

Form 1 - Vendor's statement

(Section 7 Land and Business (Sale and Conveyancing) Act 1994)

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Preliminary

To the purchaser:

The purpose of a statement under section 7 of the *Land and Business (Sale and Conveyancing) Act 1994* is to put you on notice of certain particulars concerning the land to be acquired.

If you intend to carry out building work on the land, change the use of the land or divide the land, you should make further inquiries to determine whether this will be permitted. For example, building work may not be permitted on land not connected to a sewerage system or common drainage scheme if the land is near a watercourse, dam, bore or the River Murray and Lakes.

The *Aboriginal Heritage Act 1988* protects any Aboriginal site or object on the land. Details of any such site or object may be sought from the "traditional owners" as defined in that Act.

If you desire additional information, it is up to you to make further inquiries as appropriate.

Instructions to the vendor for completing this statement:

means the Part, Division, particulars or item may not be applicable.

If it is applicable, ensure the box is ticked and complete the Part, Division, particulars or item.

If it is not applicable, ensure the box is empty or strike out the Part, Division, particulars or item. Alternatively, the Part, Division, particulars or item may be omitted, but not in the case of an item or heading in the table of particulars in Division 1 of the Schedule that is required by the instructions at the head of that table to be retained as part of this statement.

* means strike out or omit the option that is not applicable.

All questions must be answered with a YES or NO (inserted in the place indicated by a rectangle or square brackets below or to the side of the question).

If there is insufficient space to provide any particulars required, continue on attachments.

Part A - Parties and land

1 Purchaser:

Address:

Street 1

Street 2

Suburb State Postcode

2 Purchaser's registered agent:

~~_____~~

Address:

~~Street 1~~

~~Street 2~~

~~Suburb State Postcode~~

3 Vendor:

Dennis Martin as Power of attorney for Irma Euclides Martin (deceased) and Gordon Eric Martin

Address:

Street 1 10 BIRUBI WAY

Street 2

Suburb MORPHETT VALE State SA Postcode 5162

4 Vendor's registered agent:

Magain Real Estate Morphett Vale- Craig Thomson

Address:

Street 1 52 HILLIER ROAD

Street 2

Suburb MORPHETT VALE State SA Postcode 5162

5 Date of contract (if made before this statement is served):

6 Description of the land: *[Identify the land including any certificate of title reference]*

Lot 3 in Primary Community Plan No. 21926 known as

Street 1 3/57 Cottage Lane

Street 2

Suburb Hackham State SA Postcode 5163

being the *whole / ~~portion~~ of the land comprised in Certificate of Title
Volume 5906 Folio 289

Part B - Purchaser's cooling-off rights and proceeding with the purchase

To the purchaser:

Right to cool-off (section 5)

1 - Right to cool-off and restrictions on that right

You may notify the vendor of your intention not to be bound by the contract for the sale of the land UNLESS -

- (a) you purchased by auction; or
- (b) you purchased on the same day as you, or some person on your behalf, bid at the auction of the land; or
- (c) you have, before signing the contract, received independent advice from a legal practitioner and the legal practitioner has signed a certificate in the prescribed form as to the giving of that advice; or
- (d) you are a body corporate and the land is not residential land; or
- (e) the contract is made by the exercise of an option to purchase not less than 5 clear business days after the grant of the option and not less than 2 clear business days after service of this form; or
- (f) the sale is by tender and the contract is made not less than 5 clear business days after the day fixed for the closing of tenders and not less than 2 clear business days after service of this form; or
- (g) the contract also provides for the sale of a business that is not a small business.

2 - Time for service

The cooling-off notice must be served -

- (a) if this form is served on you before the making of the contract - before the end of the second clear business day after the day on which the contract was made; or
- (b) if this form is served on you after the making of the contract - before the end of the second clear business day from the day on which this form is served.

However, if this form is not served on you at least 2 clear business days before the time at which settlement takes place, the cooling-off notice may be served at any time before settlement.

3 - Form of cooling-off notice

The cooling-off notice must be in writing and must be signed by you.

4 - Methods of service

The cooling-off notice must be -

- (a) given to the vendor personally; or
- (b) posted by registered post to the vendor at the following address:

10 Birubi Way Morphett Vale SA 5162

(being the vendor's last known address); or

- (c) transmitted by fax or email to the following fax number or email address:

craig@magain.com.au

(being a number or address provided to you by the vendor for the purpose of service of the notice); or

- (d) left for the vendor's agent (with a person apparently responsible to the agent) at, or posted by registered post to the agent at, the following address:

52 Hillier Road Morphett Vale, SA 5162

(being ~~*the agent's address for service under the Land Agents Act 1994~~ / an address nominated by the agent to you for the purpose of service of the notice).

Note - Section 5(3) of the *Land and Business (Sale and Conveyancing) Act 1994* places the onus of proving the giving of the cooling-off notice on the purchaser. It is therefore strongly recommended that -

- (a) if you intend to serve the notice by leaving it for the vendor's agent at the agent's address for service or an address nominated by the agent, you obtain an acknowledgment of service of the notice in writing;
- (b) if you intend to serve the notice by fax or email, you obtain a record of the transmission of the fax or email.

5 - Effect of service

If you serve such cooling-off notice on the vendor, the contract will be taken to have been rescinded at the time when the notice was served. You are then entitled to the return of any money you paid under the contract other than -

- (a) the amount of any deposit paid if the deposit did not exceed \$100; or
- (b) an amount paid for an option to purchase the land.

Proceeding with the purchase

If you wish to proceed with the purchase -

- (a) it is strongly recommended that you take steps to make sure your interest in the property is adequately insured against loss or damage; and
- (b) pay particular attention to the provisions in the contract as to time of settlement - it is essential that the necessary arrangements are made to complete the purchase by the agreed date - if you do not do so, you may be in breach of the contract; and
- (c) you are entitled to retain the solicitor or registered conveyancer of your choice.

Part C - Statement with respect to required particulars

(section 7(1))

To the purchaser:

*We,

of

being the ~~vendor(s)~~ / person authorised to act on behalf of the vendor(s) in relation to the transaction state that the Schedule contains all particulars required to be given to you pursuant to section 7(1) of the *Land and Business (Sale and Conveyancing) Act 1994*.

Date:

Signed:

Date:

Signed:

Date:

Signed:

Date:

Signed:

Part D - Certificate with respect to prescribed inquiries by registered agent



(section 9)

To the purchaser:

I,

certify ~~*that the responses / that, subject to the exceptions stated below, the responses~~ to the inquiries made pursuant to section 9 of the *Land and Business (Sale and Conveyancing) Act 1994* confirm the completeness and accuracy of the particulars set out in the Schedule.

Exceptions:

Date:

Signed:

~~*Vendor's / Purchaser's agent~~

*Person authorised to act on behalf of ~~*Vendor's/Purchaser's~~ agent

Schedule - Division 1

Particulars of mortgages, charges and prescribed encumbrances affecting the land (section 7(1)(b))

Note -

Section 7(3) of the Act provides that this statement need not include reference to charges arising from the imposition of rates or taxes less than 12 months before the date of service of the statement.

Where a mortgage, charge or prescribed encumbrance referred to in column 1 of the table below is applicable to the land, the particulars in relation to that mortgage, charge or prescribed encumbrance required by column 2 of the table must be set out in the table (in accordance with the instructions in the table) unless -

- (a) there is an attachment to this statement and -
 - (i) all the required particulars are contained in that attachment; and
 - (ii) the attachment is identified in column 2; and
 - (iii) if the attachment consists of more than 2 sheets of paper, those parts of the attachment that contain the required particulars are identified in column 2; or
- (b) the mortgage, charge or prescribed encumbrance -
 - (i) is 1 of the following items in the table:
 - (A) under the heading 1. General -
 - 1.1 Mortgage of land
 - 1.4 Lease, agreement for lease, tenancy agreement or licence
 - 1.5 Caveat
 - 1.6 Lien or notice of a lien
 - (B) under the heading 36. Other charges -
 - 36.1 Charge of any kind affecting the land (not included in another item); and
 - (ii) is registered on the certificate of title to the land; and
 - (iii) is to be discharged or satisfied prior to or at settlement.

Table of particulars

Column 1

Column 2

Column 3

[If an item is applicable, ensure that the box for the item is ticked and complete the item.]

[If an item is not applicable, ensure that the box for the item is empty or else strike out the item or write "NOT APPLICABLE" or "N/A" in column 1.

Alternatively, the item and any inapplicable heading may be omitted, but not in the case of-

(a) the heading "1. General" and items 1.1, 1.2, 1.3 and 1.4; and

(b) the heading "5. Development Act 1993 (repealed)" and item 5.1; and

(c) the heading "6. Repealed Act conditions" and item 6.1; and

(d) the heading "29. Planning, Development and Infrastructure Act 2016" and items 29.1 and 29.2, which must be retained as part of this statement whether applicable or not.]

[If an item is applicable, all particulars requested in column 2 must be set out in the item unless the Note preceding this table otherwise permits. Particulars requested in **bold type** must be set out in column 3 and all other particulars must be set out in column 2.]

[If there is more than 1 mortgage, charge or prescribed encumbrance of a kind referred to in column 1, the particulars requested in column 2 must be set out for each such mortgage, charge or prescribed encumbrance.]

[If requested particulars are set out in the item and then continued on an attachment due to insufficient space, identify the attachment in the place provided in column 2. If all of the requested particulars are contained in an attachment (instead of in the item) in accordance with the Note preceding this table, identify the attachment in the place provided in column 2 and (if required by the Note) identify the parts of the attachment that contain the particulars.]

1. General

1.1 Mortgage of land

[Note - Do not omit this item. This item and its heading must be included in the statement even if not applicable.]

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s) (and, if applicable, the part(s) containing the particulars):~~

Number of mortgage (if registered):

Name of mortgagee:

1.2 Easement

(whether over the land or annexed to the land)

Note - "Easement" includes rights of way and party wall rights

[Note - Do not omit this item. This item and its heading must be included in the statement even if not applicable.]

Is this item applicable?

Will this be discharged or satisfied prior to or at settlement?

Are there attachments?

If YES, identify the attachment(s)(and, if applicable, the part(s) containing the particulars):

Refer to attached Property Interest Report for further information

Description of land subject to easement:

Whole of the land in CT 5906/289

Nature of easement:

Statutory Easement to SA Power Networks
Electricity and Telecommunications Infrastructure - Building Restrictions and Statutory Easements (including those related to gas, water and sewage)

Are you aware of any encroachment on the easement?

NO

If YES, give details:

If there is an encroachment, has approval for the encroachment been given?

