT H : LENGTH L) SHALL BE CONSTRUCTED AT H:L OF 1:1 FOR COMPACTED CLAY FILL ≤ 800mm DEEP, 1:2 FOR COMPACTED CLAY FILL > 800mm DEEP, 1:4 FOR SILT, 1:2 FOR SAND AND 1:1 FOR NATURAL CLAY CUT BATTERS. WHERE MULTIPLE SOIL TYPES EXIST USE SHALLOWEST SLOPE. APPROPRIATE SITE DRAINAGE SHOULD BE PROVIDED AS NECESSARY TO PREVENT SOIL EROSION, PONDING AND SATURATION.

APPROVED
 GERVAISE PURICH
 CIVIL ENGINEER
 RBP. EC46702

CLIENT
 HOMEBUYERS CENTRE
 OCTAVE 18 - FACADE 2
 CLIENT JOB NO.40821

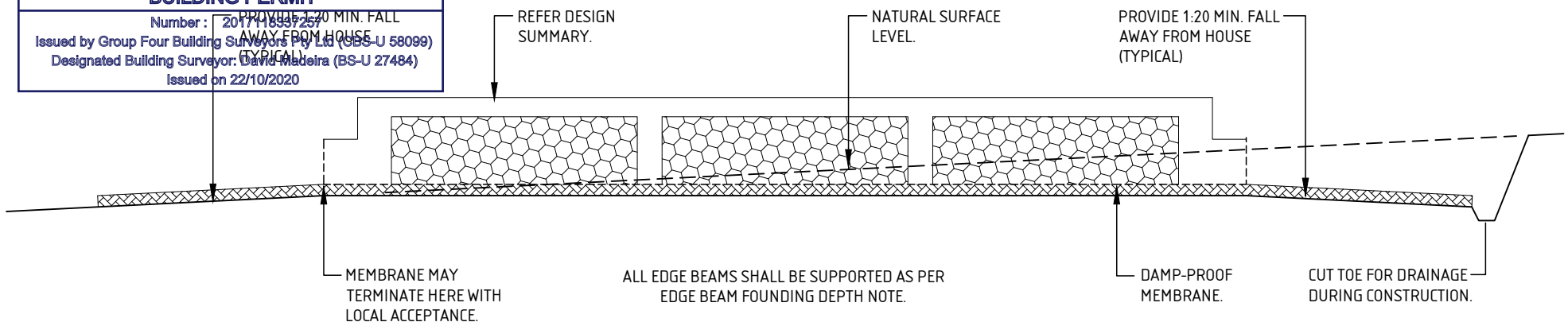
SHEET
 FOOTING & SLAB PLAN
 SCALE 1:100 @ A3

PROJECT ADDRESS
 LOT 31438, ANTARES PARADE, KALKALLO

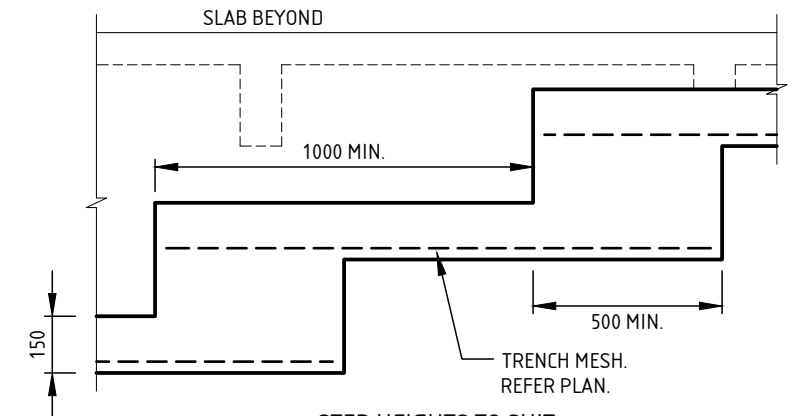


DESIGN BY	REVISION	PROJECT NO.
PTC	0	130054
CHECKED	DATE	SHEET NO.
CB	03/08/20	S-100

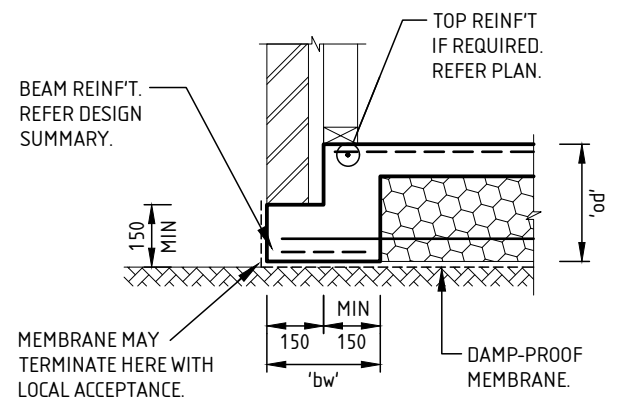
GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT
 Number: 2017/18997/257
 Issued by Group Four Building Surveyors Pty Ltd (BS-U 58099)
 Designated Building Surveyor: David Madeira (BS-U 27484)
 Issued on 22/10/2020



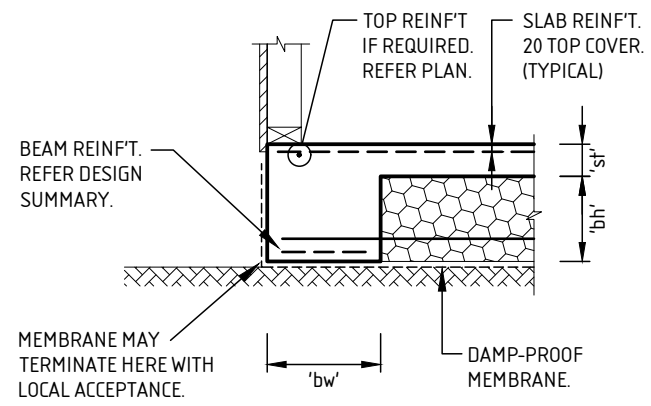
TYPICAL SECTION THROUGH WAFFLE SLAB



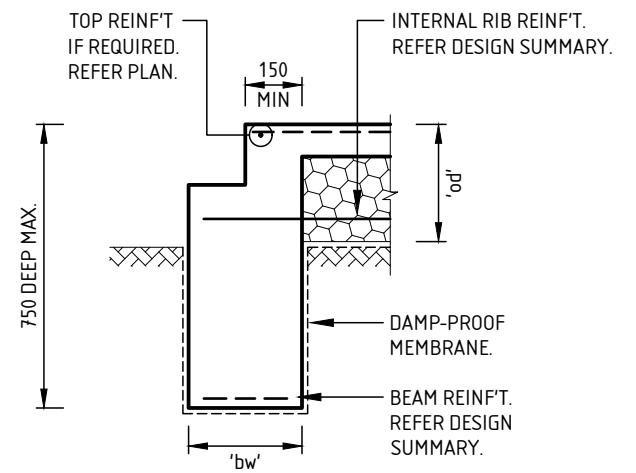
**STEP HEIGHTS TO SUIT
 STEP LOCATIONS TO BE CONFIRMED ON SITE
 EDGE BEAM STEPPING DETAIL**



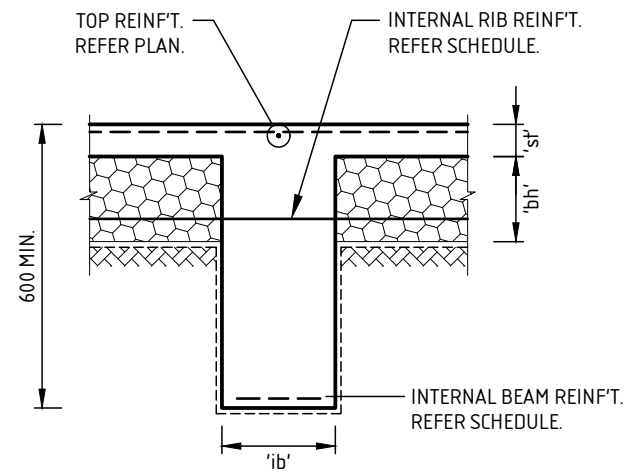
BRICK VENEER EDGE BEAM



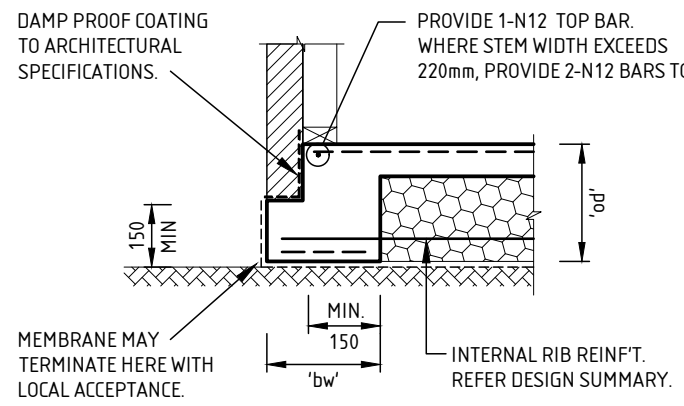
CLADDING EDGE BEAM



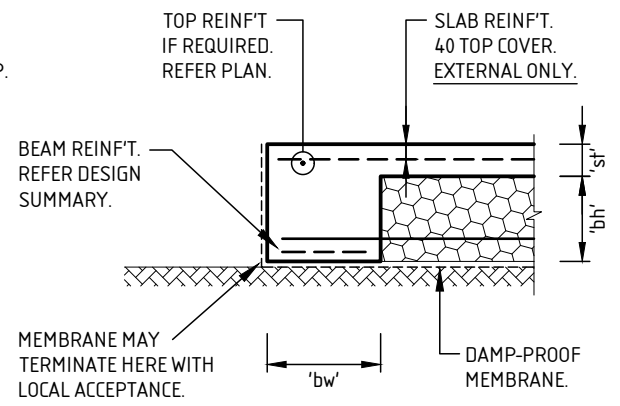
**750mm MAX. DEPTH
 DEEPENED EDGE BEAM**



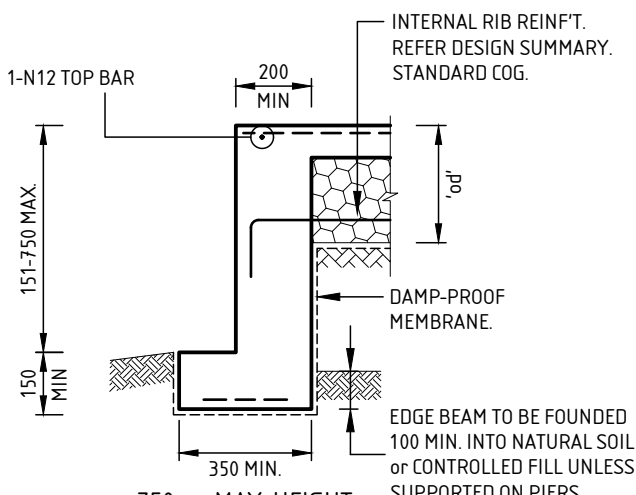
**WHERE REQUIRED
 DEEPENED INTERNAL BEAM**



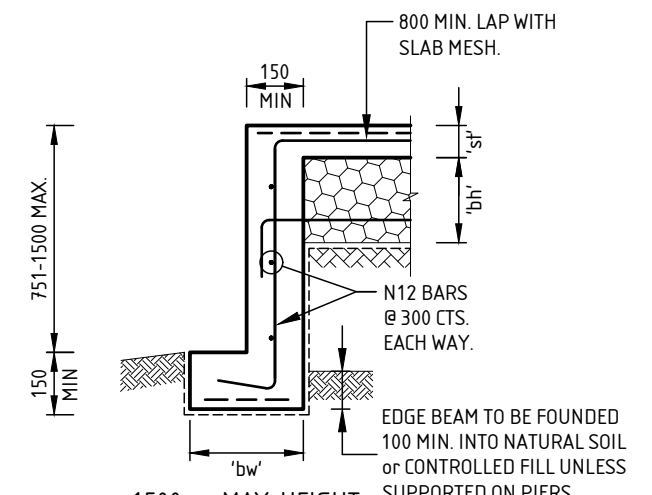
CLADDING VENEER EDGE BEAM



PORTICO/ALFRESCO EDGE BEAM



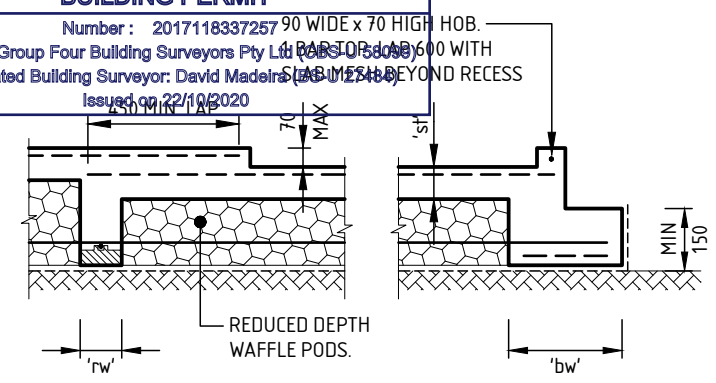
**750mm MAX. HEIGHT
 DEEPENED REBATE**



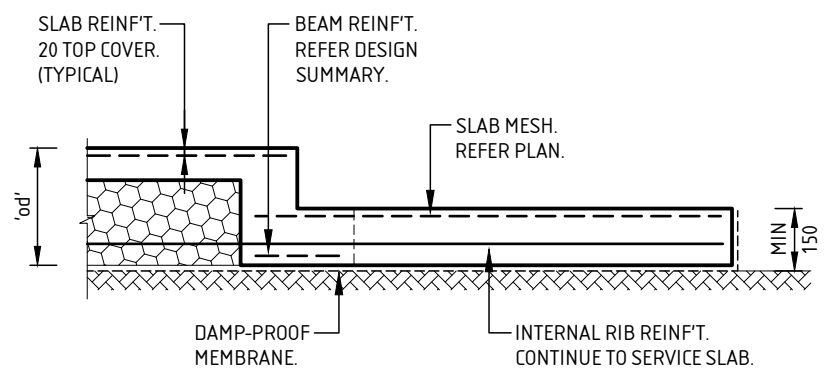
**1500mm MAX. HEIGHT
 DEEPENED REBATE**

APPROVED GERVASE PURICH CIVIL ENGINEER RBP. EC46702	CLIENT HOMEBUYERS CENTRE OCTAVE 18 - FACADE 2 CLIENT JOB NO.40821	SHEET FOOTING & SLAB DETAILS - SHEET 1 SCALE N.T.S @ A3	PROJECT ADDRESS LOT 31438, ANTARES PARADE, KALKALLO		DESIGN BY PTC	REVISION 0	PROJECT NO. 130054
					CHECKED CB	DATE 03/08/20	SHEET NO. S-200

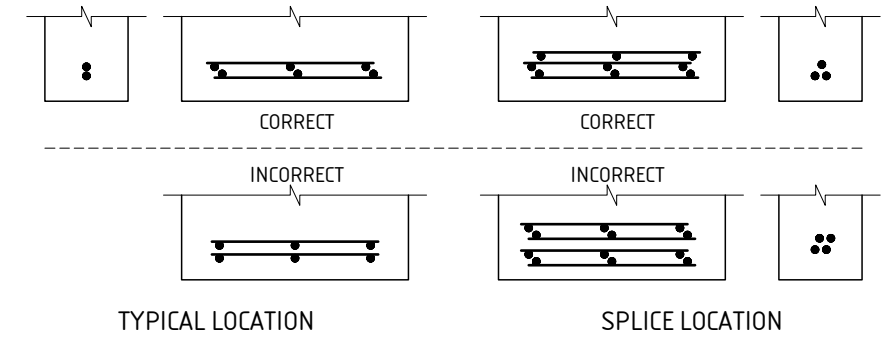
GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT
 Number: 2017118337257
 Issued by Group Four Building Surveyors Pty Ltd
 Designated Building Surveyor: David Maden
 Issued on 22/10/2020



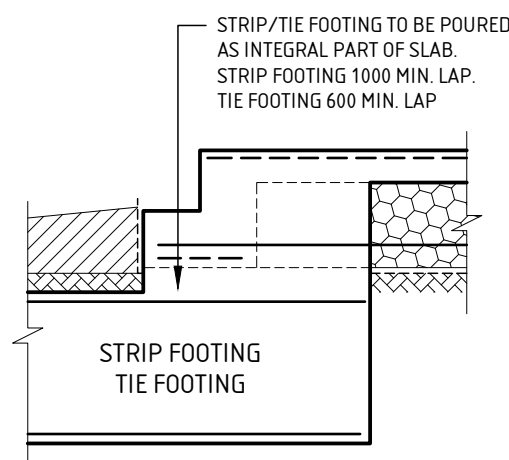
70mm MAXIMUM STEPDOWN.
 REFER SLAB PLAN FOR LOCATION IF REQUIRED.
SHOWER RECESS



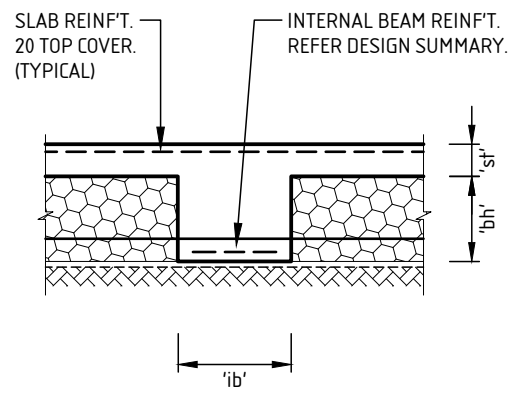
REFER SLAB PLAN FOR LOCATION IF REQUIRED
 NOT SUITABLE FOR WATER TANKS
SERVICE SLAB