If YES, give details:

NO
YES

1.3 Restrictive covenant

[Note - Do not omit this item. This item and its heading must be included in the statement even if not applicable.]

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)(and, if applicable, the part(s) containing the particulars):~~

~~Nature of restrictive covenant:~~

~~Name of person in whose favour restrictive covenant operates:~~

~~Does the restrictive covenant affect the whole of the land being acquired?~~

~~If NO, give details:~~

~~Does the restrictive covenant affect land other than that being acquired?~~

1.4 Lease, agreement for lease, tenancy agreement or licence

(The information does not include information about any sublease or subtenancy. That information may be sought by the purchaser from the lessee or tenant or sublessee or subtenant.)

[Note - Do not omit this item. This item and its heading must be included in the statement even if not applicable.]

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s) (and, if applicable, the part(s) containing the particulars):~~

~~[Empty box for attachment details]~~

~~Name of parties:~~

~~[Large empty box for party names]~~

~~Period of lease, agreement for lease etc:~~

~~From [] to []~~

~~Amount of rent or licence fee:~~

~~\$ [] per [] (period)~~

~~Is the lease, agreement for lease etc in writing?~~

~~[]~~

~~If the lease or licence was granted under an Act relating to the disposal of Crown lands, specify -~~

~~(a) the Act under which the lease or licence was granted:~~

~~[Empty box for Act name]~~

~~(b) the outstanding amounts due (including any interest or penalty):~~

~~[Empty box for outstanding amounts]~~

[]
[]
[]

5. Development Act 1993 (repealed)

5.1 section 42 - Condition (that continues to apply) of a development authorisation

[Note - Do not omit this item. This item and its heading must be included in the statement even if not applicable.]

Is this item applicable?

Will this be discharged or satisfied prior to or at settlement?

Are there attachments?

If YES, identify the attachment(s)(and, if applicable, the part(s) containing the particulars):

Refer to attached Council Search for further information

Condition(s) of authorisation:

Refer to Application No. 145/714/2003 dated 16/06/2003 in attached Council Search for further information

6. Repealed Act conditions

6.1 Condition (that continues to apply) of an approval or authorisation granted under the *Building Act 1971* (repealed), the *City of Adelaide Development Control Act 1976* (repealed), the *Planning Act 1982* (repealed) or the *Planning and Development Act 1967* (repealed)

[Note - Do not omit this item. This item and its heading must be included in the statement even if not applicable.]

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)(and, if applicable, the part(s) containing the particulars):~~

~~Nature of condition(s):~~

7. Emergency Services Funding Act 1998

7.1 section 16 - Notice to pay levy

Is this item applicable?

Will this be discharged or satisfied prior to or at settlement?

Are there attachments?

If YES, identify the attachment(s)(and, if applicable, the part(s) containing the particulars):

Emergency Services Levy Certificate

Date of notice:

25/09/2025

Amount of levy payable:

\$41.20 (incl concession)

YES
YES

29. Planning, Development and Infrastructure Act 2016

29.1 Part 5 - Planning and Design Code

[Note - Do not omit this item. The item and its heading must be included in the attachment even if not applicable.]

Is this item applicable?

Will this be discharged or satisfied prior to or at settlement?

Are there attachments?

If YES, identify the attachment(s)

(and, if applicable, the part(s) containing the particulars):

Refer to attached Property Interest Report & Council Search for further information

Title or other brief description of zone, subzone and overlay in which the land is situated (as shown in the Planning and Design Code):

Zones: General Neighbourhood (GN)
 Subzones: No
 Overlays: Refer to Council Search attached for details of Overlays

Is there a State heritage place on the land or is the land situated in a State heritage area?

Is the land designated as a local heritage place?

Is there a tree or stand of trees declared in Part 10 of the Planning and Design Code to be a significant tree or trees on the land?

Is there a current amendment to the Planning and Design Code released for public consultation by a designated entity on which consultation is continuing or on which consultation has ended but whose proposed amendment has not yet come into operation?

Note - For further information about the Planning and Design Code visit <https://code.plan.sa.gov.au>.

29.2 section 127 - Condition (that continues to apply) of a development authorisation

[Note - Do not omit this item. The item and its heading must be included in the attachment even if not applicable.]

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s) (and, if applicable, the part(s) containing the particulars):~~

Date of authorisation:

Name of relevant authority that granted authorisation:

Condition(s) of authorisation:

29.3 section 139 - Notice of proposed work and notice may require access

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s) (and, if applicable, the part(s) containing the particulars):~~

Date of notice:

Name of person giving notice of proposed work:

Building work proposed (as stated in the notice):

Other building work as required pursuant to the Act:

29.4 section 140 - Notice requesting access

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)~~

~~(and, if applicable, the part(s) containing the particulars):~~

Date of notice:

Name of person requesting access:

Reason for which access is sought (as stated in the notice):

Activity of work to be carried out:

29.5 section 141 - Order to remove or perform work

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)~~

~~(and, if applicable, the part(s) containing the particulars):~~

Date of order:

Terms of order:

Building work (if any) required to be carried out:

Amount payable (if any):

29.6 section 142 - Notice to complete development

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)~~

~~(and, if applicable, the part(s) containing the particulars):~~

Date of notice:

Requirements of notice:

Building work (if any) required to be carried out:

Amount payable (if any):

29.7 section 155 - Emergency order

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)~~

~~(and, if applicable, the part(s) containing the particulars):~~

Date of order:

Name of authorised officer who made order:

Name of authority that appointed the authorised officer:

Nature of order:

Amount payable (if any):

29.8 section 157 - Fire safety notice

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)~~

~~(and, if applicable, the part(s) containing the particulars):~~

Date of notice:

Name of authority giving notice:

Requirements of notice:

Building work (if any) required to be carried out:

Amount payable (if any):

29.9 section 192 or 193 - Land management agreement

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)~~

~~(and, if applicable, the part(s) containing the particulars):~~

Date of agreement:

Names of parties:

Terms of agreement:

29.10 section 198(1) - Requirement to vest land in a council or the Crown to be held as open space

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)
(and, if applicable, the part(s) containing the particulars):~~

Date requirement given:

Name of body giving requirement:

Nature of requirement:

Contribution payable (if any):

29.11 section 198(2) - Agreement to vest land in a council or the Crown to be held as open space

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)
(and, if applicable, the part(s) containing the particulars):~~

Date of agreement:

Names of parties:

Terms of agreement:

Contribution payable (if any):

29.12 Part 16 Division 1 - Proceedings

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)~~

~~(and, if applicable, the part(s) containing the particulars):~~

Date of commencement of proceedings:

Date of determination or order (if any):

Terms of determination or order (if any):

29.13 section 213 - Enforcement notice

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)~~

~~(and, if applicable, the part(s) containing the particulars):~~

Date notice given:

Name of designated authority giving notice:

Nature of directions contained in notice:

Building work (if any) required to be carried out:

Amount payable (if any):

29.14 section 214(6), 214(10) or 222 - Enforcement order

~~Is this item applicable?~~

~~Will this be discharged or satisfied prior to or at settlement?~~

~~Are there attachments?~~

~~If YES, identify the attachment(s)~~

~~(and, if applicable, the part(s) containing the particulars):~~

Date order made:

Name of court that made order:

Action number:

Names of parties:

Terms of order:

Building work (if any) required to be carried out:

Particulars relating to community lot (including strata lot) or development lot



1 Name of community corporation:
 Address of community corporation:

2 Application must be made in writing to the community corporation for the particulars and documents referred to in 3 and 4. Application must also be made in writing to the community corporation for the documents referred to in 6 unless those documents are obtained from the Lands Titles Registration Office.

3 Particulars supplied by the community corporation or known to the vendor:

(a) particulars of contributions payable in relation to the lot (including details of arrears of contributions related to the lot):

(b) particulars of assets and liabilities of the community corporation:

(c) particulars of expenditure that the community corporation has incurred, or has resolved to incur, and to which the owner of the lot must contribute, or is likely to be required to contribute:

(d) if the lot is a development lot, particulars of the scheme description relating to the development lot and particulars of the obligations of the owner of the development lot under the development contract:

(e) if the lot is a community lot, particulars of the lot entitlement of the lot:

[If any of the above particulars have not been supplied by the community corporation by the date of this statement and are not known to the vendor, state "not known" for those particulars.]

4 Documents supplied by the community corporation that are enclosed:

(a) a copy of the minutes of the general meetings of the community corporation and management committee
 *for the 2 years preceding this statement / ~~since the deposit of the community plan;~~
 (*Strike out or omit whichever is the greater period)

(b) a copy of the statement of accounts of the community corporation last prepared;

(c) a copy of current policies of insurance taken out by the community corporation.

[For each document indicate (YES or NO) whether or not the document has been supplied by the community corporation by the date of this statement.]

5 If "not known" has been specified for any particulars in 3 or a document referred to in 4 has not been supplied, set out the date of the application made to the community corporation and give details of any other steps taken to obtain the particulars or documents concerned:

6 The following documents are enclosed:

- (a) a copy of the scheme description (if any) and the development contract (if any);
- (b) a copy of the by-laws of the community scheme.



~~7 The following additional particulars are known to the vendor or have been supplied by the community corporation:~~



8 Further inquiries may be made to the secretary of the community corporation or the appointed community scheme manager.

Name:

Address:

Note-

- 1 A community corporation must (on application by or on behalf of a current or prospective owner or other relevant person) provide the particulars and documents referred to in 3(a)-(c) and 4 and must also make available for inspection any information required to establish the current financial position of the corporation, a copy of any contract with a body corporate manager and the register of owners and lot entitlements that the corporation maintains: see sections 139 and 140 of the *Community Titles Act 1996*.
- 2 Copies of the scheme description, the development contract or the by-laws of the community scheme may be obtained from the community corporation or from the Lands Titles Registration Office.
- 3 All owners of a community lot or a development lot are bound by the by-laws of the community scheme. The by-laws regulate the rights and liabilities of owners of lots in relation to their lots and the common property and matters of common concern.
- 4 For a brief description of some of the matters that need to be considered before purchasing a community lot, see Division 3 of this Schedule.

~~Particulars relating to aluminium composite panels~~

Has the vendor been notified that a building on the land has been identified, as part of a South Australian Building Cladding Audit initiated in 2017 and conducted by the former Department of Planning, Transport and Infrastructure in conjunction with the Metropolitan Fire Service, Country Fire Service and councils—

- (a) as having aluminium composite panels installed on the exterior of the building; and
- (b) as constituting a moderate, high or extreme risk as a result of that installation; and
- (c) as requiring remediation to reduce the risk to an acceptable level; and
- (d) as not having had the necessary remedial work performed or a determination made by the appropriate authority of the relevant council (within the meaning of section 157 of the *Planning, Development and Infrastructure Act 2016*) that no further action is required?