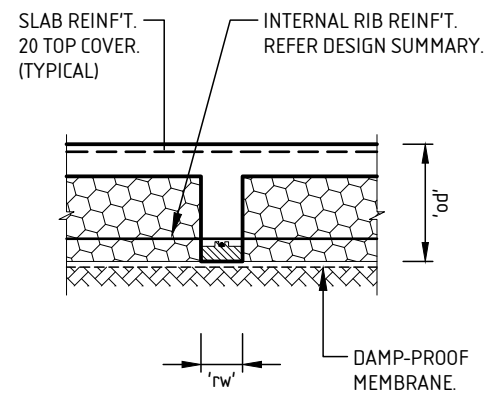
STAGGER SPLICES. DO NOT ALLOW MORE THAN 3 BUNDLED BARS IN ANY LOCATION.
2 LAYERS OF REINFORCEMENT PLACEMENT REQUIREMENT



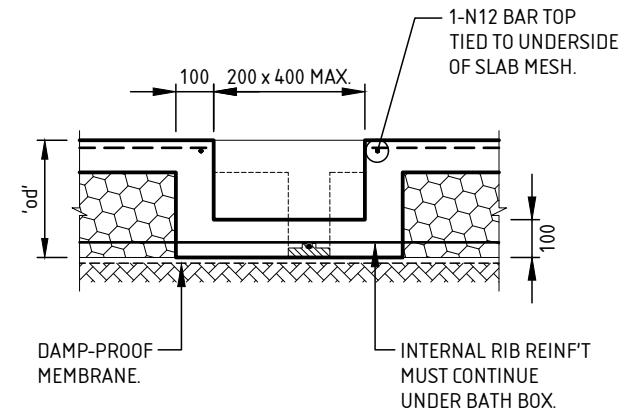
STRIP/TIE FOOTING LAPPING



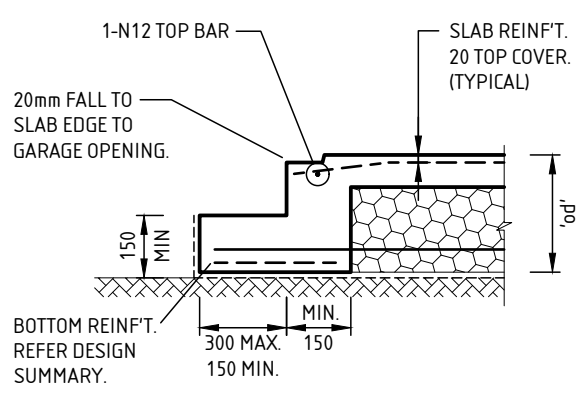
WHERE REQUIRED
INTERNAL BEAM



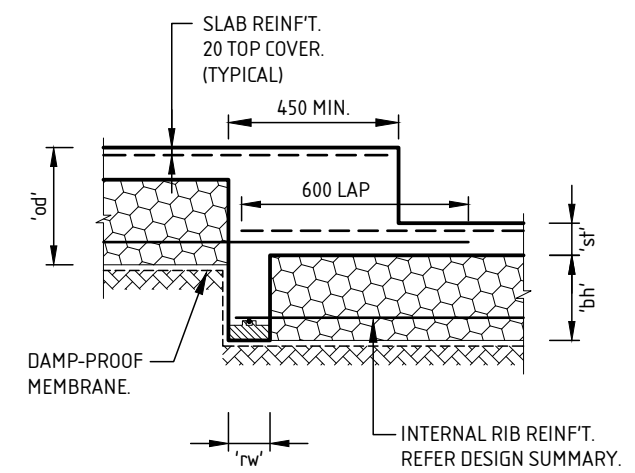
TYPICAL INTERNAL RIB



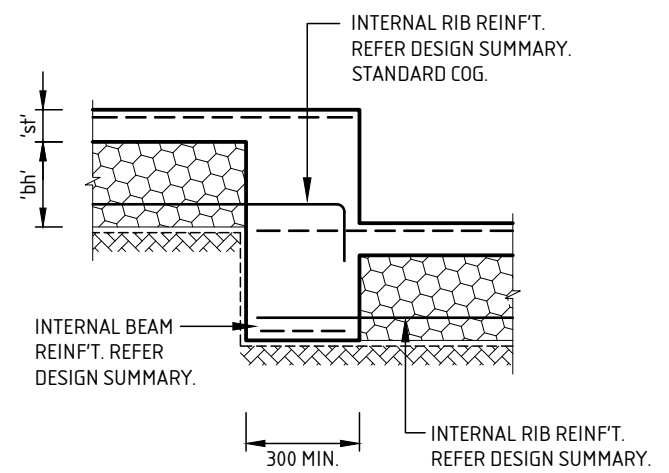
REFER ARCHITECTURAL PLANS FOR LOCATION
TYPICAL BATH BOX DETAIL



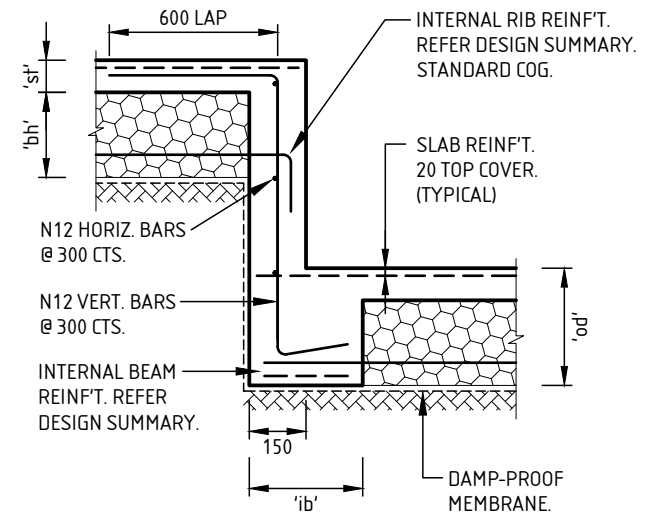
REFER SLAB PLAN FOR LOCATION IF REQUIRED.
WIDENED GARAGE EDGE BEAM



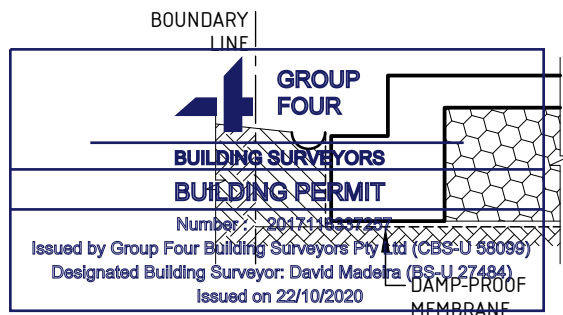
200mm MAXIMUM STEPDOWN
SLAB STEPDOWN



344mm MAXIMUM STEPDOWN
SLAB STEPDOWN



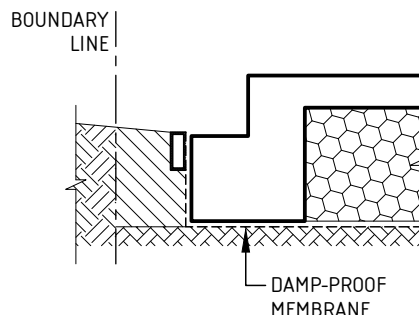
345-1200mm MAXIMUM STEPDOWN
SLAB STEPDOWN



PROVIDE SPOON DRAIN OR SPLIT PVC PIPE OR EQUIVALENT PRODUCT OVER COMPACTED CLAY CONNECTED TO LEGAL POINT OF DISCHARGE. DETAIL ONLY REQUIRED WHEN GROUND SLOPES TOWARDS EDGE BEAM OR ADJACENT GROUND LEVEL IS FLAT.

EDGE BEAM ON BOUNDARY

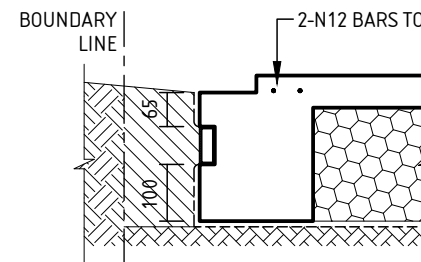
OPTION A



PROVIDE 100mm DEEP STRIP DRAIN OR EQUIVALENT PRODUCT WITH GEOTEXTILE OVER COMPACTED CLAY CONNECTED TO LEGAL POINT OF DISCHARGE. DETAIL ONLY REQUIRED WHEN GROUND SLOPES TOWARDS EDGE BEAM OR ADJACENT GROUND LEVEL IS FLAT.

EDGE BEAM ON BOUNDARY

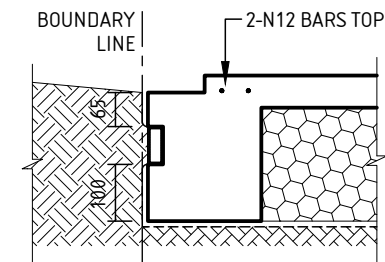
OPTION B



PROVIDE 100mm DEEP STRIP DRAIN OR EQUIVALENT PRODUCT WITH GEOTEXTILE CONNECTED TO LEGAL POINT OF DISCHARGE. PROVIDE REBATE TO SUIT AND DEEPEN EDGE BEAM TO ACHIEVE MINIMUM DIMENSIONS AS REQUIRED. DETAIL ONLY REQUIRED WHEN GROUND SLOPES TOWARDS EDGE BEAM OR ADJACENT GROUND LEVEL IS FLAT.

EDGE BEAM ON BOUNDARY

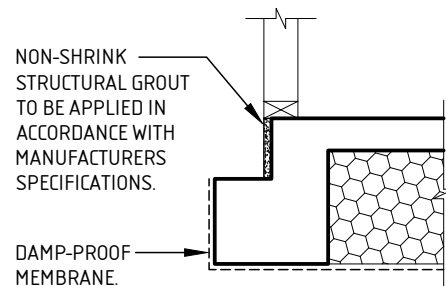
OPTION C



PROVIDE 100mm DEEP STRIP DRAIN OR EQUIVALENT PRODUCT WITH GEOTEXTILE CONNECTED TO LEGAL POINT OF DISCHARGE. PROVIDE REBATE TO SUIT AND DEEPEN EDGE BEAM TO ACHIEVE MINIMUM DIMENSIONS AS REQUIRED. DETAIL ONLY REQUIRED WHEN GROUND SLOPES TOWARDS EDGE BEAM OR ADJACENT GROUND LEVEL IS FLAT.

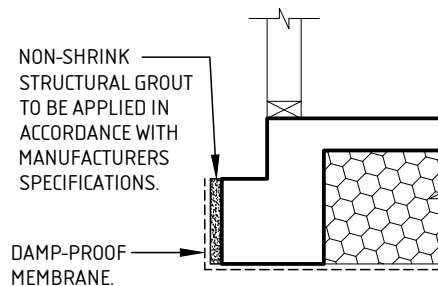
EDGE BEAM ZERO LOT LINE

OPTION D



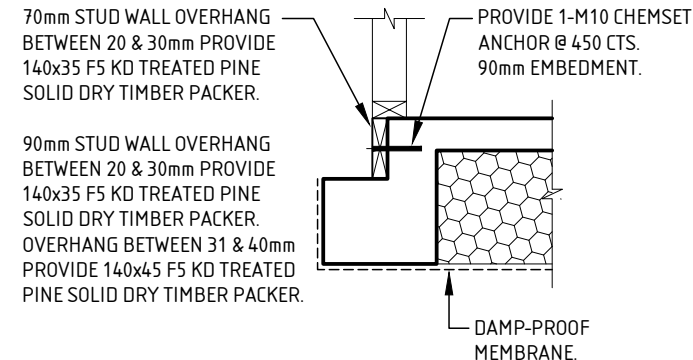
EDGE BEAM RECTIFICATION

15-20mm FRAME OVERHANG



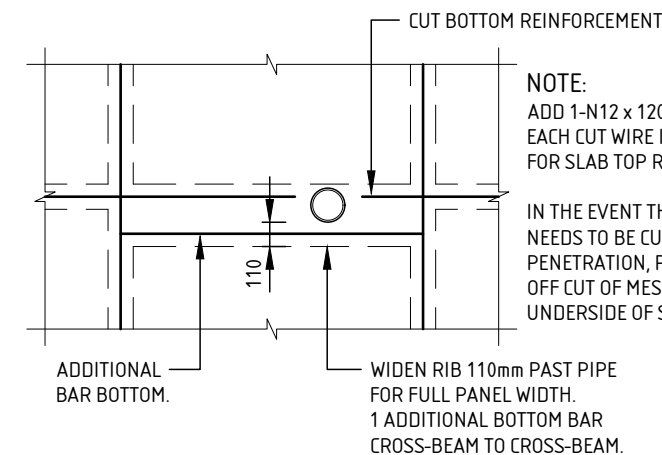
EDGE BEAM RECTIFICATION

15-30mm BRICK/CLADDING OVERHANG



EDGE BEAM RECTIFICATION

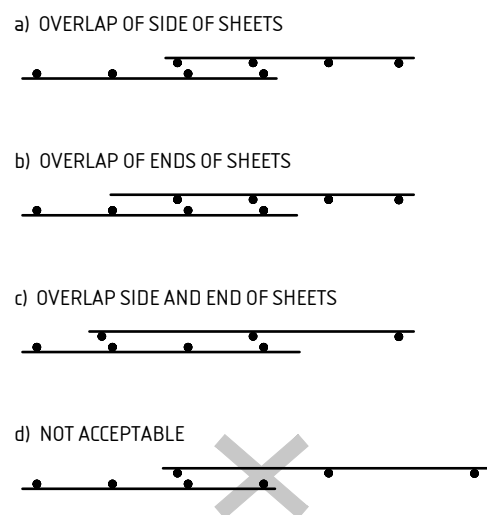
20-40mm FRAME OVERHANG



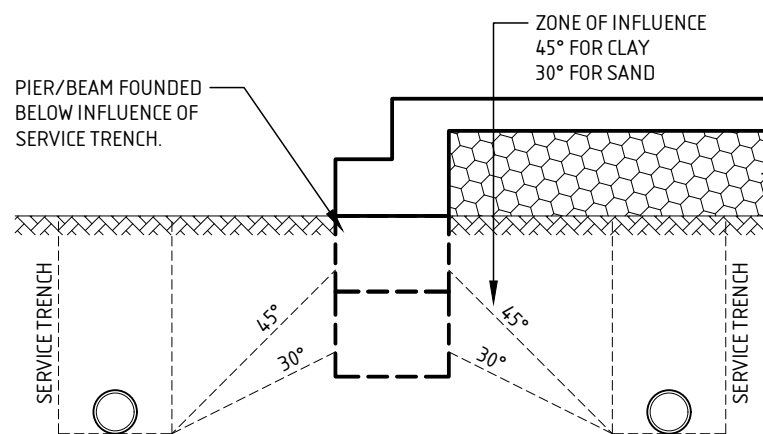
SLAB PIPE PENETRATION DETAIL

REINFT BAR	N12	N16	N20	N24
LAP LENGTH	400	600	700	800

REINFT BAR LAPPING



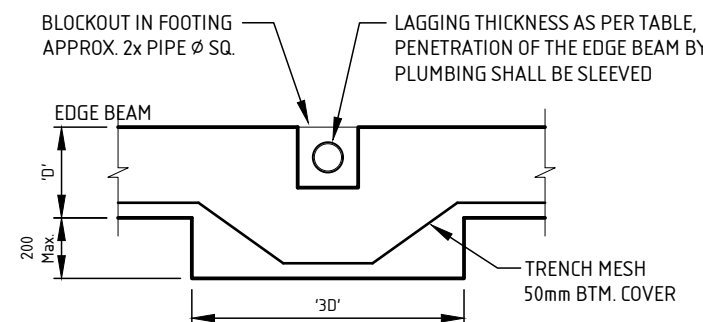
MESH LAPPING



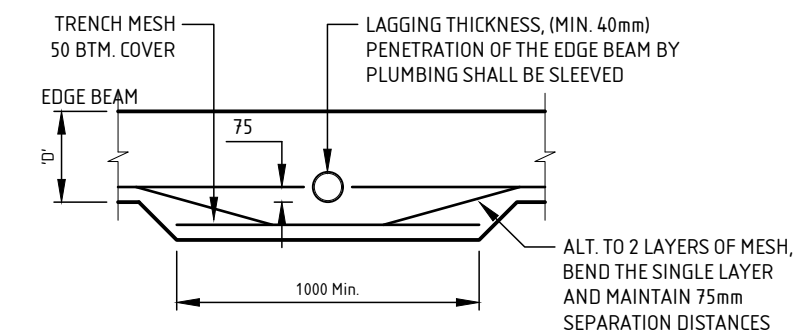
PRIVATE SERVICE TRENCH NOTES

- ST.1. PLUMBING AND DRAINAGE TRENCHES SHALL BE LOCATED OUTSIDE THE INFLUENCE OF THE FOOTINGS. THE HORIZONTAL DISTANCE TO ANY TRENCH EXCAVATION MUST BE GREATER THAN THE TRENCH DEPTH IN ACCORDANCE WITH CLAUSE 6.3 FROM AS 2870-2011. THIS HORIZONTAL CLEARANCE TO BE INCREASED MORE THAN TWICE THE TRENCH DEPTH FOR SAND SITES. FOOTING PIERS WILL BE NECESSARY UNDER ALL EDGE BEAMS IF THESE CONDITIONS ARE NOT MET.
- ST.2. TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH CLAUSE 5.5 OF AS/NZS 3500.2-2003 OR CLAUSE 7.2.13 OF AS/NZS 3500.3-2003. SAND BEDDING AND SURROUND SHALL BE BLOCKED WITH A CLAY PLUG WHEREVER TRENCHES PASS UNDER THE EDGE OF ANY SLAB.

PRIVATE SERVICE TRENCH DETAIL

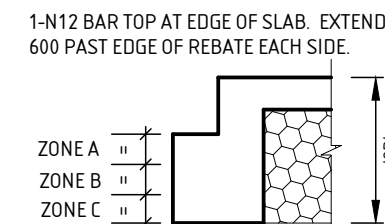


EDGE BEAM THICKENING DETAIL 1



EDGE BEAM THICKENING DETAIL 2

PLUMBING PIPE PENETRATION DETAILS



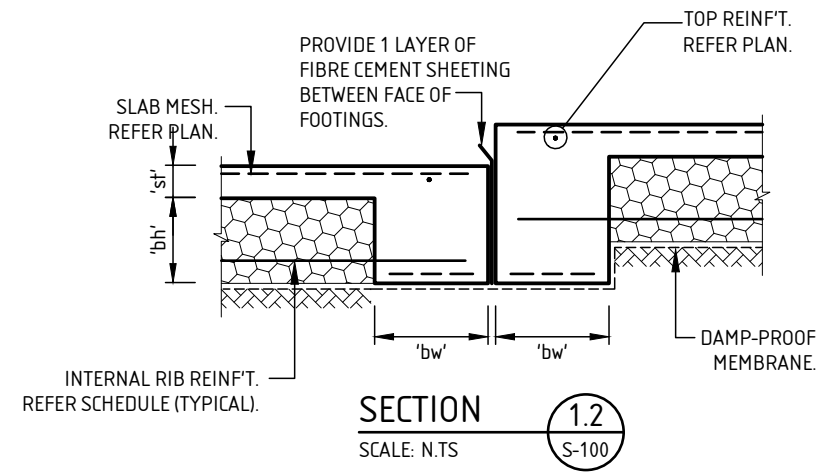
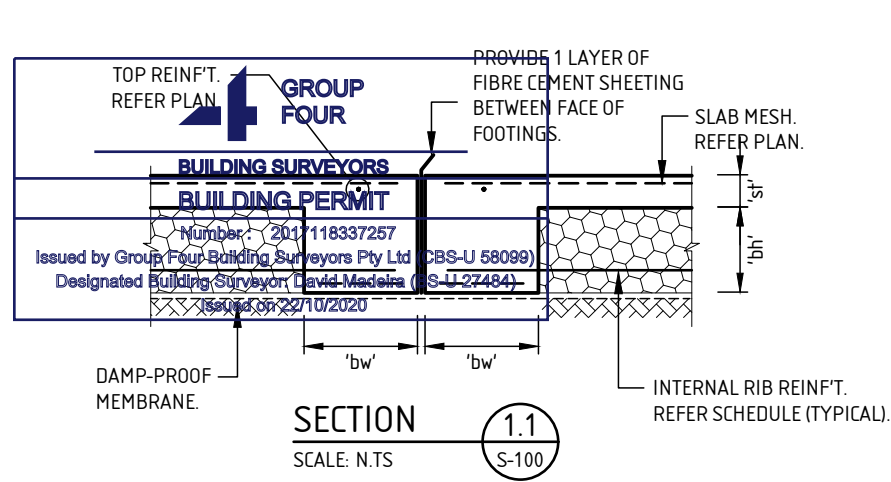
PIPE PLACEMENT DETAIL

ZONE A	REFER DETAIL 1
ZONE B	NO THICKENING REQ'D
ZONE C	REFER DETAIL 2

MIN. REQUIREMENTS FOR LAGGING THICKNESS

SITE CLASS	MIN. LAGGING THICKNESS (mm)
"M"	20
"H1"	20
"H2"	40
"E"	40
"P"	40

STEEL REINFT ON SOME DETAILS ON THIS SHEET HAS BEEN OMITTED FOR CLARITY. REFER SLAB DESIGN SUMMARY FOR REINFT.



APPROVED
GERVASE PURICH
CIVIL ENGINEER
RBP. EC46702

CLIENT
HOMEBUYERS CENTRE
OCTAVE 18 - FACADE 2
CLIENT JOB NO.40821


SHEET
FOOTING & SLAB DETAILS - SHEET 4
SCALE N.T.S @ A3

PROJECT ADDRESS
LOT 31438, ANTARES PARADE, KALKALLO

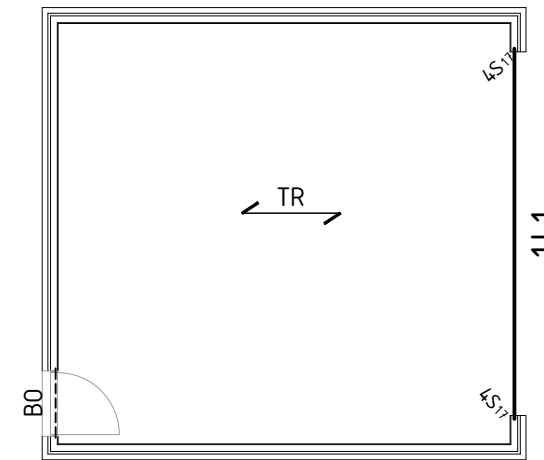
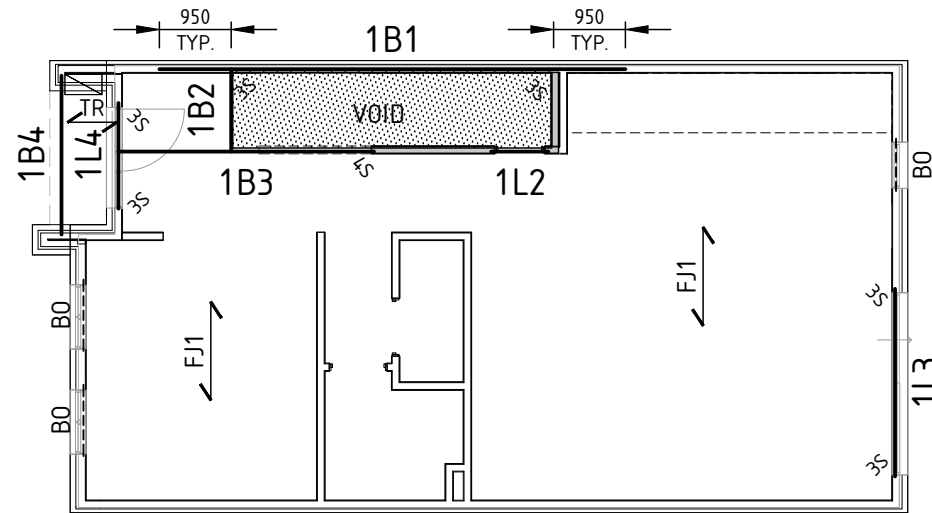



DESIGN BY PTC	REVISION 0	PROJECT NO. 130054
CHECKED CB	DATE 03/08/20	SHEET NO. S-203

MEMBER SCHEDULE		
LABEL	MEMBER SIZE	COMMENTS
B0	BEAM or LINTEL	BY OTHERS
1B1	300x75 HYPAN LVL	WIND BEAM. CONT. 3 SPANS. END SPANS CONNECTED TO FLOOR JOIST AS SHOWN.
1B2	300x45 HYPAN LVL	
1B3	2/300x45 HYPAN LVL	
1B4	300x45 HYPAN LVL	
1L1	2/360x45 HYPAN LVL	
1L2	130x45 HYPAN LVL	
1L3	2/240x45 HYPAN LVL	
1L4	200x45 HYPAN LVL	
TR	TRUSSES/RAFTERS	BY OTHERS
FJ1	FLOOR JOISTS	REFER MANUFACTURER'S DESIGN & SPECIFICATIONS

INTERNAL LOAD BEARING WALL
 DENOTED AS  ON PLAN. ALL TIMBER FRAMING IS TO BE IN ACCORDANCE WITH AS1684 AND AS1720.

FRAMING DESIGN BASED ON SHEET ROOF LOADS



APPROVED GERVASE PURICH CIVIL ENGINEER RBP. EC46702	CLIENT HOMEBUYERS CENTRE OCTAVE 18 - FACADE 2 CLIENT JOB NO.40821	SHEET FIRST FLOOR FRAMING PLAN SCALE 1:100 @ A3	PROJECT ADDRESS LOT 31438, ANTARES PARADE, KALKALLO		DESIGN BY PTC	REVISION 0	PROJECT NO. 130054
					CHECKED CB	DATE 03/08/20	SHEET NO. S-300

MEMBER SCHEDULE		
LABEL	MEMBER SIZE	COMMENTS
B0	BEAM or LINTEL	BY OTHERS
TR	TRUSSES/RAFTERS	BY OTHERS

FRAMING DESIGN BASED ON SHEET ROOF LOADS

GROUP FOUR

BUILDING SURVEYORS

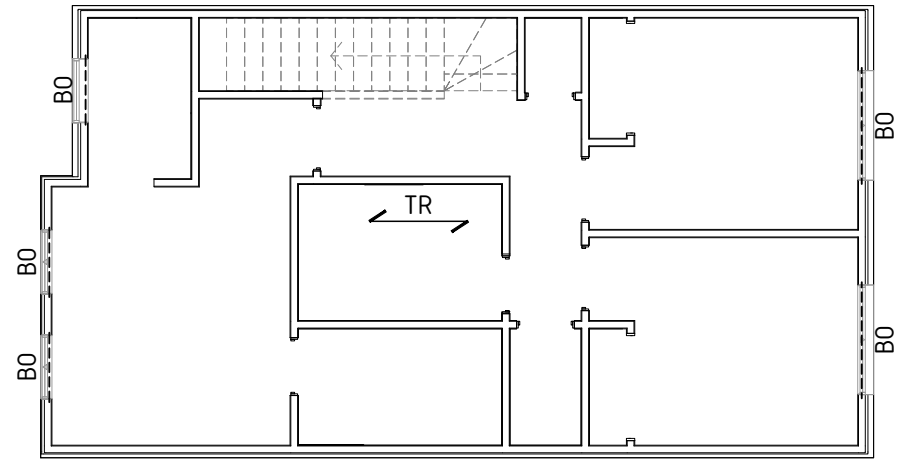
BUILDING PERMIT


Number : 2017118337257

Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)

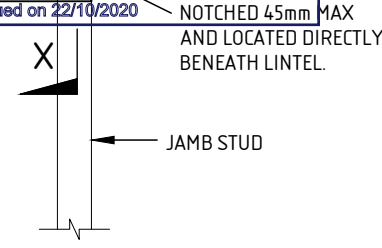
Designated Building Surveyor: David Madeira (BS-U 27484)

Issued on 22/10/2020

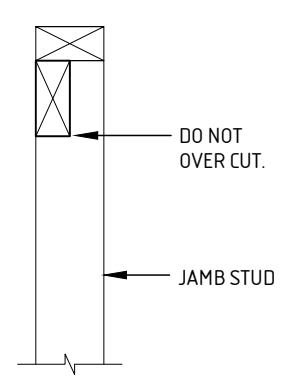


APPROVED GERVASE PURICH CIVIL ENGINEER RBP. EC46702	CLIENT HOMEBUYERS CENTRE OCTAVE 18 - FACADE 2 CLIENT JOB NO.40821	SHEET ROOF FRAMING PLAN SCALE 1:100 @ A3	PROJECT ADDRESS LOT 31438, ANTARES PARADE, KALKALLO		DESIGN BY PTC	REVISION 0	PROJECT NO. 130054
					CHECKED CB	DATE 03/08/20	SHEET NO. S-301

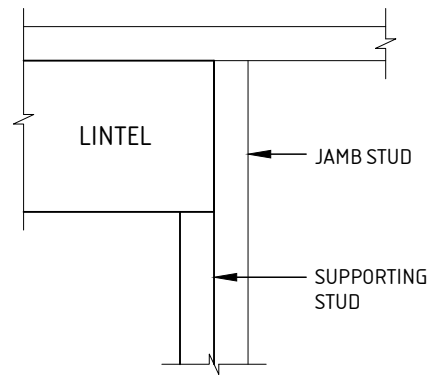
GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT
 Number: 2017118337257
 Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
 Designated Building Surveyor: David Madeira (BS-U 27484)
 Issued on 22/10/2020



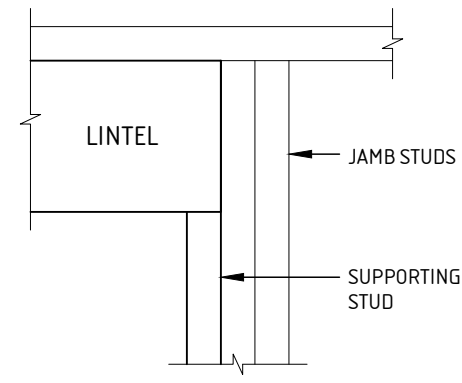
1S DETAIL



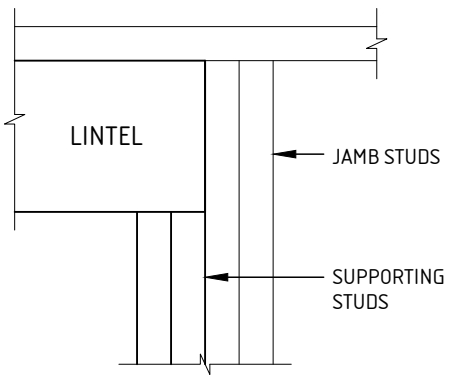
SECTION X-X



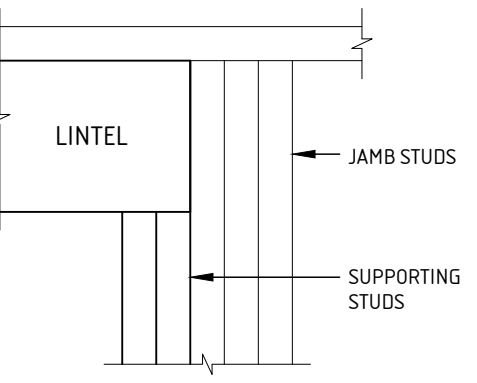
2S DETAIL



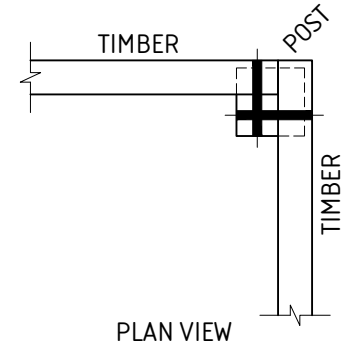
3S DETAIL



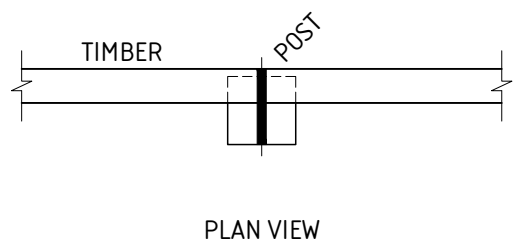
4S DETAIL



5S DETAIL



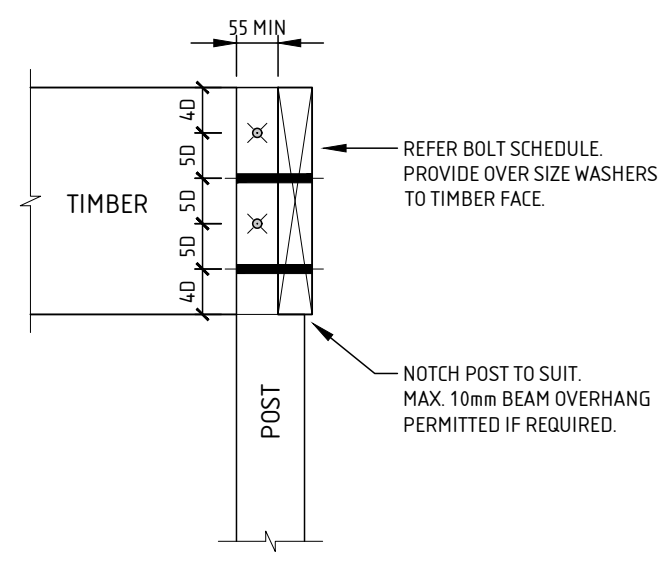
PLAN VIEW



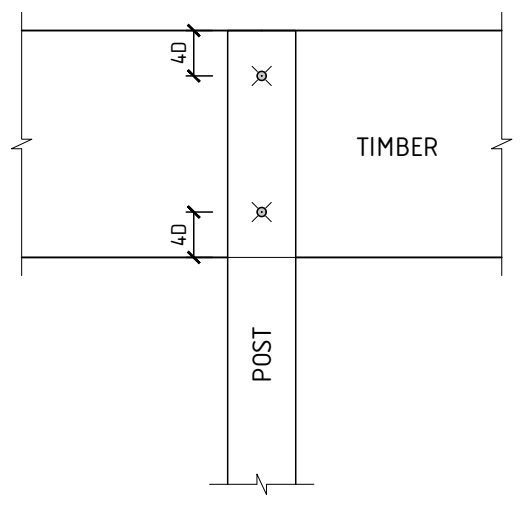
PLAN VIEW

ALL 45mm THICK STUDS TO BE NAIL LAMINATED WITH 3.12 ϕ x 90mm FH NAILS @ 600 CTS. MAX.
 ALL 35mm THICK STUDS TO BE NAIL LAMINATED WITH 3.12 ϕ x 75mm FH NAILS @ 600 CTS. MAX.