If YES, give details of the following:

1. the actions required to remediate the risk (if known):

2. the estimated costs of remediation (if known):

Schedule-Division 3-Community lots and strata units



Matters to be considered in purchasing a community lot or strata unit

The property you are buying is on strata or community title. There are **special obligations and restrictions** that go with this kind of title. Make sure you understand these. If unsure, seek legal advice before signing a contract. For example:

Governance

You will automatically become a member of the **body corporate**, which includes all owners and has the job of maintaining the common property and enforcing the rules. Decisions, such as the amount you must pay in levies, will be made by vote of the body corporate. You will need to take part in meetings if you wish to have a say. If outvoted, you will have to live with decisions that you might not agree with.

If you are buying into a mixed use development (one that includes commercial as well as residential lots), owners of some types of lots may be in a position to outvote owners of other types of lots. Make sure you fully understand your voting rights, see later.

Use of your property

You, and anyone who visits or occupies your property, will be bound by rules in the form of **articles or by-laws**. These can restrict the use of the property, for example, they can deal with keeping pets, car parking, noise, rubbish disposal, short-term letting, upkeep of buildings and so on. Make sure that you have read the articles or by-laws before you decide whether this property will suit you.

Depending on the rules, you might not be permitted to make changes to the exterior of your unit, such as installing a television aerial or an air-conditioner, building a pergola, attaching external blinds etc without the permission of the body corporate. A meeting may be needed before permission can be granted. Permission may be refused.

Note that the articles or by-laws **could change** between now and when you become the owner: the body corporate might vote to change them. Also, if you are buying before the community plan is registered, then any by-laws you have been shown are just a draft.

Are you buying a debt?

If there are unpaid contributions owing on this property, you can be made to pay them. You are entitled to **know the financial state of the body corporate** and you should make sure you see its records before deciding whether to buy. As a prospective owner, you can write to the body corporate requiring to see the records, including minutes of meetings, details of assets and liabilities, contributions payable, outstanding or planned expenses and insurance policies. There is a fee. To make a request, write to the secretary or management committee of the body corporate.

Expenses

The body corporate can **require you to maintain your property**, even if you do not agree, or can carry out maintenance and bill you for it.

The body corporate can **require you to contribute** to the cost of upkeep of the common property, even if you do not agree. Consider what future maintenance or repairs might be needed on the property in the long term.

Guarantee

As an owner, you are a **guarantor** of the liabilities of the body corporate. If it does not pay its debts, you can be called on to do so. Make sure you know what the liabilities are before you decide to buy. Ask the body corporate for copies of the financial records.

Contracts

The body corporate can make contracts. For example, it may engage a body corporate manager to do some or all of its work. It may contract with traders for maintenance work. It might engage a caretaker to look after the property. It might make any other kind of contract to buy services or products for the body corporate. Find out **what contracts the body corporate is committed to and the cost**.

The body corporate will have to raise funds from the owners to pay the money due under these contracts. As a guarantor, you could be liable if the body corporate owes money under a contract.

Buying off the plan

If you are buying a property that has not been built yet, then you **cannot be certain** what the end product of the development process will be. If you are buying before a community plan has been deposited, then any proposed development contract, scheme description or by-laws you have been shown could change.

Mixed use developments—voting rights

You may be buying into a group that is run by several different community corporations. This is common in mixed use developments, for example, where a group of apartments is combined with a hotel or a group of shops. If there is more than 1 corporation, then you should not expect that all lot owners in the group will have equal voting rights. The corporations may be structured so that, even though there are more apartments than shops in the group, the shop-owners can outvote the apartment owners on some matters. Make enquiries so that you understand how many corporations there are and what voting rights you will have.

Further information

The Real Estate Institute of South Australia provides an information service for enquiries about real estate transactions, see www.reisa.com.au.

The Australian Institute of Conveyancers (SA Division) (AICSA) provides information and operates a Public Advice Service with respect to conveyancers and the conveyancing process, see www.aicsa.com.au.

A free telephone Strata and Community Advice Service is operated by the Legal Services Commission of South Australia: call 1300 366 424.

Information and a booklet about strata and community titles is available from the Legal Services Commission of South Australia at www.lsc.sa.gov.au.

You can also seek advice from a legal practitioner.

ANNEXURES

~~* There are no documents annexed hereto~~

* The following documents are annexed hereto -

- Certificate of Title Volume 5906 Folio 289
- Property Interest Report
- Title and Valuation Package
- Council Search
- Emergency Services Levy Certificate
- Land Tax Certificate
- SA Water Certificate
- Community Title Search Pursuant to Section 139
- Community Plan No. 21926
- Copy of Community Corporation By-Laws
- Community Title Scheme Description
- Community Title Development Contract
- Code Register Amendment Check
- Form R3
- Form R7

ACKNOWLEDGEMENT OF RECEIPT

* I / We, the abovenamed Purchaser(s), hereby acknowledge having received this day this Statement under section 7 under the *Land and Business (Sale and Conveyancing) Act* with the annexures as set out above.

Dated this _____ Day of _____ 20____

Signed:

Date:

Signed:

Date:

Signed:

Date:

Signed:

Date:

(*Strike out whichever is not applicable)

Form R3

Buyers information notice

Land and Business (Sale and Conveyancing) Act 1994 section 13A

Land and Business (Sale and Conveyancing) Regulations 2025 regulation 16

Before you buy a home there are a number of things that you should investigate and consider. Though it may not be obvious at the time, there could be matters that may affect your enjoyment of the property, the safety of people on the property or the value of the property.

The following questions may help you to identify if a property is appropriate to purchase. In many cases the questions relate to a variety of laws and standards. These laws and standards change over time, so it is important to seek the most up to date information. Various government agencies can provide up to date and relevant information on many of these questions. To find out more, Consumer and Business Services recommends that you check the Consumer and Business Advice section on the following website: www.cbs.sa.gov.au

Consider having a professional building inspection done before proceeding with a purchase. A building inspection will help you answer some of the questions below.

The questions have been categorised under the headings **Safety**, **Enjoyment** and **Value**, but all of the issues are relevant to each heading.

Safety

- Is there **asbestos** in any of the buildings or elsewhere on the property eg sheds and fences?
- Does the property have any significant **defects** eg **cracking** or **salt damp**? Have the wet areas been waterproofed?
- Is the property in a **bushfire** prone area?
- Are the **electrical wiring**, **gas installation**, **plumbing and appliances** in good working order and in good condition? Is a **safety switch** (RCD) installed? Is it working?
- Are there any prohibited **gas appliances** in bedrooms or bathrooms?
- Are **smoke alarms** installed in the house? If so, are they hardwired? Are they in good working order and in good condition? Are they compliant?
- Is there a **swimming pool and/or spa pool** installed on the property? Are there any safety barriers or fences in place? Do they conform to current standards?
- Does the property have any **termite** or other pest infestations? Is there a current preventive termite treatment program in place? Was the property treated at some stage with persistent organochlorins (now banned) or other **toxic** termiticides?
- Has fill been used on the site? Is the soil contaminated by **chemical residues** or waste?
- Does the property use **cooling towers** or manufactured warm water systems? If so, what are the maintenance requirements?

Enjoyment

- Does the property have any **stormwater** problems?
- Is the property in a **flood prone** area? Is the property prone to coastal flooding?
- Does the property have an on-site **wastewater treatment facility** such as a septic tank installed? If so, what are the maintenance requirements? Is it compliant?
- Is a **sewer mains connection** available?
- Are all gutters, downpipes and stormwater systems in good working order and in good condition?
- Is the property near **power lines**? Are there any trees on the property near power lines? Are you considering planting any trees? Do all structures and trees maintain the required clearance from any power lines?
- Are there any **significant** trees on the property?
- Is this property a unit on **strata or community title**? What could this mean for you? Is this property on strata or community title? Do you understand the restrictions of use and the financial obligations of ownership? Will you have to pay a previous owner's debt or the cost of planned improvements?
- Is the property close to a hotel, restaurant or other venue with entertainment consent for live music? Is the property close to any industrial or commercial activity, a busy road or airport etc that may result in the generation of **noise** or the **emission of materials or odours** into the air?
- What appliances, equipment and fittings are included in the sale of the property?
- Is there sufficient car parking space available to the property?

Value

- Are there any **illegal or unapproved additions**, extensions or alterations to the buildings on the property?
- How **energy efficient** is the home, including appliances and lighting? What **energy sources** (eg electricity, gas) are available?
- Is the property connected to SA Water operated and maintained **mains water**? Is a mains water connection available? Does the property have a **recycled water** connection? What sort of water meter is located on the property (a **direct or indirect meter** – an indirect meter can be located some distance from the property)? Is the property connected to a water meter that is also serving another property?
- Are there water taps outside the building? Is there a watering system installed? Are they in good working order and in good condition?
- Does the property have **alternative sources** of water other than mains water supply (including **bore or rainwater**)? If so, are there any special maintenance requirements?

For more information on these matters visit Consumer and Business Advice section on the following website: www.cbs.sa.gov.au

Disclaimer: There may be other issues relevant to the purchase of real estate. If you are unable to ascertain enough information about the questions raised in this form and any other concerns you may have we strongly recommend you obtain independent advice through a building inspection, a lawyer, and a financial adviser.