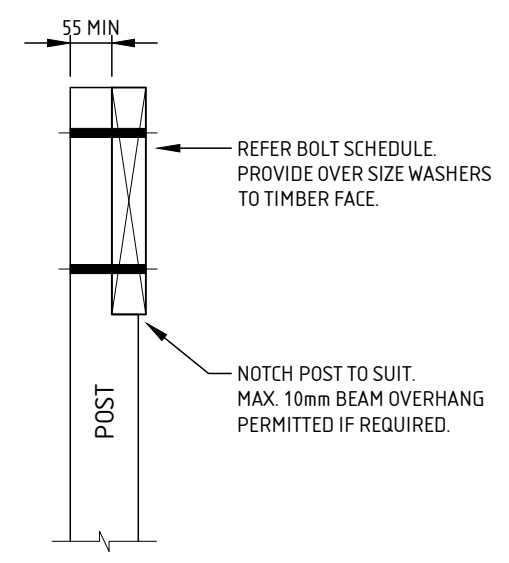
LINTEL SUPPORT DETAILS
 (UNLESS NOTED OTHERWISE)



ELEVATION VIEW



ELEVATION VIEW



SECTION VIEW

BOLT SCHEDULE	
BEAM DEPTH	BOLTS
150 to 180	2-M6 4.6/S
181 to 249	2-M8 4.6/S
250 to 379	2-M10 4.6/S
380 to 410	3-M10 4.6/S

TIMBER BEAM TO TIMBER POST
 (UNLESS NOTED OTHERWISE)

BOLT SCHEDULE	
BEAM DEPTH	BOLTS
150 to 180	2-M6 4.6/S
181 to 249	2-M8 4.6/S
250 to 379	3-M10 4.6/S
380 to 410	3-M12 4.6/S

TIMBER BEAM OVER TIMBER POST
 (UNLESS NOTED OTHERWISE)

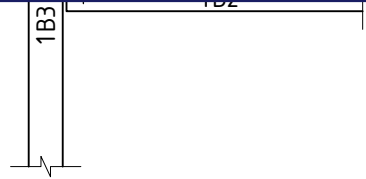
LINTEL SUPPORT TABLE		
LABEL	SUPPORTING STUDS	JAMB STUDS
1S	1/90x45 MGP10 (notching)	
2S	1/90x45 MGP10	1/90x45 MGP10
3S	1/90x45 MGP10	2/90x45 MGP10
4S	2/90x45 MGP10	2/90x45 MGP10
5S	2/90x45 MGP10	3/90x45 MGP10
1S35	1/90x35 MGP10 (notching)	
2S35	1/90x35 MGP10	1/90x35 MGP10
3S35	1/90x35 MGP10	2/90x35 MGP10
4S35	2/90x35 MGP10	2/90x35 MGP10
5S35	2/90x35 MGP10	3/90x35 MGP10
1S17	1/90x45 F17 (notching)	
2S17	1/90x45 F17	1/90x45 F17
3S17	1/90x45 F17	2/90x45 F17
4S17	2/90x45 F17	2/90x45 F17
5S17	2/90x45 F17	3/90x45 F17

BEAM & TRUSS SUPPORT TABLE	
LABEL	SUPPORTING STUDS
1S	1/90x45 MGP10
2S	2/90x45 MGP10
3S	3/90x45 MGP10
4S	4/90x45 MGP10
5S	5/90x45 MGP10
1S35	1/90x35 MGP10
2S35	2/90x35 MGP10
3S35	3/90x35 MGP10
4S35	4/90x35 MGP10
5S35	5/90x35 MGP10
1S17	1/90x45 F17
2S17	2/90x45 F17
3S17	3/90x45 F17
4S17	4/90x45 F17
5S17	5/90x45 F17

GROUP FOUR BUILDING SURVEYORS BUILDING PERMIT

MITEK SPLIT HANGER SPH220 TO SIDE OF BEAM.
10 MSA1430 MITEK No.14x30 LONG ANTI-SPLIT SELF-DRILLING HD GALVANISED SCREWS TO EACH FACE OF SPLIT HANGER.
10 MSA1465 MITEK No.14x65 LONG ANTI-SPLIT SELF-DRILLING HD GALVANISED SCREWS TO EACH FACE OF SPLIT HANGER.

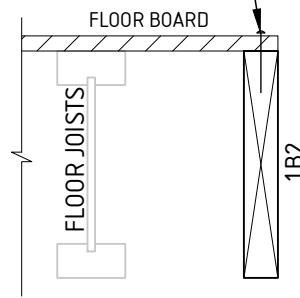
Number: 2017118337257
Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
Designated Building Surveyor: David Madeira (BS-U 27484)
Issued on 22/10/2020



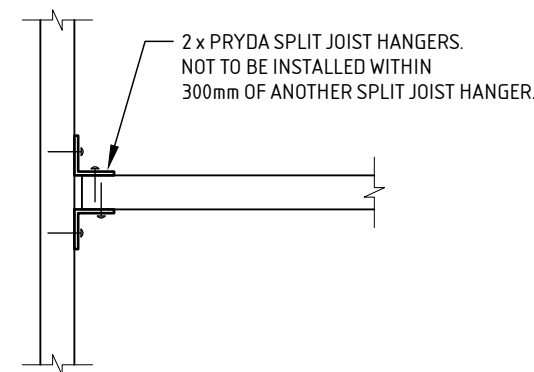
1B2 TO 1B3 CONNECTION DETAIL

1B2 TO 1B1 SIMILAR

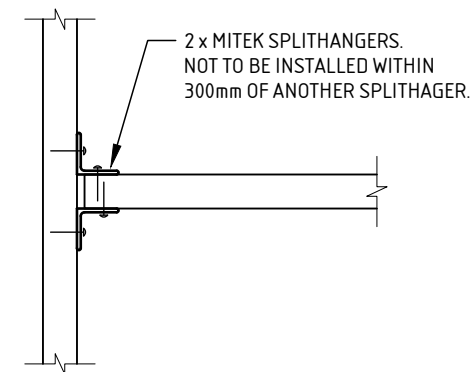
14g x 75 BUGLE BATTEN SCREWS @100 CTS.



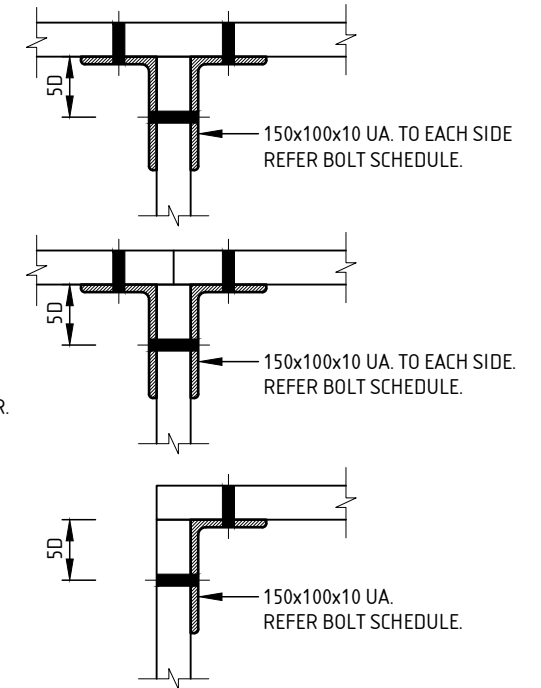
FLOOR BOARD FIXED TO 1B2 DETAIL



PLAN VIEW

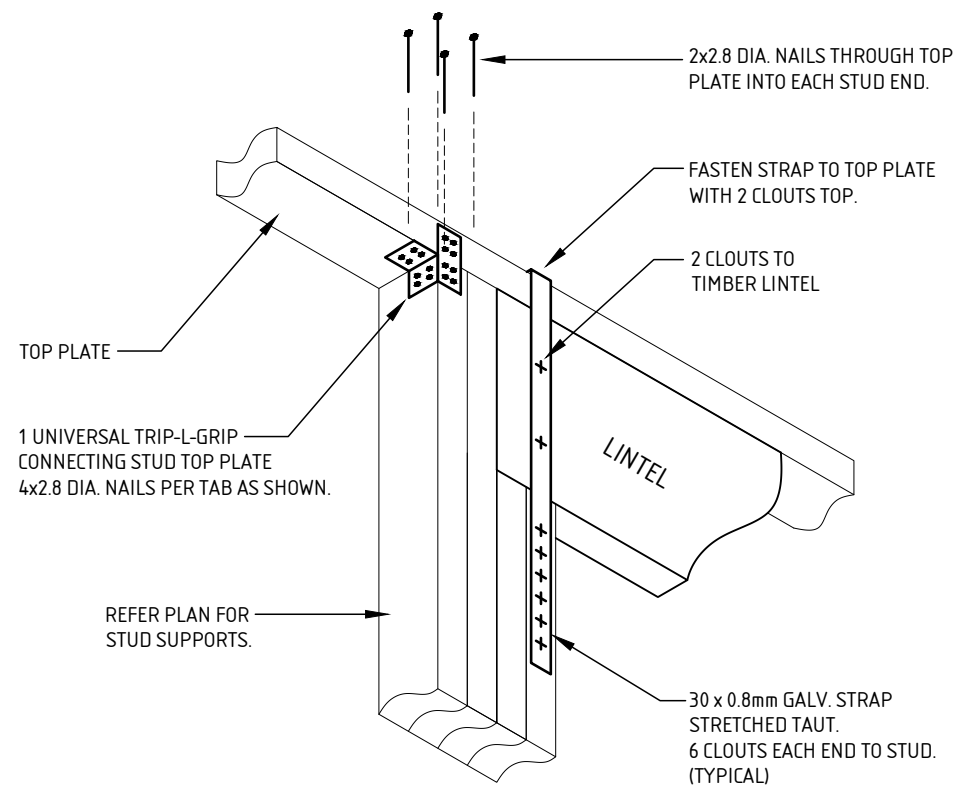


PLAN VIEW



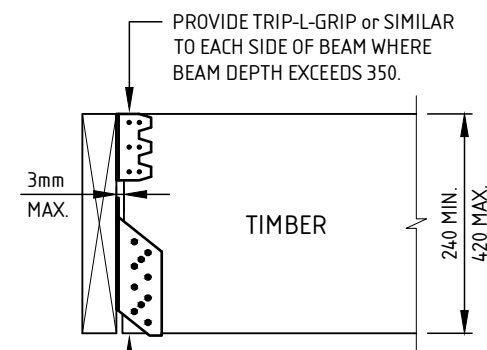
PLAN VIEWS

D = BOLT DIAMETER



GARAGE LINTEL CONNECTION

(UNLESS NOTED OTHERWISE)



PRYDA SPLIT JOIST HANGER TO EACH SIDE. INSTALLED TO MANUFACTURER'S SPECIFICATIONS, NOT RECOMMENDED FOR HARDWOODS.

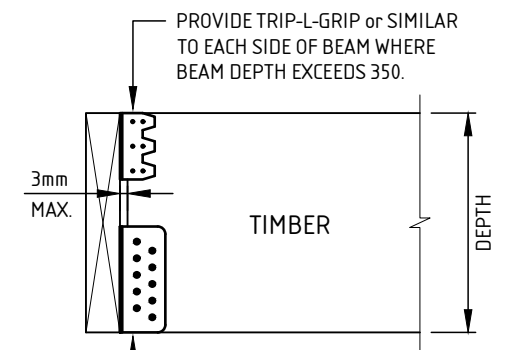
SINGLE MEMBERS ADOPT 10 No. PRYDA WTF 12-35 (No.12x35mm TYPE 17 HEX HEAD SCREWS) TO EACH FACE OF HANGER.

DOUBLE MEMBERS ADOPT 10 No. PRYDA WTF 12-65 (No.12x65mm TYPE 17 HEX HEAD SCREWS) TO EACH FACE OF HANGER.



SPLIT JOIST HANGER CONNECTION

(UNLESS NOTED OTHERWISE)



MITEK SPLITHANGER TO EACH SIDE. INSTALLED TO MANUFACTURER'S SPECIFICATIONS. REFER SCHEDULE BELOW.

SPLITHANGER SCHEDULE		
BEAM DEPTH	SPLITHANGER	NO. OF *SCREWS
170 - 190	SPH140	6
200	SPH180	8
240 - 420	SPH220	10

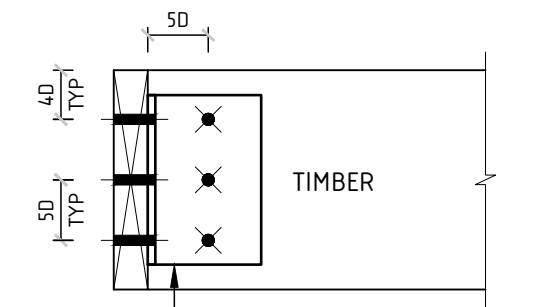
*SINGLE MEMBERS ADOPT MITEK MSA1430 x 30mm SCREWS TO EACH FACE OF SPLITHANGER.

*DOUBLE MEMBERS ADOPT MITEK MSA1465 x 65mm SCREWS TO EACH FACE OF SPLITHANGER.



SPLITHANGER CONNECTION

(UNLESS NOTED OTHERWISE)



150x100x10 UA. REFER PLAN VIEWS. REFER BOLT SCHEDULE & PROVIDE OVERSIZE WASHERS TO TIMBER FACE.

BOLT SCHEDULE	
BEAM DEPTH	BOLTS
130 to 150	2-M10 4.6/S
170 to 200	2-M12 4.6/S
230 to 250	3-M12 4.6/S
290 to 360	3-M16 4.6/S
> 360	4-M16 4.6/S



STEEL ANGLE CONNECTION

(UNLESS NOTED OTHERWISE)

APPROVED
GERVASE PURICH
CIVIL ENGINEER
RBP. EC46702

CLIENT
HOMEBUYERS CENTRE
OCTAVE 18 - FACADE 2
CLIENT JOB NO.40821

SHEET
FRAMING DETAILS - SHEET 2
SCALE N.T.S @ A3

PROJECT ADDRESS
LOT 31438, ANTARES PARADE, KALKALLO



DESIGN BY PTC	REVISION 0	PROJECT NO. 130054
CHECKED CB	DATE 03/08/20	SHEET NO. S-401

LOT 31439
OCTAVE 18
FACADE 1 - RH
283m²

LOT 31438
OCTAVE 18
FACADE 2 - LH
150m²

LOT 31437
OCTAVE 18
FACADE 3 - RH
150m²

LOT 31436
OCTAVE 18
FACADE 3 - LH
150m²

LOT 31435
OCTAVE 18
FACADE 2 - RH
150m²

LOT 31434
OCTAVE 18
FACADE 3 - RH
150m²

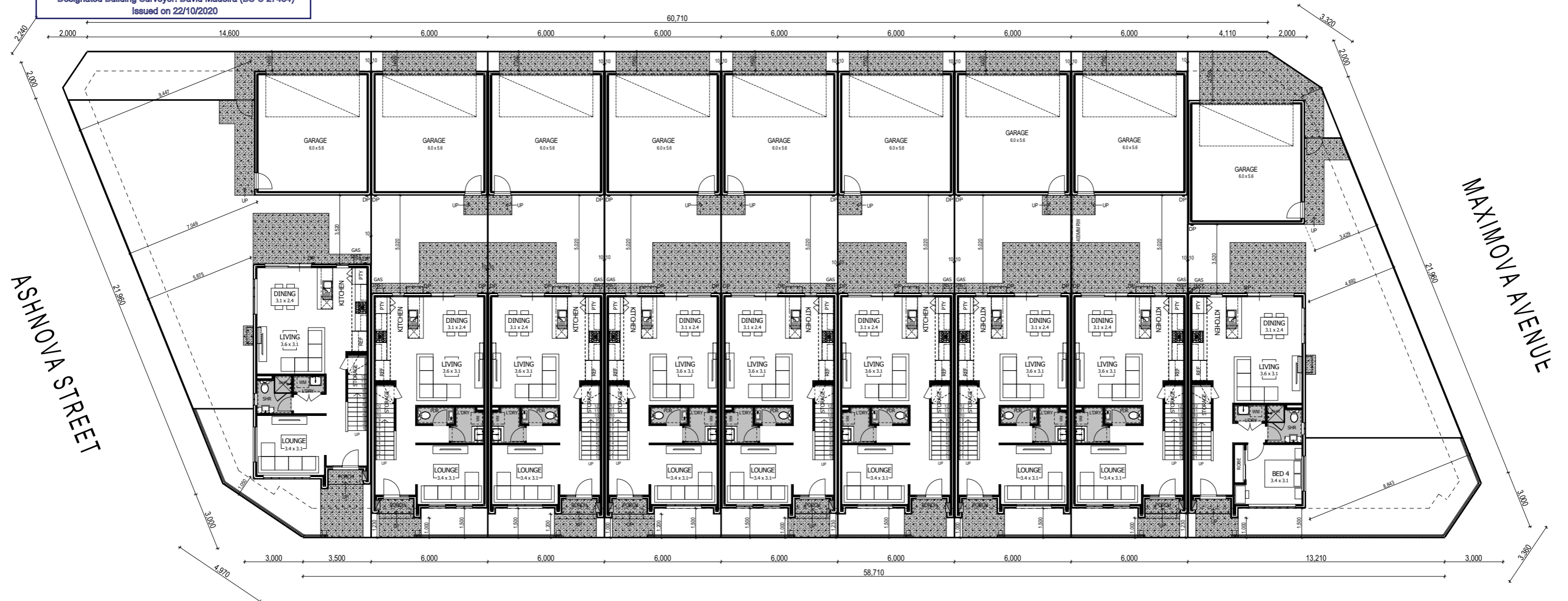
LOT 31433
OCTAVE 18
FACADE 3 - LH
150m²

LOT 31432
OCTAVE 18
FACADE 2 - RH
150m²

LOT 31431
OCTAVE 18
FACADE 1 - LH
273m²

GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT
Number: 2017118337257
Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
Designated Building Surveyor: David Madeira (BS-U 27484)
Issued on 22/10/2020

YISUN LANE



ASHNOVA STREET

MAXIMOVA AVENUE

NOTE:
TOWN PLANNING NOT REQUIRED.
SLHC TYPE B APPLIES.
RECYCLED WATER TO ESTATE
FIBRE OPTIC NETWORK: NBN

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All drawings are representative and to be used as a guide only.

LOT	DWELLING										
	GROUND FLOOR (m2)	FIRST FLOOR (m2)	LANDING (m2)	GARAGE (m2)	TOTAL (m2)	SITE (m2)	COVERAGE (%)	PAVING (m2)	PERMEABLE AREA (m2)	PERMEABILITY (%)	P.O.S (m2)
31431	66.09	65.5	1.84	38.4	171.83	273	38.95%	36.69	129.98	47.61%	97.77
31432	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.5	24.18	16.12%	30.12
31433	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.92	23.76	15.84%	30.12
31434	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.68	24	16.00%	30.12
31435	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.74	23.94	15.96%	30.12
31436	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.92	23.76	15.84%	30.12
31437	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.92	23.76	15.84%	30.12
31438	65.22	64.95	1.83	38.27	170.27	150	70.21%	20.84	23.84	15.89%	30.12
31439	66.09	65.5	1.84	38.4	171.83	283	37.57%	32.67	144	50.88%	122.3

REVISIONS:		
J	FINAL GROUP PLANS	01/05/20 PT
K	CORRECTIONS	11/05/20 VC
L	CLAROS	08/09/20 PT
D	SERVICES CORRECTIONS	29/11/18 VC
E	SHAFTLINER TO SPLIT CONTRACT	02/01/19 DR
F	LANDSCAPING UPDATE	05/03/19 DR
G	SHOW RW HEIGHTS	02/05/19 MW
H	4 BED OCTAVE UPDATE	16/09/19 PT
I	PRE-RTS MEETING AMENDMENTS	26/03/20 DR

GENERAL NOTES:
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

CLIENT:
STOCKLAND CLOVERTON STAGE 314
LOT 31431 - 31439 ANTARES PARADE KALKALLO

GROUND FLOOR PLAN

DESIGN: OCTAVE 18 (SC)

FACADE: VARIOUS

DRAWN BY: VC

TYP HGT:

DRAWING No: 1

HomebuyersCentre
First choice in first homes
81 LORIMER STREET
DOCKLANDS, VIC. 3008
PH: (03) 9674 4500 FAX: (03) 9674 4501



GROUP FOUR

BUILDING SURVEYORS

BUILDING PERMIT

Number: 2017118337257

Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)

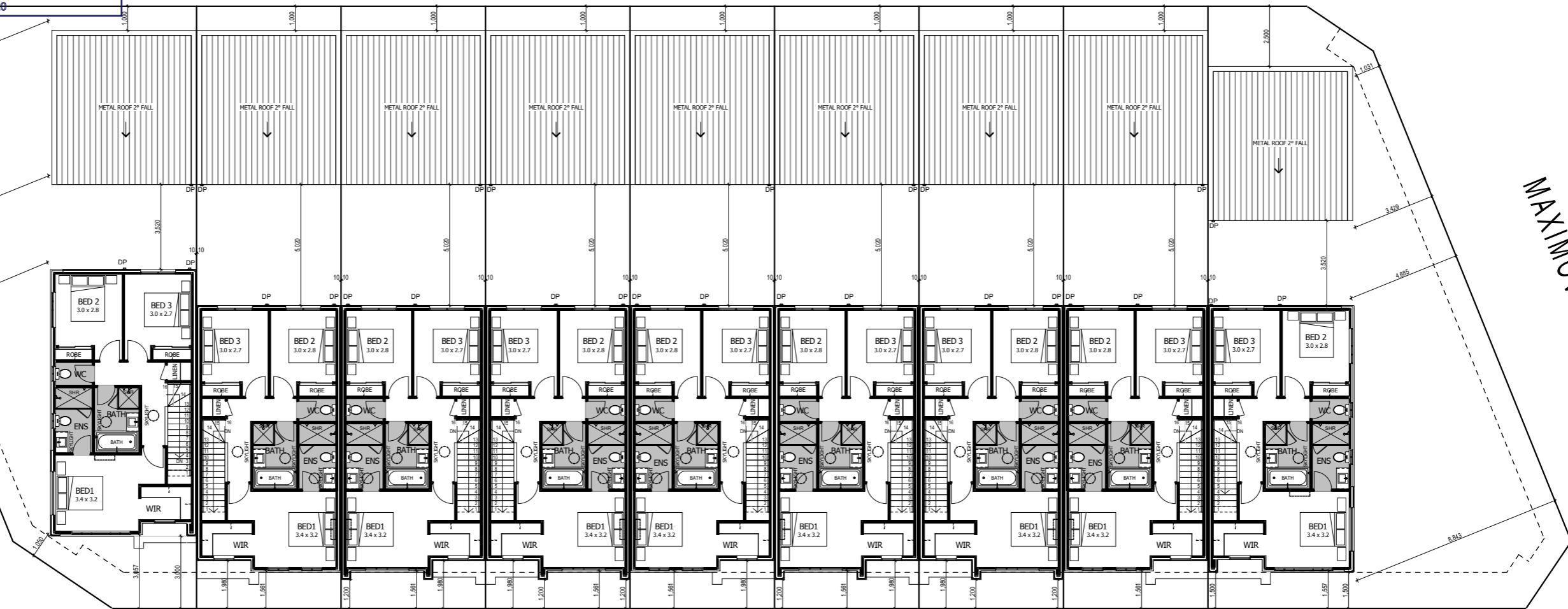
Designated Building Surveyor: David Madeira (BS-U 27484)

Issued on 22/10/2020

YISUN LANE

ASHNOVA STREET

MAXIMOVA AVENUE



ANTARES PARADE

LOT 31439 OCTAVE 18 FACADE 1 - RH 283m ²	LOT 31438 OCTAVE 18 FACADE 2 - LH 150m ²	LOT 31437 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31436 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31435 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31434 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31433 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31432 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31431 OCTAVE 18 FACADE 1 - LH 273m ²
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REVISIONS:

J	FINAL GROUP PLANS	01/05/20	PT
K	CORRECTIONS	11/05/20	VC
L	CLAROS	08/09/20	PT
D	SERVICES CORRECTIONS	29/11/18	VC
E	SHAFTLINER TO SPLIT CONTRACT	02/01/19	DR
F	LANDSCAPING UPDATE	05/03/19	DR
G	SHOW RW HEIGHTS	02/05/19	MW
H	4 BED OCTAVE UPDATE	16/09/19	PT
I	PRE-RTS MEETING AMENDMENTS	26/03/20	DR

GENERAL NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

CLIENT:

STOCKLAND CLOVERTON STAGE 314

LOT 31431 - 31439 ANTARES PARADE
KALKALLO

FIRST FLOOR PLAN

DESIGN: OCTAVE 18 (SC)

FACADE: VARIOUS

DRAWN BY:
VC

TYP HGT:

DRAWING No:



First choice in first homes

81 LORIMER STREET
DOCKLANDS, VIC. 3008

PH: (03) 9674 4500 FAX: (03) 9674 4501

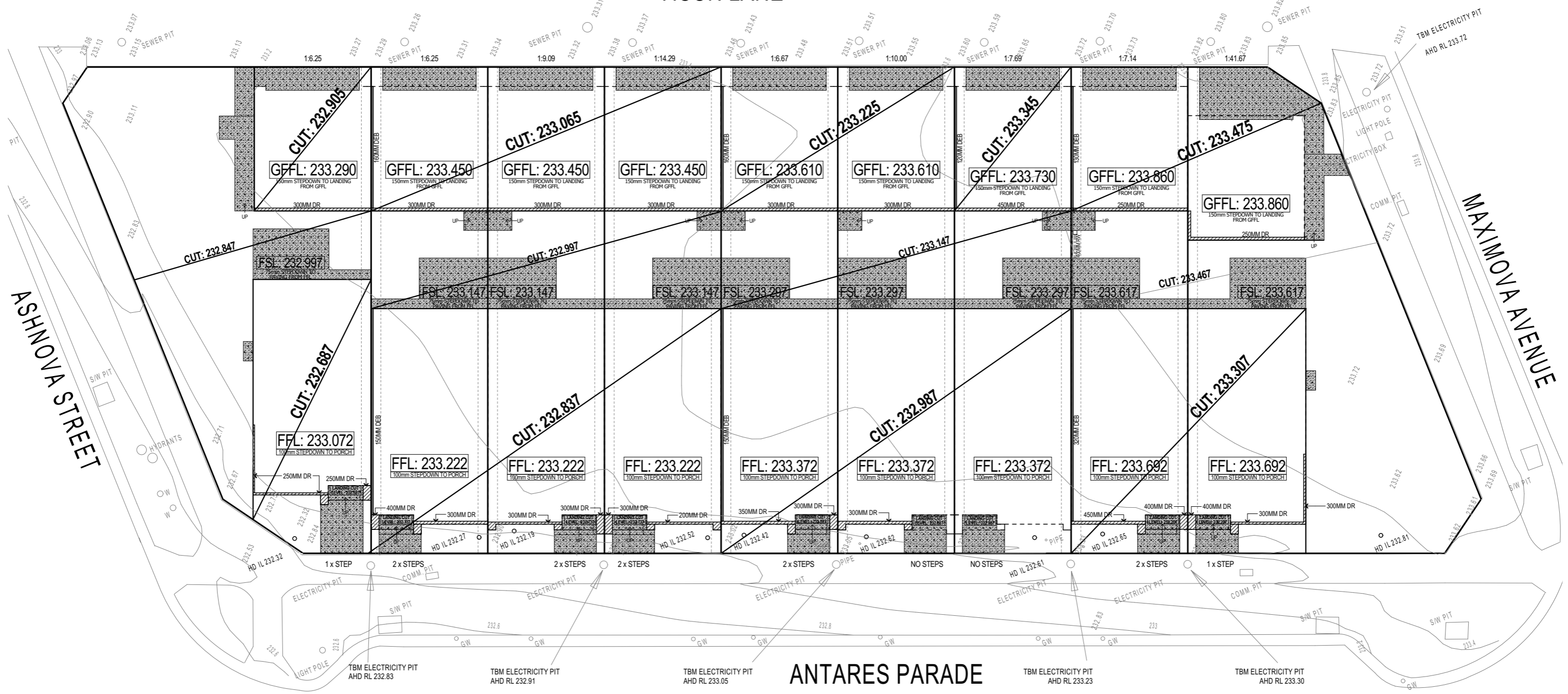
LEGEND

- DEB ——— DEEPEENED EDGE BEAM
- DR ——— DEEPEENED REBATE
- RW ——— RETAINING WALL 'TIMBER SLEEPER'
- AGI DRAIN TO BASE OF RETAINING WALL ———

GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT LOT 31439
 Number: 2017118337257
 Issued by Group Four Building Surveyors Pty Ltd (CRS 1158099)
 Designated Building Surveyor: David Madeira (S6-127484)
 Issued on 22/10/2020

LOT 31438 OCTAVE 18 FACADE 2 - LH 150m ²	LOT 31437 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31436 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31435 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31434 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31433 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31432 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31431 OCTAVE 18 FACADE 1 - LH 273m ²
---	---	---	---	---	---	---	---

YISUN LANE



DRAWING REFERENCE

- SURVEY PLAN 038043

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REVISIONS:		
J	FINAL GROUP PLANS	01/05/20 PT
K	CORRECTIONS	11/05/20 VC
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D	SERVICES CORRECTIONS	29/11/18 VC
E	SHAFTLINER TO SPLIT CONTRACT	02/01/19 DR
F	LANDSCAPING UPDATE	05/03/19 DR
G	SHOW RW HEIGHTS	02/05/19 MW
H	4 BED OCTAVE UPDATE	16/09/19 PT
I	PRE-RTS MEETING AMENDMENTS	26/03/20 DR

GENERAL NOTES:
 - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 - WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

CLIENT:
STOCKLAND CLOVERTON STAGE 314
 LOT 31431 - 31439 ANTARES PARADE
 KALKALLO

BENCHING PLAN

DESIGN: OCTAVE 18 (SC)	DRAWN BY: VC	DRAWING No:
FACADE: VARIOUS	TYP HGT:	

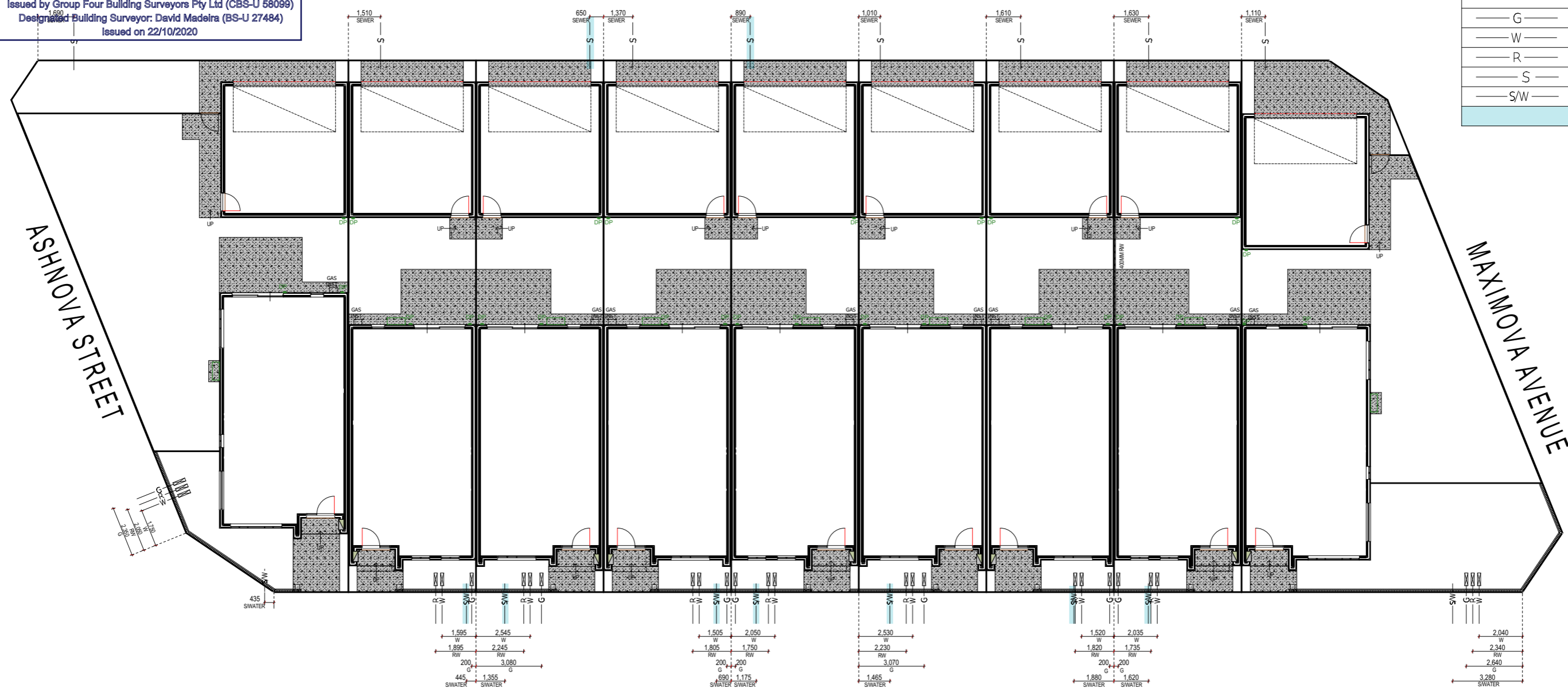
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 PH: (03) 9674 4500 FAX: (03) 9674 4501

SEWER	LOT 31439	LOT 31438	LOT 31437	LOT 31436	LOT 31435	LOT 31434	LOT 31433	LOT 31432	LOT 31431
AS CONSTRUCTED IL	IL 231.32	IL 231.43	IL 231.72	IL 231.52	IL 231.52	IL 231.73	IL 231.75	IL 231.84	IL 231.90
AS CONSTRUCTED OFFSET	1690mm from South boundary	1510mm from South boundary	650mm from North boundary	1370mm from South boundary	890mm from South boundary	1010mm from South boundary	1610mm from South boundary	1630mm from South boundary	1110mm from South boundary
AS CON. LENGTH	630mm inside boundary	640mm inside boundary	840mm inside boundary	590mm inside boundary	590mm inside boundary	490mm inside boundary	670mm inside boundary	580mm inside boundary	580mm inside boundary
REQUIRED LENGTH (CUTBACK)	---	---	300mm inside boundary	---	300mm inside boundary	---	---	---	---