Product
Date/Time
Customer Reference
Order ID

Register Search (CT 5906/289)
24/09/2025 03:45PM
OR-1B6KO4L2653X4Z
20250924008482

REAL PROPERTY ACT, 1886



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



Certificate of Title - Volume 5906 Folio 289

Parent Title(s) CT 5394/915
 Creating Dealing(s) ACT 9681925
 Title Issued 11/11/2003 Edition 5 Edition Issued 09/02/2015

Diagram Reference

Estate Type

FEE SIMPLE

Registered Proprietor

GORDON ERIC MARTIN
 IRMA EUCLIDES MARTIN
 OF UNIT 3 57 COTTAGE LANE HACKHAM SA 5163
 AS JOINT TENANTS

Description of Land

LOT 3 PRIMARY COMMUNITY PLAN 21926
 IN THE AREA NAMED HACKHAM
 HUNDRED OF NOARLUNGA

Easements

NIL

Schedule of Dealings

NIL

Notations

Dealings Affecting Title NIL

Priority Notices NIL

Notations on Plan

Lodgement Date	Dealing Number	Description	Status
16/09/2003	9681927	SCHEME DESCRIPTION	FILED
16/09/2003	9681928	DEVELOPMENT CONTRACT	FILED
18/06/2008	10979721	BY-LAWS	FILED

Registrar-General's Notes NIL

Administrative Interests NIL



Product
Date/Time
Customer Reference
Order ID

Check Search
24/09/2025 03:45PM
OR-1B6KO4L2653X4Z
20250924008482

Certificate of Title

Title Reference: CT 5906/289
Status: CURRENT
Edition: 5

Dealings

No Unregistered Dealings and no Dealings completed in the last 90 days for this title

Priority Notices

NIL

Notations on Plan

Lodgement Date	Completion Date	Dealing Number	Description	Status	Plan
16/09/2003	10/11/2003	9681927	SCHEME DESCRIPTION	FILED	C21926
16/09/2003	10/11/2003	9681928	DEVELOPMENT CONTRACT	FILED	C21926
18/06/2008	14/07/2008	10979721	BY-LAWS	FILED	C21926

Registrar-General's Notes

No Registrar-General's Notes exist for this title



Product
Date/Time
Customer Reference
Order ID

Historical Search
24/09/2025 03:45PM
OR-1B6KO4L2653X4Z
20250924008482

Certificate of Title

Title Reference: CT 5906/289
Status: CURRENT
Parent Title(s): CT 5394/915
Dealing(s) Creating Title: ACT 9681925
Title Issued: 11/11/2003
Edition: 5

Dealings

Lodgement Date	Completion Date	Dealing Number	Dealing Type	Dealing Status	Details
14/01/2015	09/02/2015	12261990	DISCHARGE OF MORTGAGE	REGISTERED	11023126
27/08/2008	02/09/2008	11023126	MORTGAGE	REGISTERED	COMMONWEALTH BANK OF AUSTRALIA
25/06/2004	01/07/2004	10012523	TRANSFER	REGISTERED	GORDON ERIC MARTIN, IRMA EUCLIDES MARTIN
25/06/2004	01/07/2004	10012522	TRANSFER	REGISTERED	DAMIR CULIC, JEANETTE CULIC
28/05/2004	01/07/2004	9854455	DISCHARGE OF MORTGAGE	REGISTERED	9766062
28/05/2004	01/07/2004	9854454	DISCHARGE OF MORTGAGE	REGISTERED	9628491
28/05/2004	28/06/2004	9854456	TRANSFER	TEMPORARILY WITHDRAWN	GORDON ERIC MARTIN, IRMA EUCLIDES MARTIN
14/01/2004	05/02/2004	9766062	MORTGAGE	REGISTERED	LA TROBE CAPITAL & MORTGAGE CORPORATION LTD.
02/07/2003	14/07/2003	9628491	MORTGAGE	REGISTERED	LA TROBE CAPITAL & MORTGAGE CORPORATION LTD., PATRICK CHRISTOPHER CROWTHER, GABRIEL BEVERLEY CROWTHER, ROBERT PIERCE GOWER, & others

Property Interest Report

Provided by Land Services SA on behalf of the South Australian Government

Title Reference	CT 5906/289	Reference No. 2714580
Registered Proprietors	G E & I E*MARTIN	Prepared 24/09/2025 15:45
Address of Property	Unit 3, 57 COTTAGE LANE, HACKHAM, SA 5163	
Local Govt. Authority	CITY OF ONKAPARINGA	
Local Govt. Address	PO BOX 1 NOARLUNGA CENTRE SA 5168	

This report provides information that may be used to complete a Form 1 as prescribed in the *Land and Business (Sale and Conveyancing) Act 1994*

Table of Particulars

Particulars of mortgages, charges and prescribed encumbrances affecting the land as identified in Division 1 of the Schedule to Form 1 as described in the Regulations to the *Land and Business (Sale and Conveyancing) Act 1994*

All enquiries relating to the Regulations or the **Form 1** please contact Consumer & Business Services between 8:30 am and 5:00 pm on 131 882 or via their website www.cbs.sa.gov.au

<u>Prescribed encumbrance</u>	<u>Particulars</u> (Particulars in bold indicates further information will be provided)
-------------------------------	---

1. General

- | | | |
|-----|--|--|
| 1.1 | Mortgage of land

<i>[Note - Do not omit this item. The item and its heading must be included in the statement even if not applicable.]</i> | Refer to the Certificate of Title |
| 1.2 | Easement
(whether over the land or annexed to the land)

Note--"Easement" includes rights of way and party wall rights

<i>[Note - Do not omit this item. The item and its heading must be included in the statement even if not applicable.]</i> | Refer to the Certificate of Title |
| 1.3 | Restrictive covenant

<i>[Note - Do not omit this item. The item and its heading must be included in the statement even if not applicable.]</i> | Refer to the Certificate of Title for details of any restrictive covenants as an encumbrance |
| 1.4 | Lease, agreement for lease, tenancy agreement or licence
(The information does not include information about any sublease or subtenancy. That information may be sought by the purchaser from the lessee or tenant or sublessee or subtenant.)

<i>[Note - Do not omit this item. The item and its heading must be included in the statement even if not applicable.]</i> | Refer to the Certificate of Title

also

Contact the vendor for these details |
| 1.5 | Caveat | Refer to the Certificate of Title |
| 1.6 | Lien or notice of a lien | Refer to the Certificate of Title |

2. Aboriginal Heritage Act 1988

- | | | |
|-----|---|---|
| 2.1 | section 9 - Registration in central archives of an Aboriginal site or object | Aboriginal Affairs and Reconciliation in AGD has no registered entries for Aboriginal sites or objects affecting this title |
| 2.2 | section 24 - Directions prohibiting or restricting access to, or activities on, a site or | Aboriginal Affairs and Reconciliation in AGD has no record of any direction affecting this title |

an area surrounding a site

- 2.3 Part 3 Division 6 - Aboriginal heritage agreement

Aboriginal Affairs and Reconciliation in AGD has no record of any agreement affecting this title

also

Refer to the Certificate of Title

3. Burial and Cremation Act 2013

- 3.1 section 8 - Human remains interred on land

Births, Deaths and Marriages in AGD has no record of any gravesites relating to this title

also

contact the vendor for these details

4. Crown Rates and Taxes Recovery Act 1945

- 4.1 section 5 - Notice requiring payment

Crown Lands Program in DEW has no record of any notice affecting this title

5. Development Act 1993 (repealed)

- 5.1 section 42 - Condition (that continues to apply) of a development authorisation

State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

[Note - Do not omit this item. The item and its heading must be included in the statement even if not applicable.]

also

Contact the Local Government Authority for other details that might apply

- 5.2 section 50(1) - Requirement to vest land in a council or the Crown to be held as open space

State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

also

Contact the Local Government Authority for other details that might apply

- 5.3 section 50(2) - Agreement to vest land in a council or the Crown to be held as open space

State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

also

Contact the Local Government Authority for other details that might apply

- 5.4 section 55 - Order to remove or perform work

State Planning Commission in the Department for Housing and Urban Development has no record of any order or notice affecting this title

also

Contact the Local Government Authority for other details that might apply

- 5.5 section 56 - Notice to complete development

State Planning Commission in the Department for Housing and Urban Development has no record of any order or notice affecting this title

also

Contact the Local Government Authority for other details that might apply

- 5.6 section 57 - Land management agreement

Refer to the Certificate of Title

- 5.7 section 60 - Notice of intention by building owner

Contact the vendor for these details

- 5.8 section 69 - Emergency order

State Planning Commission in the Department for Housing and Urban Development has no record of any order affecting this title

also

Contact the Local Government Authority for other details that might apply

- 5.9 section 71 - Fire safety notice

Building Fire Safety Committee in the Department for Housing and Urban Development has no record of any notice affecting this title

- 5.10 section 84 - Enforcement notice
State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

also

Contact the Local Government Authority for other details that might apply
- 5.11 section 85(6), 85(10) or 106 - Enforcement order
State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

also

Contact the Local Government Authority for other details that might apply
- 5.12 Part 11 Division 2 - Proceedings
Contact the Local Government Authority for other details that might apply

also

Contact the vendor for these details

6. Repealed Act conditions

- 6.1 Condition (that continues to apply) of an approval or authorisation granted under the *Building Act 1971* (repealed), the *City of Adelaide Development Control Act, 1976* (repealed), the *Planning Act 1982* (repealed) or the *Planning and Development Act 1967* (repealed)

State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

also

Contact the Local Government Authority for other details that might apply

[Note - Do not omit this item. The item and its heading must be included in the statement even if not applicable.]

7. Emergency Services Funding Act 1998

- 7.1 section 16 - Notice to pay levy

An Emergency Services Levy Certificate will be forwarded. If you do not receive the certificate within four (4) working days please contact the RevenueSA Customer Contact Centre on (08) 8226 3750.

Clients who have misplaced or not received their certificates and are RevenueSA Online users should log into RevenueSA Online and reprint their certificates www.revenuesaonline.sa.gov.au

8. Environment Protection Act 1993

- 8.1 section 59 - Environment performance agreement that is registered in relation to the land
EPA (SA) does not have any current Performance Agreements registered on this title
- 8.2 section 93 - Environment protection order that is registered in relation to the land
EPA (SA) does not have any current Environment Protection Orders registered on this title
- 8.3 section 93A - Environment protection order relating to cessation of activity that is registered in relation to the land
EPA (SA) does not have any current Orders registered on this title
- 8.4 section 99 - Clean-up order that is registered in relation to the land
EPA (SA) does not have any current Clean-up orders registered on this title
- 8.5 section 100 - Clean-up authorisation that is registered in relation to the land
EPA (SA) does not have any current Clean-up authorisations registered on this title
- 8.6 section 103H - Site contamination assessment order that is registered in relation to the land
EPA (SA) does not have any current Orders registered on this title
- 8.7 section 103J - Site remediation order that is registered in relation to the land
EPA (SA) does not have any current Orders registered on this title
- 8.8 section 103N - Notice of declaration of special management area in relation to the land (due to possible existence of site contamination)
EPA (SA) does not have any current Orders registered on this title

- 8.9 section 103P - Notation of site contamination audit report in relation to the land EPA (SA) does not have any current Orders registered on this title
- 8.10 section 103S - Notice of prohibition or restriction on taking water affected by site contamination in relation to the land EPA (SA) does not have any current Orders registered on this title

9. *Fences Act 1975*

- 9.1 section 5 - Notice of intention to perform fencing work Contact the vendor for these details

10. *Fire and Emergency Services Act 2005*

- 10.1 section 105F - (or section 56 or 83 (repealed)) - Notice to take action to prevent outbreak or spread of fire Contact the Local Government Authority for other details that might apply
Where the land is outside a council area, contact the vendor