GENERAL NOTES	
PROVIDE TRAFFICABLE LIDS TO SEWER TIES TO LOTS 31431-31438	
DRAWING REFERENCES	
- LAYOUT PLAN REF. 8460 E/314 REV. N	
- ASSET MAP 2	
- SURVEY 038043	
SERVICES LEGEND	
— G —	GAS
— W —	WATER
— R —	RECYCLED WATER
— S —	SEWER
— S/W —	STORMWATER
—	SERVICE CUTBACK

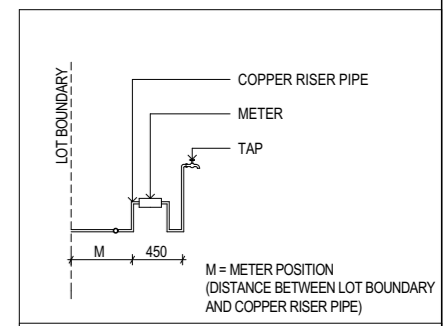
GROUP FOUR BUILDING SURVEYORS
BUILDING PERMIT
 Number: 2017118337257
 Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
 Designated Building Surveyor: David Madeira (BS-U 27484)
 Issued on 22/10/2020

YISUN LANE



ANTARES PARADE


WATER / RECYCLED WATER	LOT 31439	LOT 31438	LOT 31437	LOT 31436	LOT 31435	LOT 31434	LOT 31433	LOT 31432	LOT 31431
AS CONSTRUCTED OFFSET (water)	1750mm from East boundary	1595mm from North boundary	2545mm from South boundary	1505mm from North boundary	2050mm from South boundary	2530mm from South boundary	1520mm from North boundary	2035mm from South boundary	2040mm from North boundary
AS CONSTRUCTED OFFSET (r/water)	2050mm from East boundary	1895mm from North boundary	2245mm from South boundary	1805mm from North boundary	1750mm from South boundary	2230mm from South boundary	1820mm from North boundary	1735mm from South boundary	2340mm from North boundary
METER POSITION (M)	300mm inside boundary	300mm inside boundary	300mm inside boundary	300mm inside boundary	300mm inside boundary	300mm inside boundary	300mm inside boundary	300mm inside boundary	300mm inside boundary
STORMWATER	LOT 31439	LOT 31438	LOT 31437	LOT 31436	LOT 31435	LOT 31434	LOT 31433	LOT 31432	LOT 31431
AS CONSTRUCTED IL	IL 232.32	IL 232.270	IL 232.190	IL 232.520	IL 232.420	IL 232.620	IL 232.610	IL 232.650	IL 232.810
AS CONSTRUCTED OFFSET	435mm from North boundary	445mm from North boundary	1355mm from South boundary	690mm from North boundary	1175mm from South boundary	1465mm from South boundary	1880mm from North boundary	1620mm from South boundary	3280mm from North boundary
AS CON. LENGTH	840mm inside boundary	670mm inside boundary	505mm inside boundary	500mm inside boundary	505mm inside boundary	500mm inside boundary	495mm inside boundary	500mm inside boundary	920mm inside boundary
REQUIRED LENGTH (CUTBACK)	---	400mm inside boundary	400mm inside boundary	400mm inside boundary	400mm inside boundary	400mm inside boundary	400mm inside boundary	400mm inside boundary	---



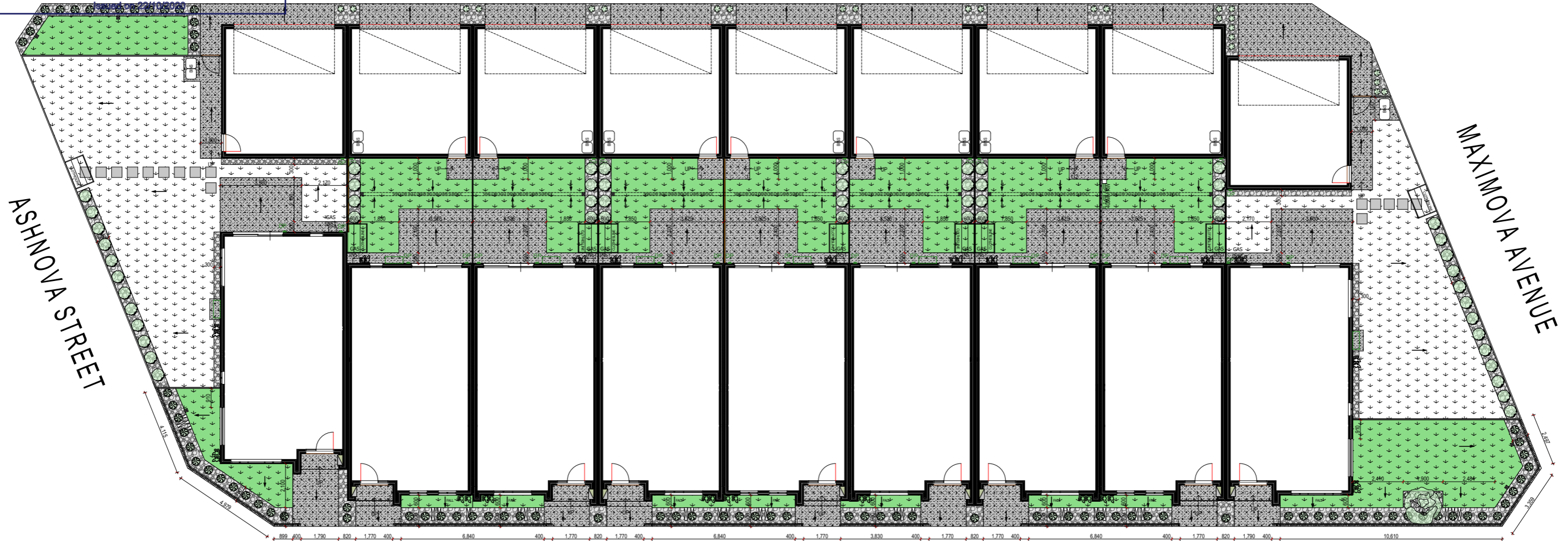
WATER & RECYCLED WATER METER DETAIL

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<p>81 LORIMER STREET DOCKLANDS, VIC. 3008 PH: (03) 9674 4500 FAX: (03) 9674 4501</p>	REVISIONS: J FINAL GROUP PLANS 01/05/20 PT K CORRECTIONS 11/05/20 VC L CLAROS 08/09/20 PT D SERVICES CORRECTIONS 29/11/18 VC E SHAFTLINER TO SPLIT CONTRACT 02/01/19 DR F LANDSCAPING UPDATE 05/03/19 DR G SHOW RW HEIGHTS 02/05/19 MW H 4 BED OCTAVE UPDATE 16/09/19 PT I PRE-RTS MEETING AMENDMENTS 26/03/20 DR	GENERAL NOTES: - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. - WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES	CLIENT: STOCKLAND CLOVERTON STAGE 314 LOT 31431 - 31439 ANTARES PARADE KALKALLO	SERVICES PLAN DESIGN: OCTAVE 18 (SC) FACADE: VARIOUS	DRAWN BY: VC TYP HGT:	DRAWING No:
	© 7/09/2020 N:\ABN VIC Projects\Developments\Stockland\Cloverton_Stage 314_Split Octave\3. Group Plans\1. ArchiCAD\Cloverton 314_Octave_200605.pln					

 GROUP FOUR BUILDING SURVEYORS BUILDING PERMIT Number: 2017118337257 Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099) Designated Building Surveyor: David Madeira (BS-U 27484)	LOT 31439 OCTAVE 18 FACADE 1 - RH 283m ²	LOT 31438 OCTAVE 18 FACADE 2 - LH 150m ²	LOT 31437 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31436 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31435 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31434 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31433 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31432 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31431 OCTAVE 18 FACADE 1 - LH 273m ²
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YISUN LANE




ANTARES PARADE

LANDSCAPING LEGEND

EXPOSED AGGREGATE CONCRETE (DAYBREAK)	LOMANDRA LONGIFOLIA 'TANIKA' 20cm POT (45cm PLANTED HEIGHT) MATURE HxW - 60cm x 60cm	CORNER BOUNDARY FENCING - 1.8M HIGH TIMBER PALING, CAPPED & LAPPED FENCE WITH EXPOSED POSTS
UTOPIA PEBBLES (NATURAL) 30mm - 80mm	RAPHIOLEPIS 'SNOW MAIDEN' 30cm POT (45cm PLANTED HEIGHT) MATURE HxW - 75cm x 50cm	INTERNAL BOUNDARY FENCING - 1.8M HIGH TIMBER PALING CAPPED & LAPPED FENCE
SYNTHETIC GRASS	ACHEMA 'ALLYN MAGIC' 18cm POT (30cm PLANTED HEIGHT) MATURE HxW - 100cm x 80cm	900mm HIGH POWDER COATED METAL BLADES WITH LETTERBOX INSERTS TO MATCH BLADES
NATURAL GRASS	LAGERSTROEMIA INDICA X FAURIEI 'TONTO' 45L POT (1.5m PLANTED HEIGHT) MATURE HxW - 3m x 3m	75mm THICK TIMBER SLEEPER EDGING TO BE FLUSH WITH GRASS LEVEL
500mm x 500mm CONCRETE PAVER IN NATURAL GRASS	DRAINAGE PIT - FALL ALL SURFACES TO CLOSEST DRAINAGE PIT	DIRECTION OF FALL
RUBBISH BINS	METERS	AUSTRAL CLOTHESLINE (1.4m x 0.935m)

PLANT SCHEDULE

SPECIES	POT SIZE	QUANTITY	MATURE SIZE (H x W)
LOMANDRA LONGIFOLIA 'TANIKA'	20cm	31	60cm x 60cm
RAPHIOLEPIS 'SNOW MAIDEN'	30cm	89	75cm x 50cm
ACHEMA 'ALLYN MAGIC'	18cm	53	100cm x 80cm
LAGERSTROEMIA INDICA X FAURIEI 'TONTO'	45L	1	3m x 3m

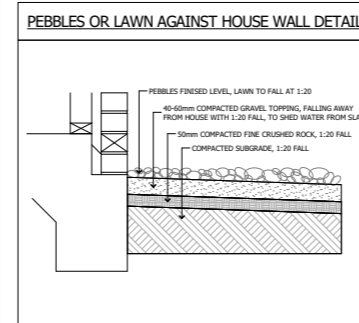


FENCING SCHEDULE

FENCE TYPE	UNIT	QUANTITY
FRONT FENCING - BLADE INSERTS	LM	54.40
FRONT FENCING - LETTERBOXES	QTY	9
CORNER BOUNDARY FENCING	LM	56.55
INTERNAL BOUNDARY FENCING	LM	37.16
GATES	QTY	2

GENERAL NOTES

- THE BUILDER RESERVES THE RIGHT TO AMEND THE PROPOSED LANDSCAPING PLAN INCLUDING THE NUMBER OF PLANTS, PLANT SPECIES, AND PROPOSED LANDSCAPING SURFACES.
- GARDEN BEDS TO BE 600mm IN WIDTH FROM BACK OF FENCE UNLESS DIMENSIONED.
- LANDSCAPER TO AVOID PLANTING WITHIN 1000mm OF DWELLING SLAB.
- PLANTS TO BE SPACED APPROXIMATELY 750mm APART UNLESS SHOWN OTHERWISE.



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REVISIONS:

REVISED BY	REVISION	DATE	TYPE
J	FINAL GROUP PLANS	01/05/20	PT
K	CORRECTIONS	11/05/20	VC
L	CLAROS	08/09/20	PT
D	SERVICES CORRECTIONS	29/11/18	VC
E	SHAFTLINER TO SPLIT CONTRACT	02/01/19	DR
F	LANDSCAPING UPDATE	05/03/19	DR
G	SHOW RW HEIGHTS	02/05/19	MW
H	4 BED OCTAVE UPDATE	16/09/19	PT
I	PRE-RTS MEETING AMENDMENTS	26/03/20	DR

GENERAL NOTES:

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CLIENT:
STOCKLAND CLOVERTON STAGE 314
 LOT 31431 - 31439 ANTARES PARADE
 KALKALLO

GROUP LANDSCAPE PLAN 31431-31439

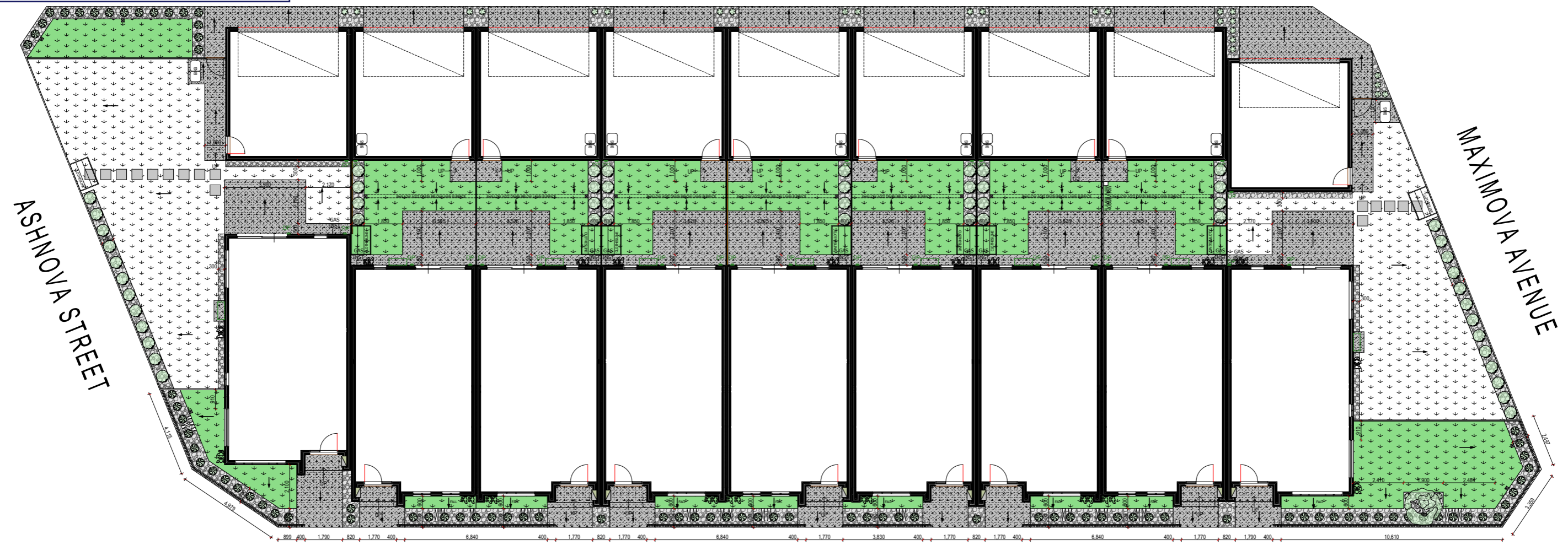
DESIGN: OCTAVE 18 (SC)	DRAWN BY: VC	DRAWING No:
FACADE: VARIOUS	TYP HGT:	



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 GROUP FOUR BUILDING SURVEYORS BUILDING PERMIT Number: 2017118337257 Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099) Designated Building Surveyor: David Madeira (BS-U 27484) Issued on 22/10/2020	LOT 31439 OCTAVE 18 FACADE 1 - RH 283m ²	LOT 31438 OCTAVE 18 FACADE 2 - LH 150m ²	LOT 31437 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31436 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31435 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31434 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31433 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31432 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31431 OCTAVE 18 FACADE 1 - LH 273m ²
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YISUN LANE



ANTARES PARADE

LANDSCAPING LEGEND	
	EXPOSED AGGREGATE CONCRETE (DAYBREAK)
	LUTOPIA PEBBLES (NATURAL) 30mm - 80mm
	SYNTHETIC GRASS
	NATURAL GRASS
	500mm x 500mm CONCRETE PAVES IN NATURAL GRASS
	RUBBISH BINS
	CORNER BOUNDARY FENCING - 1.8M HIGH TIMBER PALING, CAPPED & LAPPED FENCE WITH EXPOSED POSTS
	INTERNAL BOUNDARY FENCING - 1.8M HIGH TIMBER PALING CAPPED & LAPPED FENCE
	900mm HIGH POWDER COATED METAL BLADES WITH LETTERBOX INSERTS TO MATCH BLADES
	METERS
	CLOTHESLINE
	DIRECTION OF FALL