11. *Food Act 2001*

- 11.1 section 44 - Improvement notice Public Health in DHW has no record of any notice or direction affecting this title
also
Contact the Local Government Authority for other details that might apply
- 11.2 section 46 - Prohibition order Public Health in DHW has no record of any notice or direction affecting this title
also
Contact the Local Government Authority for other details that might apply

12. *Ground Water (Qualco-Sunlands) Control Act 2000*

- 12.1 Part 6 - risk management allocation Qualco Sunlands Ground Water Control Trust has no record of any allocation affecting this title
- 12.2 section 56 - Notice to pay share of Trust costs, or for unauthorised use of water, in respect of irrigated property DEW Water Licensing has no record of any notice affecting this title

13. *Heritage Places Act 1993*

- 13.1 section 14(2)(b) - Registration of an object of heritage significance Heritage Branch in DEW has no record of any registration affecting this title
- 13.2 section 17 or 18 - Provisional registration or registration Heritage Branch in DEW has no record of any registration affecting this title
- 13.3 section 30 - Stop order Heritage Branch in DEW has no record of any stop order affecting this title
- 13.4 Part 6 - Heritage agreement Heritage Branch in DEW has no record of any agreement affecting this title
also
Refer to the Certificate of Title
- 13.5 section 38 - "No development" order Heritage Branch in DEW has no record of any "No development" order affecting this title

14. *Highways Act 1926*

- 14.1 Part 2A - Establishment of control of access from any road abutting the land Transport Assessment Section within DIT has no record of any registration affecting this title

15. *Housing Improvement Act 1940 (repealed)*

- 15.1 section 23 - Declaration that house is undesirable or unfit for human habitation Contact the Local Government Authority for other details that might apply
- 15.2 Part 7 (rent control for substandard houses) - notice or declaration Housing Safety Authority has no record of any notice or declaration affecting this title

16. *Housing Improvement Act 2016*

- 16.1 Part 3 Division 1 - Assessment, improvement or demolition orders Housing Safety Authority has no record of any notice or declaration affecting this title
- 16.2 section 22 - Notice to vacate premises Housing Safety Authority has no record of any notice or declaration affecting this title
- 16.3 section 25 - Rent control notice Housing Safety Authority has no record of any notice or declaration affecting this title

17. Land Acquisition Act 1969

- 17.1 section 10 - Notice of intention to acquire Refer to the Certificate of Title for any notice of intention to acquire also
Contact the Local Government Authority for other details that might apply

18. Landscape South Australia Act 2019

- 18.1 section 72 - Notice to pay levy in respect of costs of regional landscape board The regional landscape board has no record of any notice affecting this title
- 18.2 section 78 - Notice to pay levy in respect of right to take water or taking of water DEW has no record of any notice affecting this title
- 18.3 section 99 - Notice to prepare an action plan for compliance with general statutory duty The regional landscape board has no record of any notice affecting this title
- 18.4 section 107 - Notice to rectify effects of unauthorised activity The regional landscape board has no record of any notice affecting this title also
DEW has no record of any notice affecting this title
- 18.5 section 108 - Notice to maintain watercourse or lake in good condition The regional landscape board has no record of any notice affecting this title
- 18.6 section 109 - Notice restricting the taking of water or directing action in relation to the taking of water DEW has no record of any notice affecting this title
- 18.7 section 111 - Notice to remove or modify a dam, embankment, wall or other obstruction or object The regional landscape board has no record of any notice affecting this title
- 18.8 section 112 - Permit (or condition of a permit) that remains in force The regional landscape board has no record of any permit (that remains in force) affecting this title also
DEW has no record of any permit (that remains in force) affecting this title
- 18.9 section 120 - Notice to take remedial or other action in relation to a well DEW has no record of any notice affecting this title
- 18.10 section 135 - Water resource works approval DEW has no record of a water resource works approval affecting this title
- 18.11 section 142 - Site use approval DEW has no record of a site use approval affecting this title
- 18.12 section 166 - Forest water licence DEW has no record of a forest water licence affecting this title
- 18.13 section 191 - Notice of instruction as to keeping or management of animal or plant The regional landscape board has no record of any notice affecting this title
- 18.14 section 193 - Notice to comply with action order for the destruction or control of animals or plants The regional landscape board has no record of any notice affecting this title
- 18.15 section 194 - Notice to pay costs of destruction or control of animals or plants on road reserve The regional landscape board has no record of any notice affecting this title
- 18.16 section 196 - Notice requiring control or quarantine of animal or plant The regional landscape board has no record of any notice affecting this title
- 18.17 section 207 - Protection order to secure compliance with specified provisions of the The regional landscape board has no record of any notice affecting this title

Act

- | | | |
|-------|--|---|
| 18.18 | section 209 - Reparation order requiring specified action or payment to make good damage resulting from contravention of the Act | The regional landscape board has no record of any notice affecting this title |
| 18.19 | section 211 - Reparation authorisation authorising specified action to make good damage resulting from contravention of the Act | The regional landscape board has no record of any notice affecting this title |
| 18.20 | section 215 - Orders made by ERD Court | The regional landscape board has no record of any notice affecting this title |
| 18.21 | section 219 - Management agreements | The regional landscape board has no record of any notice affecting this title |
| 18.22 | section 235 - Additional orders on conviction | The regional landscape board has no record of any notice affecting this title |

19. Land Tax Act 1936

- | | | |
|------|---|---|
| 19.1 | Notice, order or demand for payment of land tax | <p>A Land Tax Certificate will be forwarded.
 If you do not receive the certificate within four (4) working days please contact the RevenueSA Customer Contact Centre on (08) 8226 3750.</p> <p>Clients who have misplaced or not received their certificates and are RevenueSA Online users should log into RevenueSA Online and reprint their certificates www.revenuesaonline.sa.gov.au</p> |
|------|---|---|

20. Local Government Act 1934 (repealed)

- | | | |
|------|---|---|
| 20.1 | Notice, order, declaration, charge, claim or demand given or made under the Act | Contact the Local Government Authority for other details that might apply |
|------|---|---|

21. Local Government Act 1999

- | | | |
|------|---|---|
| 21.1 | Notice, order, declaration, charge, claim or demand given or made under the Act | Contact the Local Government Authority for other details that might apply |
|------|---|---|

22. Local Nuisance and Litter Control Act 2016

- | | | |
|------|--|---|
| 22.1 | section 30 - Nuisance or litter abatement notice | Contact the Local Government Authority for other details that might apply |
|------|--|---|

23. Metropolitan Adelaide Road Widening Plan Act 1972

- | | | |
|------|--|---|
| 23.1 | section 6 - Restriction on building work | Transport Assessment Section within DIT has no record of any restriction affecting this title |
|------|--|---|

24. Mining Act 1971

- | | | |
|------|---|---|
| 24.1 | Mineral tenement (other than an exploration licence) | Mineral Tenements in the Department of Energy and Mining has no record of any proclamation affecting this title |
| 24.2 | section 9AA - Notice, agreement or order to waive exemption from authorised operations | Contact the vendor for these details |
| 24.3 | section 56T(1) - Consent to a change in authorised operations | Contact the vendor for these details |
| 24.4 | section 58(a) - Agreement authorising tenement holder to enter land | Contact the vendor for these details |
| 24.5 | section 58A - Notice of intention to commence authorised operations or apply for lease or licence | Contact the vendor for these details |
| 24.6 | section 61 - Agreement or order to pay compensation for authorised operations | Contact the vendor for these details |
| 24.7 | section 75(1) - Consent relating to extractive minerals | Contact the vendor for these details |
| 24.8 | section 82(1) - Deemed consent or agreement | Contact the vendor for these details |

24.9 Proclamation with respect to a private mine Mineral Tenements in the Department of Energy and Mining has no record of any proclamation affecting this title

25. Native Vegetation Act 1991

25.1 Part 4 Division 1 - Heritage agreement DEW Native Vegetation has no record of any agreement affecting this title
also
Refer to the Certificate of Title

25.2 section 25C - Conditions of approval regarding achievement of environmental benefit by accredited third party provider DEW Native Vegetation has no record of any agreement affecting this title
also
Refer to the Certificate of Title

25.3 section 25D - Management agreement DEW Native Vegetation has no record of any agreement affecting this title
also
Refer to the Certificate of Title

25.4 Part 5 Division 1 - Refusal to grant consent, or condition of a consent, to clear native vegetation DEW Native Vegetation has no record of any refusal or condition affecting this title

26. Natural Resources Management Act 2004 (repealed)

26.1 section 97 - Notice to pay levy in respect of costs of regional NRM board The regional landscape board has no record of any notice affecting this title

26.2 section 123 - Notice to prepare an action plan for compliance with general statutory duty The regional landscape board has no record of any notice affecting this title

26.3 section 134 - Notice to remove or modify a dam, embankment, wall or other obstruction or object The regional landscape board has no record of any notice affecting this title

26.4 section 135 - Condition (that remains in force) of a permit The regional landscape board has no record of any notice affecting this title

26.5 section 181 - Notice of instruction as to keeping or management of animal or plant The regional landscape board has no record of any notice affecting this title

26.6 section 183 - Notice to prepare an action plan for the destruction or control of animals or plants The regional landscape board has no record of any notice affecting this title

26.7 section 185 - Notice to pay costs of destruction or control of animals or plants on road reserve The regional landscape board has no record of any notice affecting this title

26.8 section 187 - Notice requiring control or quarantine of animal or plant The regional landscape board has no record of any notice affecting this title

26.9 section 193 - Protection order to secure compliance with specified provisions of the Act The regional landscape board has no record of any order affecting this title

26.10 section 195 - Reparation order requiring specified action or payment to make good damage resulting from contravention of the Act The regional landscape board has no record of any order affecting this title

26.11 section 197 - Reparation authorisation authorising specified action to make good damage resulting from contravention of the Act The regional landscape board has no record of any authorisation affecting this title

27. Outback Communities (Administration and Management) Act 2009

27.1 section 21 - Notice of levy or contribution payable Outback Communities Authority has no record affecting this title

28. *Phylloxera and Grape Industry Act 1995*

28.1 section 23(1) - Notice of contribution payable The Phylloxera and Grape Industry Board of South Australia has no vineyard registered against this title. However all properties with greater than 0.5 hectares of planted vines are required to be registered with the board

29. *Planning, Development and Infrastructure Act 2016*

29.1 Part 5 - Planning and Design Code
[Note - Do not omit this item. The item and its heading must be included in the statement even if not applicable.]

Contact the Local Government Authority for the title or other brief description of the zone or subzone in which the land is situated.

also

Heritage Branch in DEW has no record of a State Heritage Area created prior to 15 January 1994 under the former South Australian Heritage Act 1978 affecting this title

also

For details of this item, including State Heritage Areas which have been authorised or put under interim effect since 15 January 1994, contact the Local Government Authority

also

Contact the Local Government Authority for other details that might apply to a place of local heritage value

also

For details of declared significant trees affecting this title, contact the Local Government Authority

also

The Planning and Design Code (the Code) is a statutory instrument under the *Planning, Development and Infrastructure Act 2016* for the purposes of development assessment and related matters within South Australia. The Code contains the planning rules and policies that guide what can be developed in South Australia. Planning authorities use these planning rules to assess development applications. To search and view details of proposed statewide code amendments or code amendments within a local government area, please search the code amendment register on the SA Planning Portal: https://plan.sa.gov.au/have_your_say/code-amendments/code_amendment_register or phone PlanSA on 1800 752 664.

29.2 section 127 - Condition (that continues to apply) of a development authorisation
[Note - Do not omit this item. The item and its heading must be included in the statement even if not applicable.]

State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

also

Contact the Local Government Authority for other details that might apply

29.3 section 139 - Notice of proposed work and notice may require access

Contact the vendor for these details

29.4 section 140 - Notice requesting access

Contact the vendor for these details

29.5 section 141 - Order to remove or perform work

State Planning Commission in the Department for Housing and Urban Development has no record of any order or notice affecting this title

also

Contact the Local Government Authority for other details that might apply

29.6 section 142 - Notice to complete development

State Planning Commission in the Department for Housing and Urban Development has no record of any order or notice affecting this title

also

Contact the Local Government Authority for other details that might apply

29.7 section 155 - Emergency order

State Planning Commission in the Department for Housing and Urban Development

- has no record of any order or notice affecting this title

also

Contact the Local Government Authority for other details that might apply
- 29.8 section 157 - Fire safety notice

Building Fire Safety Committee in the Department for Housing and Urban Development has no record of any order or notice affecting this title

also

Contact the Local Government Authority for other details that might apply
- 29.9 section 192 or 193 - Land management agreement

Refer to the Certificate of Title
- 29.10 section 198(1) - Requirement to vest land in a council or the Crown to be held as open space

State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

also

Contact the Local Government Authority for other details that might apply
- 29.11 section 198(2) - Agreement to vest land in a council or the Crown to be held as open space

State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

also

Contact the Local Government Authority for other details that might apply
- 29.12 Part 16 Division 1 - Proceedings

Contact the Local Government Authority for details relevant to this item

also

Contact the vendor for other details that might apply
- 29.13 section 213 - Enforcement notice

State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

also

Contact the Local Government Authority for other details that might apply
- 29.14 section 214(6), 214(10) or 222 - Enforcement order

Contact the Local Government Authority for details relevant to this item

also

State Planning Commission in the Department for Housing and Urban Development has no record of any conditions that continue to apply, affecting this title

30. *Plant Health Act 2009*

- 30.1 section 8 or 9 - Notice or order concerning pests

Plant Health in PIRSA has no record of any notice or order affecting this title

31. *Public and Environmental Health Act 1987 (repealed)*

- 31.1 Part 3 - Notice

Public Health in DHW has no record of any notice or direction affecting this title

also

Contact the Local Government Authority for other details that might apply
- 31.2 *Public and Environmental Health (Waste Control) Regulations 2010 (or 1995)* (revoked) Part 2 - Condition (that continues to apply) of an approval

Public Health in DHW has no record of any condition affecting this title

also

Contact the Local Government Authority for other details that might apply
- 31.3 *Public and Environmental Health (Waste Control) Regulations 2010* (revoked) regulation 19 - Maintenance order (that has not been complied with)

Public Health in DHW has no record of any order affecting this title

also

Contact the Local Government Authority for other details that might apply

32. South Australian Public Health Act 2011

- 32.1 section 66 - Direction or requirement to avert spread of disease Public Health in DHW has no record of any direction or requirement affecting this title
- 32.2 section 92 - Notice Public Health in DHW has no record of any notice affecting this title
also
Contact the Local Government Authority for other details that might apply
- 32.3 *South Australian Public Health (Wastewater) Regulations 2013* Part 4 - Condition (that continues to apply) of an approval Public Health in DHW has no record of any condition affecting this title
also
Contact the Local Government Authority for other details that might apply

33. Upper South East Dryland Salinity and Flood Management Act 2002 (expired)

- 33.1 section 23 - Notice of contribution payable DEW has no record of any notice affecting this title

34. Water Industry Act 2012

- 34.1 Notice or order under the Act requiring payment of charges or other amounts or making other requirement **An SA Water Certificate will be forwarded.
If you do not receive the certificate please contact the SA Water Customer Contact Centre on 1300 650 950**

also
The Office of the Technical Regulator in DEM has no record of any notice or order affecting this title

also
Lightsview Re-Water Supply Co Pty Ltd has no record of any notice or order affecting this title.

also
Robusto Investments Pty. Ltd. trading as Compass Springs has no current record of any notice or order affecting this title.

also
Alano Utilities Pty. Ltd. has no record of any notice or order affecting this title.

35. Water Resources Act 1997 (repealed)

- 35.1 section 18 - Condition (that remains in force) of a permit DEW has no record of any condition affecting this title
- 35.2 section 125 (or a corresponding previous enactment) - Notice to pay levy DEW has no record of any notice affecting this title

36. Other charges

- 36.1 Charge of any kind affecting the land (not included in another item) Refer to the Certificate of Title

also
Contact the vendor for these details

also
Contact the Local Government Authority for other details that might apply

Other Particulars

Other particulars as identified in Division 2 of the Schedule to Form 1 as described in the *Regulations to the Land and Business (Sale and Conveyancing) Act 1994*

- | | | |
|-----|---|---|
| 1. | Particulars of transactions in last 12 months | Contact the vendor for these details |
| 2. | Particulars relating to community lot (including strata lot) or development lot | Enquire directly to the Secretary or Manager of the Community Corporation |
| 3. | Particulars relating to strata unit | Enquire directly to the Secretary or Manager of the Strata Corporation |
| 4. | Particulars of building indemnity insurance | Contact the vendor for these details
also
Contact the Local Government Authority |
| 5. | Particulars relating to asbestos at workplaces | Contact the vendor for these details |
| 6. | Particulars relating to aluminium composite panels | Please note that the audit is limited to classes of buildings, and that this note does not confirm the presence or absence of Aluminium Composite Panelling. Contact the vendor for relevant details. |
| 7. | Particulars relating to court or tribunal process | Contact the vendor for these details |
| 8. | Particulars relating to land irrigated or drained under Irrigation Acts | SA Water will arrange for a response to this item where applicable |
| 9. | Particulars relating to environment protection | Contact the vendor for details of item 2
also
EPA (SA) has no record of any particulars relating to items 3, 4 or 5 affecting this title
also
Contact the Local Government Authority for information relating to item 6 |
| 10. | Particulars relating to <i>Livestock Act, 1997</i> | Animal Health in PIRSA has no record of any notice or order affecting this title |

Additional Information

The following additional information is provided for your information only.
These items are not prescribed encumbrances or other particulars prescribed under the Act.

- | | | |
|-----|--|--|
| 1. | Pipeline Authority of S.A. Easement | Epic Energy has no record of a Pipeline Authority Easement relating to this title |
| 2. | State Planning Commission refusal | No recorded State Planning Commission refusal |
| 3. | SA Power Networks | SA Power Networks has no interest other than that recorded on the attached notice or registered on the Certificate of Title |
| 4. | South East Australia Gas Pty Ltd | SEA Gas has no current record of a high pressure gas transmission pipeline traversing this property |
| 5. | Central Irrigation Trust | Central Irrigation Trust has no current records of any infrastructure or Water Delivery Rights associated to this title. |
| 6. | ElectraNet Transmission Services | ElectraNet has no current record of a high voltage transmission line traversing this property |
| 7. | Outback Communities Authority | Outback Communities Authority has no record affecting this title |
| 8. | Dog Fence (<i>Dog Fence Act 1946</i>) | This title falls outside the Dog Fence rateable area. Accordingly, the Dog Fence Board holds no current interest in relation to Dog Fence rates. |
| 9. | Pastoral Board (<i>Pastoral Land Management and Conservation Act 1989</i>) | The Pastoral Board has no current interest in this title |
| 10. | Heritage Branch DEW (<i>Heritage Places Act 1993</i>) | Heritage Branch in DEW has no record of any World, Commonwealth or National Heritage interest affecting this title |
| 11. | Health Protection Programs – Department for Health and Wellbeing | Health Protection Programs in the DHW has no record of a public health issue that currently applies to this title. |

Notices

Notices are printed under arrangement with organisations having some potential interest in the subject land. You should contact the identified party for further details.

Electricity and Telecommunications Infrastructure - Building Restrictions and Statutory Easements (including those related to gas, water and sewage)

Building restrictions

It is an offence under section 86 of the *Electricity Act 1996* to erect a building or structure within a prescribed distance of aerial or underground powerlines. In some, but not all, cases approval may be obtained from the Technical Regulator. Generally, however, land owners must not build, or alter a building or structure, with the result that any part of the resulting building or structure is within the minimum clearance distance required from certain types of powerlines. These building limitations are set out in the *Electricity (General) Regulations 2012* regulations 81 and 82. Purchasers intending to redevelop the property to be purchased should therefore be aware that the restrictions under the *Electricity Act* and *Regulations* may affect how, or if, they are able to redevelop the property.

In addition, if a building or structure is erected in proximity to a powerline of an electricity entity in contravention of the *Electricity Act*, the entity may seek a court order:

- a) requiring the person to take specified action to remove or modify the building or structure within a specified period;
- b) for compensation from the person for loss or damage suffered in consequence of the contravention; and/or
- c) for costs reasonably incurred by the entity in relocating the powerline or carrying out other work.

Contact the Office of the Technical Regulator in DEM on 8226 5500 for further details.

Statutory easements

Statutory easements for purposes such as (and without limitation) electricity, telecommunications, gas, water and sewage, may also exist, but may not be registered or defined on the title for the land.

Separate from the above building restrictions, South Australia's electricity supply and transmission businesses have statutory easements over land where part of the electricity distribution or transmission system was on, above or under the land as at particular dates specified by legislation.

This notice does not necessarily imply that any statutory or other easement exists.

However, where in existence, statutory easements may provide these organisations and businesses (identified in the relevant legislation) with the right of entry, at any reasonable time, to operate, repair, examine, replace, modify or maintain their equipment, to bring any vehicles or equipment on the land for these purposes, and to install, operate and carry out work on any pipelines, electricity or telecommunications cables or equipment that may be incorporated in, or attached to, their equipment (For example, see Clause 2 of Schedule 1 of the *Electricity Corporations (Restructuring and Disposal) Act 1999*; section 48A of the *Electricity Act 1996*).