PLEASE NOTE
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E SHAFTLINER TO SPLIT CONTRACT	02/01/19	DR
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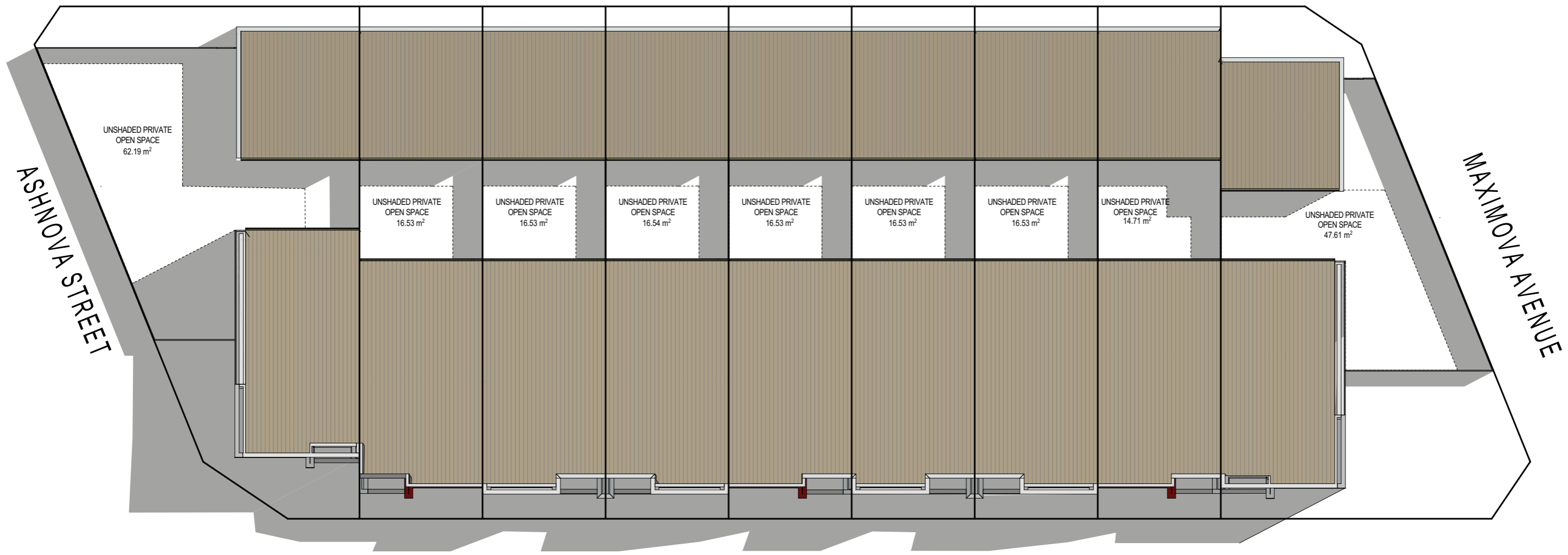
CLIENT:
STOCKLAND CLOVERTON STAGE 314
 LOT 31431 - 31439 ANTARES PARADE
 KALKALLO

GROUP LANDSCAPE PLAN 31431-31439	
DESIGN: OCTAVE 18 (SC)	DRAWN BY: VC
FACADE: VARIOUS	TYP HGT:
	DRAWING No:

GROUP FOUR
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BUILDING PERMIT
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 Designated Building Surveyor: David Madeira (BS-U 27484)
 Issued on 22/10/2020

LOT 31439 OCTAVE 18 FACADE 1 - RH 285m ²	LOT 31438 OCTAVE 18 FACADE 2 - LH 150m ²	LOT 31437 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31436 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31435 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31434 OCTAVE 18 FACADE 3 - RH 150m ²	LOT 31433 OCTAVE 18 FACADE 3 - LH 150m ²	LOT 31432 OCTAVE 18 FACADE 2 - RH 150m ²	LOT 31431 OCTAVE 18 FACADE 1 - LH 273m ²
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YISUN LANE



ANTARES PARADE

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CLIENT:
STOCKLAND CLOVERTON STAGE 314
 LOT 31431 - 31439 ANTARES PARADE
 KALKALLO

SHADOW DIAGRAM	
DESIGN: OCTAVE 18 (SC)	DRAWN BY: VC
FACADE: VARIOUS	TYP HGT:
DRAWING No:	



GROUP FOUR

BUILDING SURVEYORS

BUILDING PERMIT

Number: 2017118337257

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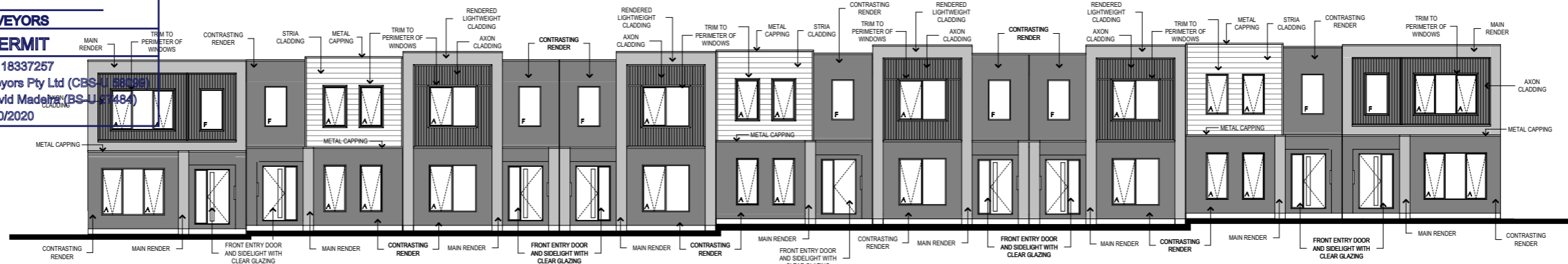
Designated Building Surveyor: David Maden (BS-U 1484)

Issued on 22/10/2020

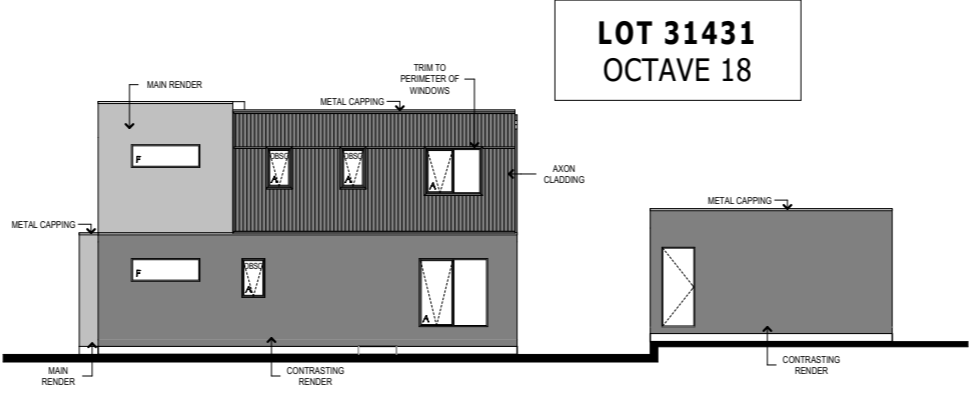
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WALL HATCH LEGEND
REFER TO COLOUR SCHEDULE FOR SPECIFICATIONS

	MAIN RENDER
	CONTRAST RENDER
	AXON CLADDING
	OBSCURE GLAZING
	STRIA CLADDING



A Front Elevation
1:200

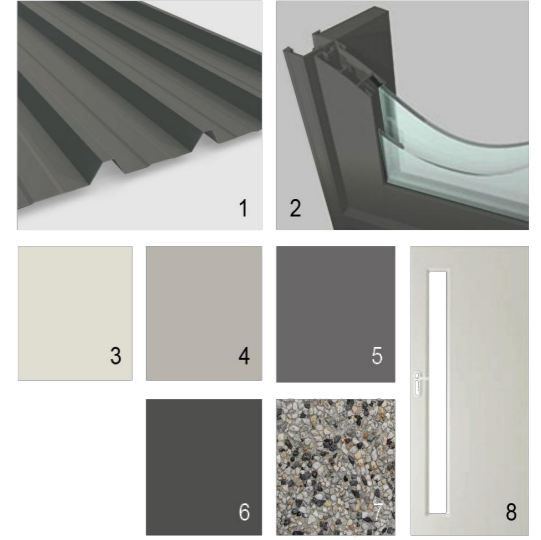


B Side Elevation
1:200

LOT 31431
OCTAVE 18

Octave Colour Schemes

Item	Façade 1 - Corner	Façade 2	Façade 3
Metal Roof (Colorcote)	Monolith	Monolith	Monolith
Gutters & Fascia (Colorcote)	Monolith	Monolith	Monolith
All Downpipes (Colorcote)	Monolith	Monolith	Monolith
Aluminium Windows and Sliding Doors (Colorbond)	Monument	Monument	Monument
Main Render (Dulux)	Mount Buller PN2F3	Mount Buller PN2F3	Mount Buller PN2F3
Constrast Render (Dulux)	Ashlite P13A3	Ashlite P13A3	Ashlite P13A3
Cladding Mateiral (James Hardie)	Axon 133 Smooth	Stria 325	Axon 133 Smooth
Cladding Paint Colour (Dulux)	Western Myall SN4G7	Western Myall SN4G7	Western Myall SN4G7
Porch Ceiling Lining Mateiral (James Hardie)	Axon 133 Smooth	Axon 133 Smooth	Axon 133 Smooth
Porch Ceiling Lining Paint Colour (Dulux)	Western Myall SN4G7	Western Myall SN4G7	Western Myall SN4G7
Metal Cappings (Colorcote)	Monolith	Monolith	Monolith
Metal Capping to Façade 1 First Floor Projection Sill (Colorcote)	Off White	-	-
Entry Door Leaf - Hume Newington XN1 in Duracote Tempered Hardboard (Dulux)	Grey Reflection SW1A5	Grey Reflection SW1A5	Grey Reflection SW1A5
Entry Door Frame (Dulux)	Colorbond Monument C29	Colorbond Monument C29	Colorbond Monument C29
Painted Meter Boxes (Dulux)	Grey Reflection SW1A5	Grey Reflection SW1A5	Grey Reflection SW1A5
Garage Door (Mediterranean Profile)	Monument	Monument	Monument
Boral Expose Concrete Aggregate Driveway	Daybreak	Daybreak	Daybreak
Aluminium Fence -(Powder Coat)	Colorbond Monument	Colorbond Monument	Colorbond Monument
Clothesline	Monument	Monument	Monument



- 1 - COLORCOTE MONOLITH ROOF
- 2 - COLORBOND MONUMENT WINDOWS AND DOORS
- 3 - DULUX MOUNT BULLER AND WATTYL COMET DUST
- 4 - DULUX ASHLITE
- 5 - WATTYL CHARCOAL
- 6 - COLORCOTE MONOLITH
- 7 - DAYBREAK EXPOSED AGGREGATE DRIVEWAY
- 8 - ENTRY DOOR WATTYL COMET DUST

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<p>HomebuyersCentre First choice in first homes 81 LORIMER STREET DOCKLANDS, VIC. 3008 PH: (03) 9674 4500 FAX: (03) 9674 4501</p>	<p>REVISIONS:</p> <table border="1"> <tr> <td>J</td> <td>FINAL GROUP PLANS</td> <td>01/05/20</td> <td>PT</td> </tr> <tr> <td>K</td> <td>CORRECTIONS</td> <td>11/05/20</td> <td>VC</td> </tr> <tr> <td>L</td> <td>CLAROS</td> <td>08/09/20</td> <td>PT</td> </tr> <tr> <td>D</td> <td>SERVICES CORRECTIONS</td> <td>29/11/18</td> <td>VC</td> </tr> <tr> <td>E</td> <td>SHAFTLINER TO SPLIT CONTRACT</td> <td>02/01/19</td> <td>DR</td> </tr> <tr> <td>F</td> <td>LANDSCAPING UPDATE</td> <td>05/03/19</td> <td>DR</td> </tr> <tr> <td>G</td> <td>SHOW RW HEIGHTS</td> <td>02/05/19</td> <td>MW</td> </tr> <tr> <td>H</td> <td>4 BED OCTAVE UPDATE</td> <td>16/09/19</td> <td>PT</td> </tr> <tr> <td>I</td> <td>PRE-RTS MEETING AMENDMENTS</td> <td>26/03/20</td> <td>DR</td> </tr> </table>	J	FINAL GROUP PLANS	01/05/20	PT	K	CORRECTIONS	11/05/20	VC	L	CLAROS	08/09/20	PT	D	SERVICES CORRECTIONS	29/11/18	VC	E	SHAFTLINER TO SPLIT CONTRACT	02/01/19	DR	F	LANDSCAPING UPDATE	05/03/19	DR	G	SHOW RW HEIGHTS	02/05/19	MW	H	4 BED OCTAVE UPDATE	16/09/19	PT	I	PRE-RTS MEETING AMENDMENTS	26/03/20	DR	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. - WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES 	<p>CLIENT:</p> <p>STOCKLAND CLOVERTON STAGE 314</p> <p>LOT 31431 - 31439 ANTARES PARADE KALKALLO</p>	<p>ELEVATIONS A & B</p> <p>DESIGN: OCTAVE 18 (SC)</p> <p>FACADE: VARIOUS</p>	<p>DRAWN BY: VC</p> <p>TYP HGT:</p> <p>DRAWING No:</p>
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BUILDING SURVEYORS

BUILDING PERMIT

Number: 2017118337257

Issued by Group Four Building Surveyors Pty Ltd (CBSU 58728)

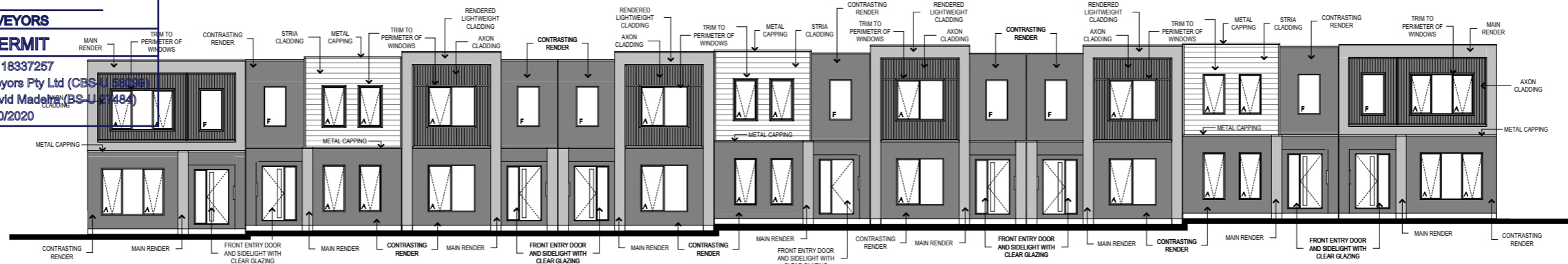
Designated Building Surveyor: David Maden (BS-U 1484)

Issued on 22/10/2020

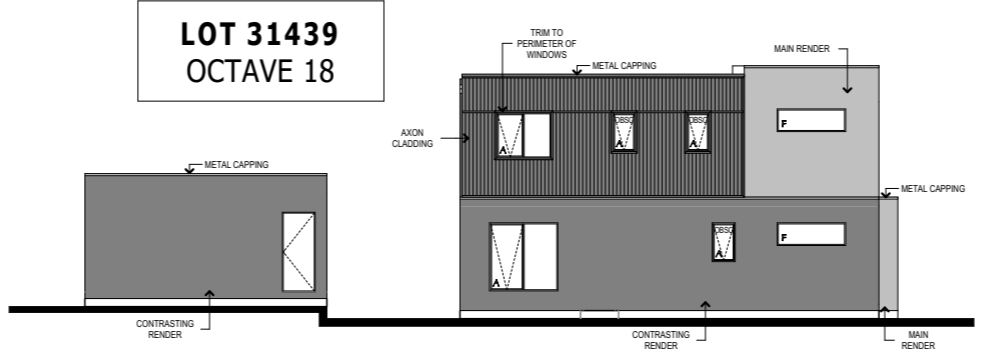
LOT 31439 OCTAVE 18 FACADE 1 - RH	LOT 31438 OCTAVE 18 FACADE 2 - LH	LOT 31437 OCTAVE 18 FACADE 3 - RH	LOT 31436 OCTAVE 18 FACADE 3 - LH	LOT 31435 OCTAVE 18 FACADE 2 - RH	LOT 31434 OCTAVE 18 FACADE 3 - RH	LOT 31433 OCTAVE 18 FACADE 3 - LH	LOT 31432 OCTAVE 18 FACADE 2 - RH	LOT 31431 OCTAVE 18 FACADE 1 - LH
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WALL HATCH LEGEND
REFER TO COLOUR SCHEDULE FOR SPECIFICATIONS

	MAIN RENDER
	CONTRAST RENDER
	AXON CLADDING
	OBSCURE GLAZING
	STRIA CLADDING



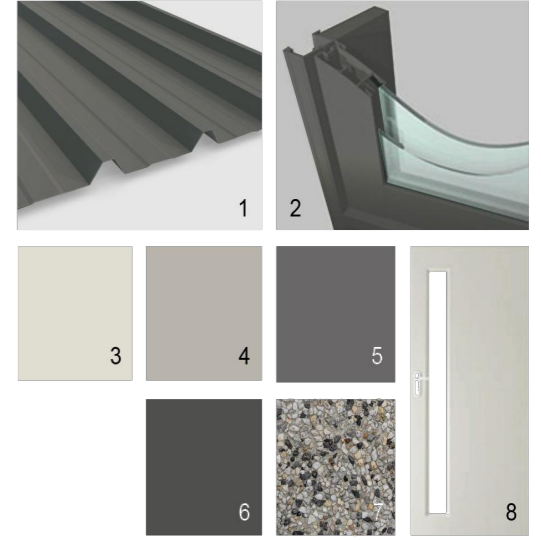
A Front Elevation
1:200



D Side Elevation
1:200

Octave Colour Schemes

Item	Façade 1 - Corner	Façade 2	Façade 3
Metal Roof (Colorcote)	Monolith	Monolith	Monolith
Gutters & Fascia (Colorcote)	Monolith	Monolith	Monolith
All Downpipes (Colorcote)	Monolith	Monolith	Monolith
Aluminium Windows and Sliding Doors (Colorbond)	Monument	Monument	Monument
Main Render (Dulux)	Mount Buller PN2F3	Mount Buller PN2F3	Mount Buller PN2F3
Constrast Render (Dulux)	Ashlite P13A3	Ashlite P13A3	Ashlite P13A3
Cladding Mateiral (James Hardie)	Axon 133 Smooth	Stria 325	Axon 133 Smooth
Cladding Paint Colour (Dulux)	Western Myall SN4G7	Western Myall SN4G7	Western Myall SN4G7
Porch Ceiling Lining Mateiral (James Hardie)	Axon 133 Smooth	Axon 133 Smooth	Axon 133 Smooth
Porch Ceiling Lining Paint Colour (Dulux)	Western Myall SN4G7	Western Myall SN4G7	Western Myall SN4G7
Metal Cappings (Colorcote)	Monolith	Monolith	Monolith
Metal Capping to Façade 1 First Floor Projection Sill (Colorcote)	Off White	-	-
Entry Door Leaf - Hume Newington XN1 in Duracote Tempered Hardboard (Dulux)	Grey Reflection SW1A5	Grey Reflection SW1A5	Grey Reflection SW1A5
Entry Door Frame (Dulux)	Colorbond Monument C29	Colorbond Monument C29	Colorbond Monument C29
Painted Meter Boxes (Dulux)	Grey Reflection SW1A5	Grey Reflection SW1A5	Grey Reflection SW1A5
Garage Door (Mediterranean Profile)	Monument	Monument	Monument
Boral Expose Concrete Aggregate Driveway	Daybreak	Daybreak	Daybreak
Aluminium Fence -(Powder Coat)	Colorbond Monument	Colorbond Monument	Colorbond Monument
Clothesline	Monument	Monument	Monument