For further clarification on these matters, please contact the relevant organisations or businesses, such as SA Power Networks' Easements Branch on telephone 8404 5897 or 8404 5894.

If you intend to excavate, develop or subdivide land, it is suggested that you first lodge a 'Dial Before you Dig' enquiry. Dial Before You Dig is a free referral service that provides information on the location of underground infrastructure. Using the Dial Before you Dig service (<https://1100.com.au>) may mitigate the risk of injury or expense resulting from inadvertent interference with, damage to, or requirement to relocate infrastructure.

Land Tax Act 1936 and Regulations thereunder

Agents should note that the current owner will remain liable for any additional charge accruing due before the date of this certificate which may be assessed on the land and also that the purchaser is only protected in respect of the tax for the financial year for which this certificate is issued. If the change of ownership will not occur on or before the 30th June, another certificate should be sought in respect of the next financial year or requests for certificate should not be made until after 30th June.

Animal and Plant Control (Agriculture Protection and other purposes) Act 1986 and Regulations

Agents should note that this legislation imposes a responsibility on a landholder to control and keep controlled proclaimed plants and particular classes of animals on a property.

Information should be obtained from:

- The vendor about the known presence of proclaimed plants or animals on the property including details which the vendor can obtain from records held by the local animal and plant control board
- The local animal and plant control board or the Animal and Plant Control Commission on the policies and priorities relating to the control of any serious proclaimed plants or animals in the area where the property is located.

Landscape South Australia 2019

Water Resources Management - Taking of underground water

Under the provisions of the *Landscape South Australia Act 2019*, if you intend to utilise underground water on the land subject to this enquiry the following apply:

- A well construction permit accompanied by the prescribed fee is required if a well/bore exceeding 2.5 meters is to be constructed. As the prescribed fee is subject to annual review, you should visit the webpage below to confirm the current fee
- A licensed well driller is required to undertake all work on any well/bore
- Work on all wells/bores is to be undertaken in accordance with the *General specification for well drilling operations affecting water in South Australia*.

Further information may be obtained by visiting <https://www.environment.sa.gov.au/licences-and-permits/water-licence-and-permit-forms>. Alternatively, you may contact the Department for Environment and Water on (08) 8735 1134 or email DEWaterlicensing@sa.gov.au.



Product
Date/Time
Customer Reference
Order ID

Title and Valuation Package
24/09/2025 03:45PM
OR-1B6KO4L2653X4Z
20250924008482

Certificate of Title

Title Reference CT 5906/289
Status CURRENT
Easement NO
Owner Number 02385514
Address for Notices 3 57 COTTAGE LANE HACKHAM 5163
Area 262m² (CALCULATED)

Estate Type

Fee Simple

Registered Proprietor

GORDON ERIC MARTIN
IRMA EUCLIDES MARTIN
OF UNIT 3 57 COTTAGE LANE HACKHAM SA 5163
AS JOINT TENANTS

Description of Land

LOT 3 PRIMARY COMMUNITY PLAN 21926
IN THE AREA NAMED HACKHAM
HUNDRED OF NOARLUNGA

Last Sale Details

Dealing Reference TRANSFER (T) 10012523
Dealing Date 25/05/2004
Sale Price \$169,000
Sale Type TRANSFER FOR FULL MONETARY CONSIDERATION

Constraints

Encumbrances

NIL

Stoppers

NIL

Valuation Numbers

Valuation Number	Status	Property Location Address
861248513*	CURRENT	Unit 3, 57 COTTAGE LANE, HACKHAM, SA 5163

Notations

Dealings Affecting Title

NIL



Product
Date/Time
Customer Reference
Order ID

Title and Valuation Package
 24/09/2025 03:45PM
 OR-1B6KO4L2653X4Z
 20250924008482

Notations on Plan

Lodgement Date	Dealing Number	Descriptions	Status
16/09/2003 14:17	9681927	SCHEME DESCRIPTION	FILED
16/09/2003 14:17	9681928	DEVELOPMENT CONTRACT	FILED
18/06/2008 11:07	10979721	BY-LAWS	FILED

Registrar-General's Notes

NIL

Administrative Interests

NIL

Valuation Record

Valuation Number	861248513*
Type	Site & Capital Value
Date of Valuation	01/01/2025
Status	CURRENT
Operative From	01/07/2004
Property Location	Unit 3, 57 COTTAGE LANE, HACKHAM, SA 5163
Local Government	ONKAPARINGA
Owner Names	IRMA EUCLIDES MARTIN GORDON ERIC MARTIN
Owner Number	02385514
Address for Notices	3 57 COTTAGE LANE HACKHAM 5163
Zone / Subzone	GN - General Neighbourhood
Water Available	Yes
Sewer Available	Yes
Land Use	1220 - Maisonette
Description	4HG V
Local Government Description	Residential

Parcels

Plan/Parcel	Title Reference(s)
C21926 LOT 3	CT 5906/289

Values



Product
Date/Time
Customer Reference
Order ID

Title and Valuation Package
 24/09/2025 03:45PM
 OR-1B6KO4L2653X4Z
 20250924008482

Financial Year	Site Value	Capital Value	Notional Site Value	Notional Capital Value	Notional Type
Current	\$225,000	\$520,000			
Previous	\$205,000	\$415,000			

Building Details

Valuation Number 861248513*

Building Style Conventional

Year Built 2004

Building Condition Very Good

Wall Construction Brick

Roof Construction Galvanised Iron

Equivalent Main Area 106 sqm

Number of Main Rooms 4

Note – this information is not guaranteed by the Government of South Australia

City Of Onkaparinga
PO Box 1
Noarlunga Centre SA 5168



Telephone (08) 8384 0666

Certificate No: S75381/2025

IMPORTANT INFORMATION REGARDING SEARCHES

Searchlight Technology
PO Box 232
RUNDLE MALL SA 5000

Attention Conveyancers

○ **Section 187 certificate update request free of charge (One Update):**

- Penalties and interest, property charges, payments or dishonoured payments can impact account balances on a daily basis.

To assist with financial adjustments as close as practicable to the date of settlement, your **Section 187 certificate will now be valid for 90 days**. Within this period Council will offer one update request without charge. This update is to be obtained via the online portal.

It is important to note all searches advise when fines/interest will be applied. When receiving your update search, should it be evident that further penalties will be applied prior to settlement, you will need to still consider these additional amounts as part of your settlement statement calculations.

Please Note: Section 7 certificates remain valid for a 30 day period only.

○ **BPAY biller code added to searches to enable electronic settlement of funds**

- Our BPAY biller code is now detailed on each search, enabling settlement funds to be disbursed to Council electronically. Please note that this is Council's preferred method payment and we request that you cease the use of cheques to affect settlement.

○ **How to advise Council of change of ownership?**

To also assist with the reduction of duplication of information being received from various agencies i.e. conveyancers and the Lands Titles Office, we are advocating that the **Purchaser's Conveyancer** to advise the change of ownership by following the below:

- If you are using e-conveyancing to affect a sale, please **only issue advice to Council if the mail service address is different to what was lodged via the transfer at the LTO**. Council's new practice is to update ownership details including the mailing address in accordance with the advice provided by the Valuer General. Council has amended this change to align with SA Water practices and to provide an improved customer experience overall.
- If lodging in person at Lands Title Office – Please send the change of ownership advice to Council via mail@onkaparinga.sa.gov.au. Electronic settlement of funds is still preferred.

Yours sincerely

City Of Onkaparinga

City Of Onkaparinga
PO Box 1
Noarlunga Centre SA 5168



Certificate No: S75381/2025

Telephone (08) 8384 0666

Property Information And Particulars

In response to an enquiry pursuant to Section 7 of the

The Land & Business (Sale & Conveyancing) Act, 1994

TO: Searchlight Technology
 PO Box 232
 RUNDLE MALL SA 5000

DETAILS OF PROPERTY REFERRED TO:

ASSESSMENT NO	:	93911
VALUER GENERAL NO	:	861248513*
VALUATION	:	\$520,000.00
OWNER	:	Mrs Irma Euclides Martin & Mr Gordon Eric Martin
PROPERTY ADDRESS	:	3/57 Cottage Lane HACKHAM SA 5163
VOLUME/FOLIO	:	CT-5906/289
LOT/PLAN NUMBER	:	Community Plan Parcel 3 CP 21926
WARD	:	06 Southern Vales Ward

Listed hereafter are the *MORTGAGES, CHARGES AND PRESCRIBED ENCUMBRANCES* in alphabetical order of *SCHEDULE 2*, Division 1 to which Council must respond according to *TABLE 1* of the *REGULATIONS UNDER THE LAND AND BUSINESS (SALE AND CONVEYANCING) ACT 1994*.

In addition, Building Indemnity Insurance details are given, if applicable, pursuant to *SCHEDULE 2*, Division 2 to which Council must respond according to *TABLE 2* of the *REGULATIONS UNDER THE LAND AND BUSINESS (SALE AND CONVEYANCING) ACT 1994*.

The information provided indicates whether any prescribed encumbrances exist on the land, which has been placed/imposed by, or is for the benefit of Council.

All of the prescribed encumbrances listed herein are answered solely in respect to a statutory function or registered interest of the Council, and do not infer any response to an enquiry on behalf of other persons or authorities.

Where a prescribed encumbrance requires a dual response, as described by *TABLE 1*, of *SCHEDULE 2*, of the *REGULATIONS UNDER THE LAND AND BUSINESS (SALE AND CONVEYANCING) ACT, 1994*, the enquirer should also refer a like enquiry to the Department for Transport Energy and Infrastructure.

Pursuant to the provisions of the *REGULATIONS UNDER THE LAND AND BUSINESS (SALES AND CONVEYANCING) ACT, 1994*, Council hereby provides the following information in response to your enquiries:

INFORMATION NOTE

CHANGES TO PLANNING POLICY AFFECTING LAND IN COUNCIL'S AREA

The information provided in this note is additional to, and not in substitution of, any information provided in response to your request for statutory search information. The response to your request, provided with this note, does not reference changes to planning policy affecting all South Australian Councils.