- 1 - COLORCOTE MONOLITH ROOF
- 2 - COLORBOND MONUMENT WINDOWS AND DOORS
- 3 - DULUX MOUNT BULLER AND WATTYL COMET DUST
- 4 - DULUX ASHLITE
- 5 - WATTYL CHARCOAL
- 6 - COLORCOTE MONOLITH
- 7 - DAYBREAK EXPOSED AGGREGATE DRIVEWAY
- 8 - ENTRY DOOR WATTYL COMET DUST

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REVISIONS:

J	FINAL GROUP PLANS	01/05/20	PT
K	CORRECTIONS	11/05/20	VC
L	CLAROS	08/09/20	PT
D	SERVICES CORRECTIONS	29/11/18	VC
E	SHAFTLINER TO SPLIT CONTRACT	02/01/19	DR
F	LANDSCAPING UPDATE	05/03/19	DR
G	SHOW RW HEIGHTS	02/05/19	MW
H	4 BED OCTAVE UPDATE	16/09/19	PT
I	PRE-RTS MEETING AMENDMENTS	26/03/20	DR

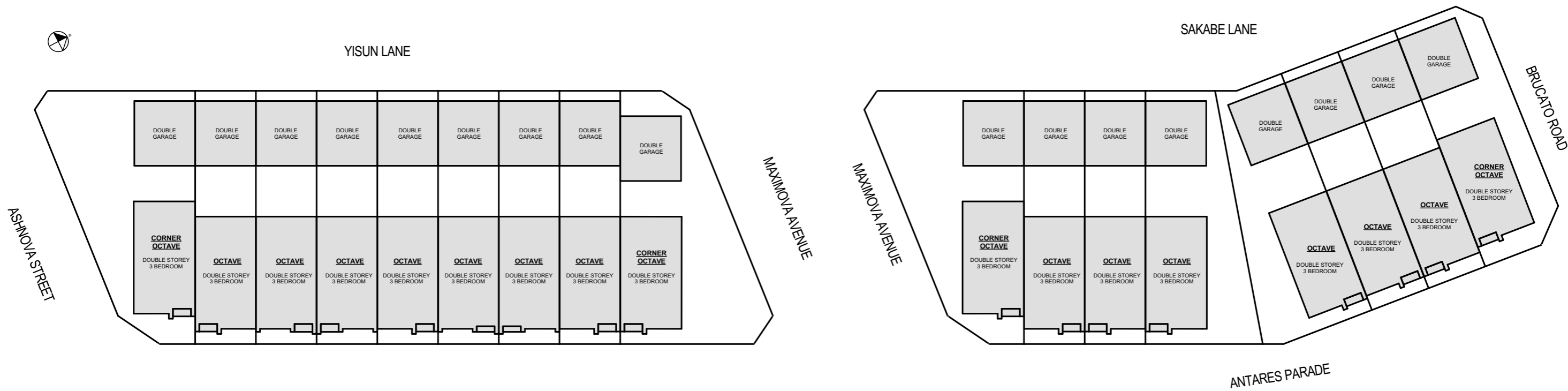
GENERAL NOTES:
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- WINDOW SIZES AND LOCATIONS ARE NOMINAL AND MAY VARY TO MANUFACTURERS FRAME SIZES

CLIENT:
STOCKLAND CLOVERTON STAGE 314
LOT 31431 - 31439 ANTARES PARADE
KALKALLO

ELEVATIONS C & D

DESIGN: OCTAVE 18 (SC)	DRAWN BY: VC	DRAWING No:
FACADE: VARIOUS	TYP HGT:	

GROUP FOUR
BUILDING SURVEYORS
BUILDING PERMIT
 Number : 2017118337257
 Issued by Group Four Building Surveyors Pty Ltd (CBS-U 58099)
 Designated Building Surveyor: David Madeira (BS-U 27484)
 Issued on 22/10/2020



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GENERAL NOTES:
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CLIENT:
STOCKLAND CLOVERTON STAGE 314
 LOT 31431 - 31439 ANTARES PARADE
 KALKALLO

GROUP SITE PLAN		
DESIGN: OCTAVE 18 (SC)	DRAWN BY: VC	DRAWING No:
FACADE: VARIOUS	TYP HGT:	

Domestic Building Insurance

Certificate of Insurance

Shane Lindsay
12 Iron Bridge Rd
CRAIGIEBURN
VIC 3064

Policy Number:
C534615

Policy Inception Date:
14/08/2020

Builder Account Number:
014406

A contract of insurance complying with the Ministerial Order for Domestic Building Insurance issued under Section 135 of the Building Act 1993 (Vic) (Domestic Building Insurance) has been issued by the insurer Victorian Managed Insurance Authority a Statutory Corporation established under the Victorian Managed Insurance Authority Act 1996 (Vic), in respect of the domestic building work described below.

Policy Schedule Details

Domestic Building Work: **C01: New Single Dwelling Construction**

At the property: **51 Antares Pde KALKALLO VIC 3064 Australia**

Carried out by the builder: **ABN GROUP (VIC) PTY LTD**

Builder ACN: **130382188**

! If the builder's name and/or its ABN/ACN listed above does not exactly match with the information on the domestic building contract, please contact the VMIA. If these details are incorrect, the domestic building work will not be covered.

For the building owner(s): **Shane Lindsay**

Pursuant to a domestic building contract dated: **08/07/2020**

For the contract price of: **\$ 263,308.00**

Type of Cover: **Cover is only provided if ABN GROUP (VIC) PTY LTD has died, becomes insolvent or has disappeared or fails to comply with a Tribunal or Court Order ***

The maximum policy limit for claims made under this policy is: **\$300,000 all inclusive of costs and expenses ***

The maximum policy limit for non-completion claims made under this policy is: **20% of the contract price limited to the maximum policy limit for all claims under the policy***

PLEASE CHECK

If the information on this certificate does not match what's on your domestic building contract, please contact the VMIA immediately on 1300 363 424 or email dbi@vmia.vic.gov.au

IMPORTANT

This certificate must be read in conjunction with the policy terms and conditions and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the period of cover.

* The cover and policy limits described in this certificate are only a summary of the cover and limits and must be read in conjunction with, and are subject to the terms, conditions, limitations and exclusions contained in the policy terms and conditions.

Period of Cover

Cover commences on the earlier of the date of the domestic building contract or date of building permit for the domestic building work and concludes:

- Two years from completion of the domestic building work or termination of the domestic building contract for non structural defects*
- Six years from completion of the domestic building work or termination of the domestic building contract for structural defects*

Subject to the Building Act 1993, and the Ministerial Order and the conditions of the insurance contract, cover will be provided to the building owner named in the domestic building contract and to the successors in title to the building owner in relation to the domestic building work undertaken by the Builder.

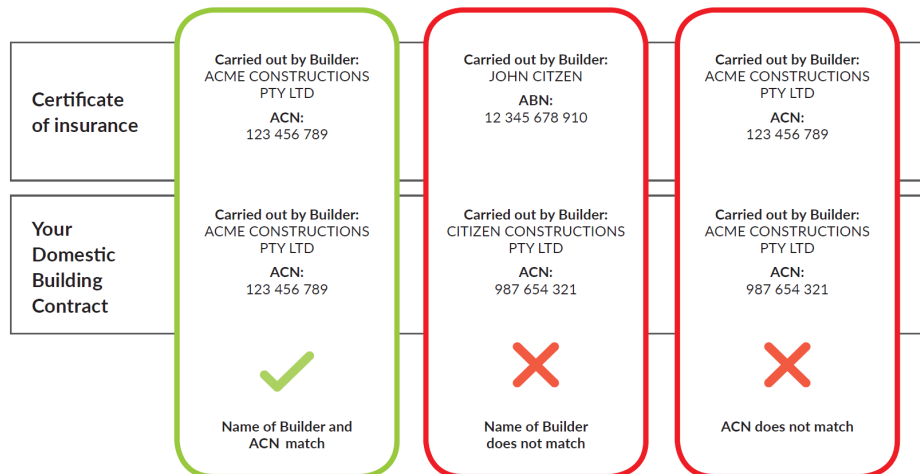
Issued by Victorian Management Insurance Authority (VMIA)

Domestic Building Insurance Premium and Statutory Costs

Base DBI Premium:	\$775.00
GST:	\$77.50
Stamp Duty:	\$85.25
Total:	\$937.75

If the information on the certificate does not match exactly what is on your domestic building contract, please contact VMIA on 1300 363 424

Below are some example of what to look for



FORM 16
Building Act 1993
Building Regulations 2018
Regulation 192

OCCUPANCY PERMIT

2017118337257

Property details

Lot	31438
Number	51
Street/road	Antares Parade
City/suburb/town	KALKALLO
Postcode	3064
LP/PS	PS818663
Volume	12186
Folio	142
Crown allotment	Not applicable
Section	Not applicable
Parish	KALKALLO
County	Not applicable
Municipal district	HUME CITY

Building permit details

Building permit number	2017118337257
Version of BCA applicable to building permit	2019

Building details

Building to which permit applies	Double Storey Dwelling and Garage
Permitted use	Domestic
BCA class of building	1ai, 10a
Maximum permissible floor live load	1.5
Maximum number of people to be accommodated	Not applicable
Storeys contained	2

Building to which permit applies	Garage Steel
Permitted use	Domestic
BCA class of building	10a
Maximum permissible floor live load	1.5
Maximum number of people to be accommodated	Not applicable
Storeys contained	2

Performance solution

A performance solution was used to determine compliance with the following performance requirements of the BCA that relate to the building or public place of entertainment to which this permit applies:

Relevant performance requirement	Details of performance solution
P2.1.1 Structural stability and resistance ,P2.2.2 Weatherproofing,P2.2.3 Rising damp	Building Product: Hebel PowerPanel XL Wall System Performance solution by: Cert Mark International Certificate of Conformity issued under ABCB Certification Scheme: CodeMark Certificate number: CM40049 Date of issue: 01/05/2019 Date of expiry: 01/05/2022
P2.6.1 Building	To allow a dual reticulation water system in lieu of a rainwater tank connected to all sanitary flushing systems.
P2.2.2 Weatherproofing	Building Product: Easylap Panel External Cladding Scyon Stria Cladding Performance Solution by: Cert Mark International Certificate of Conformity issued under ABCB Certification Scheme: CodeMark Certificate number: CM40223, Date of issue: 20/08/2018, Date of expiry: 20/08/2021.

Reporting authorities

The following bodies are reporting authorities for the purposes of the application for this permit in relation to the matters set out below:

Reporting authority	Matter reported on or consented to	Relevant regulation number
Council	Precautions over a street	Building Regulations 2018. 116(4)

Conditions to which this permit is subject

Occupation is subject to the following conditions:

Not applicable.

Suitability for occupation

At the date this occupancy permit is issued, the building to which this permit applies is suitable for occupation.

Relevant building surveyor

Name	Group Four Building Surveyors Pty Ltd
ACN	158 953 425
Address	Level 4, 10 Nexus Court, Mulgrave VIC 3170
Email	enquiries@groupfour.com.au
Building practitioner registration number	CBS-U 58099

Designated building surveyor

Name	David Madeira
Building practitioner registration number	BS-U 27484
Occupancy permit number	2017118337257
Date of issue	16 June 2021
Date of final inspection	10 June 2021
Signature	



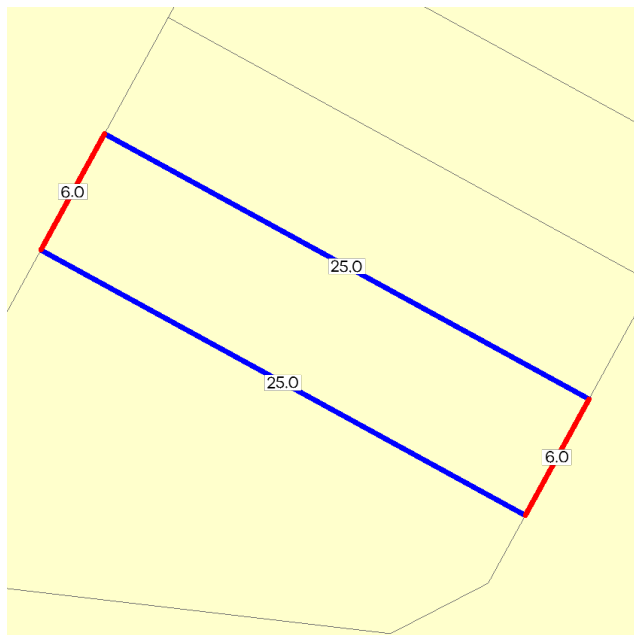
PROPERTY DETAILS

Address: **51 ANTARES PARADE KALKALLO 3064**
Lot and Plan Number: **Lot 31438 PS818663**
Standard Parcel Identifier (SPI): **31438\PS818663**
Local Government Area (Council): **HUME**
Council Property Number: **733664**
Directory Reference: **Melway 687 E12**

www.hume.vic.gov.au

SITE DIMENSIONS

All dimensions and areas are approximate. They may not agree with those shown on a title or plan.



Area: 150 sq. m

Perimeter: 62 m

For this property:

— Site boundaries

— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available.

Calculating the area from the dimensions shown may give a different value to the area shown above

For more accurate dimensions get copy of plan at [Title and Property Certificates](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
Melbourne Water Retailer: **Yarra Valley Water**
Melbourne Water: **Inside drainage boundary**
Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **NORTHERN METROPOLITAN**
Legislative Assembly: **KALKALLO**

PLANNING INFORMATION

Property Planning details have been removed from the Property Reports to avoid duplication with the Planning Property Reports from the Department of Transport and Planning which are the authoritative source for all Property Planning information.

The Planning Property Report for this property can found here - [Planning Property Report](#)

Planning Property Reports can be found via these two links

Vicplan <https://mapshare.vic.gov.au/vicplan/>

Property and parcel search <https://www.land.vic.gov.au/property-and-parcel-search>

Area Map



From www.planning.vic.gov.au at 14 October 2024 11:23 AM

PROPERTY DETAILS

Address: **51 ANTARES PARADE KALKALLO 3064**
 Lot and Plan Number: **Lot 31438 PS818663**
 Standard Parcel Identifier (SPI): **31438\PS818663**
 Local Government Area (Council): **HUME**
 Council Property Number: **733664**
 Planning Scheme: **Hume**
 Directory Reference: **Melway 687 E12**

www.hume.vic.gov.au

[Planning Scheme - Hume](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Melbourne Water Retailer: **Yarra Valley Water**
 Melbourne Water: **Inside drainage boundary**
 Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **NORTHERN METROPOLITAN**
 Legislative Assembly: **KALKALLO**

OTHER

Registered Aboriginal Party: **Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation**

[View location in VicPlan](#)

Note

This land is in an area added to the Urban Growth Boundary after 2005. It may be subject to the Growth Area Infrastructure Contribution.

For more information about this project go to [Victorian Planning Authority](#)

Planning Zones

[URBAN GROWTH ZONE \(UGZ\)](#)

[URBAN GROWTH ZONE - SCHEDULE 5 \(UGZ5\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

Planning Overlay

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY \(DCPO\)](#)

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 5 \(DCPO5\)](#)



Growth Area Infrastructure Contribution

This property is in an area added to the Urban Growth Boundary after 2005.
It may be subject to the Growth Area Infrastructure Contribution.
For more information about this contribution go to [Victorian Planning Authority](#)



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Melbourne Strategic Assessment

This property may be located within the Melbourne Strategic Assessment program area. Actions associated with urban development are subject to requirements of the Commonwealth Environment Protection and Biodiversity Conservation Act 1999. Follow the link for more details: <https://nvim.delwp.vic.gov.au/BCS>



Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <http://www.aav.nrms.net.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.aboriginalvictoria.vic.gov.au/aboriginal-heritage-legislation>



Further Planning Information

Planning scheme data last updated on 7 October 2024.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council

or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit

<https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Designated Bushfire Prone Areas

**This property is not in a designated bushfire prone area.
No special bushfire construction requirements apply. Planning provisions may apply.**

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.