Development Act 1993 (repealed)

Section 42

Condition (that continues to apply) of a development authorisation YES

Application Number	145/714/2003
Description	2 Dwellings & Garages
Decision	Approved
Decision Date	16 June 2003

Development Plan Consent Conditions

1. All development shall be completed in accordance with the plan(s) and documents submitted with and forming part of the development application except where varied by the following condition(s).
2. All stormwater drainage shall discharge so that it does not flow or discharge onto land of adjoining owners or in the opinion of Council detrimentally affect structures on this site or any adjoining land.
3. That effective measures be implemented during the construction of the development and on-going use of the land in accordance with this consent to:
 - prevent silt run-off from the land to adjoining properties, roads and drains;
 - control dust arising from the construction and other activities, so as not to, in the opinion of Council, be a nuisance to residents or occupiers on adjacent land;
 - ensure that soil or mud is not transferred onto the adjacent roadways by vehicles leaving the site;
 - ensure that all litter and building waste is contained on the subject site in a suitable bin or enclosure; and
 - ensure that no sound is emitted from any device, plant or equipment or from any source or activity to become an unreasonable nuisance, in the opinion of Council, to the occupiers of adjacent land.
4. The front setback area (between the front property boundary and front of the house) shall be planted with suitable trees, shrubs, lawn and/or ground cover. Such landscaping shall be completed within 6 months of the occupation of the dwelling and maintained in good condition at all times.

Building Rules Consent Conditions

1. A copy of all wall and roof framing plans and details including specific wall bracing (as certified by Ginos Engineers Job No 1981 & 1982) shall be submitted to Council for inspection purposes prior to the commencement of such work. (BCA-Part 3.4)

Planning Act 1982 (repealed)

Condition (that continues to apply) of a development authorisation NO

Building Act 1971 (repealed)

Condition (that continues to apply) of a development authorisation NO

Planning and Development Act 1966 (repealed)

Condition (that continues to apply) of a development authorisation NO

Planning, Development and Infrastructure Act 2016

Part 5 – Planning and Design Code

Zones

General Neighbourhood (GN)

Subzones

NO

Zoning overlays

Overlays

Affordable Housing

The Affordable Housing Overlay seeks to ensure the integration of a range of affordable dwelling types into residential and mixed use development.

Hazards (Bushfire - Urban Interface) (Urban Interface)

The Hazards (Bushfire - Urban Interface) Overlay seeks to ensure urban neighbourhoods adjoining bushfire risk areas allow access through to bushfire risk areas, are designed to protect life and property from the threat of bushfire and facilitate evacuation to areas safe from bushfire danger.

Native Vegetation

The Native Vegetation Overlay seeks to protect, retain and restore areas of native vegetation.

Prescribed Wells Area

The Prescribed Wells Area Overlay seeks to ensure sustainable water use in prescribed wells areas.

Regulated and Significant Tree

The Regulated and Significant Tree Overlay seeks to mitigate the loss of regulated trees through appropriate development and redevelopment.

Stormwater Management

The Stormwater Management Overlay seeks to ensure new development incorporates water sensitive urban design techniques to capture and re-use stormwater.

Urban Tree Canopy

The Urban Tree Canopy Overlay seeks to preserve and enhance urban tree canopy through the planting of new trees and retention of existing mature trees where practicable.

Is the land situated in a designated State Heritage Place/Area?

NO

Is the land designated as a Local Heritage Place?

NO

Open the SA Heritage Places Database Search tool to find the locations' Heritage Place Details.

<http://maps.sa.gov.au/heritagesearch/HeritageSearchLocation.aspx>

Is there a tree or stand of trees declared in Part 10 of the Planning and Design Code to be a significant tree or trees on the land?

Council does not have trees listed in Part 10 - Significant Trees of the Planning and Design Code. However, there may be regulated or significant tree(s) on the site as defined by the Planning and Code that would require approval for maintenance pruning or removal.

Open the Online Planning and Design Code to browse the full Code and Part 10 - Significant Trees for more information. <https://code.plan.sa.gov.au/>

Is there a current amendment to the Planning and Design Code released for public consultation by a designated entity on which consultation is continuing or on which consultation has ended but whose proposed amendment has not yet come into operation?

The Property Interest Report available through [Land Services SA](#) provides information necessary for Conveyancers to complete the Vendor's Statement.

Note - For further information about the Planning and Design Code visit <https://code.plan.sa.gov.au>

Section 127

Condition (that continues to apply) of a development authorisation NO

Part 2—Items to be included if land affected

Development Act 1993 (repealed)

Section 50(1)

Requirement to vest land in council to be held as open space NO

Section 50(2)

Agreement to vest land in council to be held as open space NO

Section 55

Order to remove or perform work NO

Section 56

Notice to complete development NO

Section 57

Land management agreement NO

Section 69

Emergency order NO

Section 71 (only)

Fire safety notice NO

Section 84

Enforcement notice NO

Section 85(6), 85(10) or 106

Enforcement Order NO

Part 11 Division 2

Proceedings NO

Fire and Emergency Services Act 2005

Section 105F (or section 56 or 83 (repealed))

Notice NO

Section 56 (repealed)

Notice issued NO

Food Act 2001

Section 44

Improvement notice *issued against the land* NO

<i>Section 46</i> Prohibition order	NO
 Housing Improvement Act 1940 (repealed)	
<i>Section 23</i> Declaration that house is undesirable or unfit for human habitation	NO
 Land Acquisition Act 1969	
<i>Section 10</i> Notice of intention to acquire	NO
 Local Government Act 1934 (repealed)	
<i>Notice, order, declaration, charge, claim or demand given or made under the Act</i>	NO
 Local Government Act 1999	
<i>Notice, order, declaration, charge, claim or demand given or made under the Act</i>	NO
Refer to separate attachment for Rates and Charges	
 Local Nuisance and Litter Control Act 2016	
<i>Section 30</i> Nuisance or litter abatement notice <u>issued against the land</u>	NO
 Planning, Development and Infrastructure Act 2016	
<i>Section 139</i> Notice of proposed work and notice may require access	NO
<i>Section 140</i> Notice requesting access	NO
<i>Section 141</i> Order to remove or perform work	NO
<i>Section 142</i> Notice to complete development	NO
<i>Section 155</i> Emergency order	NO
<i>Section 157</i> Fire safety notice	NO
<i>Section 192 or 193</i> Land Management Agreements	NO

<i>Section 198(1)</i> Requirement to vest land in a council or the Crown to be held as open space	NO
<i>Section 198(2)</i> Agreement to vest land in a council or the Crown to be held as open space	NO
<i>Part 16 - Division 1</i> Proceedings	NO
<i>Section 213</i> Enforcement notice	NO
<i>Section 214(6), 214(10) or 222</i> Enforcement order	NO

Public and Environmental Health Act 1987 (repealed)

<i>Part 3</i> Notice	NO
<i>Public and Environmental Health (Waste Control) Regulations 2010 (or 1995) revoked</i> Part 2 – Condition (that continues to apply) of an approval	NO
<i>Public and Environmental Health (Waste Control) Regulations 2010 revoked</i> Regulation 19 - Maintenance order (that has not been complied with)	NO

South Australian Public Health Act 2011

<i>Section 92</i> Notice	NO
<i>South Australian Public Health (Wastewater) Regulations 2013</i> Part 4 – Condition (that continues to apply) of an approval	NO

Particulars of building indemnity insurance Details of Building Indemnity Insurance still in existence for building work on the land	NO
--	----

Particulars relating to environment protection

<i>Further information held by council</i> Does the council hold details of any development approvals relating to: (a) commercial or industrial activity at the land; or (b) a change in the use of the land or part of the land (within the meaning of the <i>Development Act 1993</i>) or the <i>Planning, Development and Infrastructure Act 2016</i> ?	NO
--	----

Note –
The question relates to information that the council for the area in which the land is situated may hold. If the council answers “YES” to the question, it will provide a description of the nature of each development approved in respect of the land. The purchaser may then obtain further details from council (on payment of any fee fixed by the council). However, it is expected that the ability to supply further details will vary considerably between councils.

A “YES” answer to paragraph (a) of the question may indicate that a potentially contaminating activity has taken place at the land (see sections 103C and 103H of the Environment Protection Act 1993) and that assessments or remediation of the land may be required at some future time.

It should be noted that –

- the approval of development by a council does not necessarily mean that the development has taken place;
- the council will not necessarily be able to provide a complete history of all such development that has taken place at the land.

General

Easement

NO

Does a Council drainage easement exist? – Refer to Certificate of Title of subdivision plans (ie Deposited Plans, Community Plans, File Plans etc) for details of easements in the interests of other State Departments or Agencies).

Are you aware of any encroachment on the Council easement?

NO

Lease, agreement for lease, tenancy agreement or licence

(The information does not include the information about sublease or subtenancy. The purchaser may seek that information from the lessee or tenant or sublessee or subtenant.)

NO

Caveat

NO

Other

Charge for any kind affecting the land (not included in another item)

NO

PLEASE NOTE:

The information provided is as required by The Land and Business (Sale and Conveyancing) Act 1994. The information should not be taken as a representation as to whether or not any other charges or encumbrances affect the subject land.

This statement is made the 02 October 2025

Amy Watts
Team Leader – Development Support (Acting)
AUTHORISED OFFICER

City of Onkaparinga
PO Box 1
Noarlunga Centre, SA 5168



T: (08) 8384 0666
E: mail@onkaparinga.sa.gov.au

For your information:

Section 187 certificate update request free of charge (One Update):

Penalties and interest, property charges, payments or dishonoured payments can impact account balances daily.

To assist with financial adjustments as close as practicable to the date of settlement, your Section 187 certificate will now be valid for 90 days. Within this period we will offer one update request without charge. This update is to be obtained via the online portal.

It is important to note all searches advise when fines/interest will be applied. When receiving your update search, should it be evident that further penalties will be applied prior to settlement, you will need to still consider these additional amounts as part of your settlement statement calculations.

Please Note: The above 90 day extension is applicable only to Section 187 certificates. Section 7 certificates still remain valid for a 30 day period only.

BPAY biller code added to searches to enable electronic settlement of funds

Our BPAY biller code is now detailed on each search, enabling settlement funds to be disbursed to us electronically. Please note that this is our preferred method payment and we request that you cease the use of cheques to affect settlement.

How to advise us of change of ownership?

To also assist with the reduction of duplication of information being received from various agencies i.e. conveyancers and the Lands Titles Office (LTO), we are advocating that the Purchaser's Conveyancer to advise the change of ownership by following the below:

If you are using e-conveyancing to affect a sale, please only issue advice to us if the mail service address is different to what was lodged via the transfer at the LTO. We update ownership details including the mailing address in accordance with the advice provided by the Valuer General. We have amended this change to align with SA Water practices and to provide an improved customer experience overall.

If lodging in person at the LTO – Please send the change of ownership advice to us via mail@onkaparinga.sa.gov.au.

Electronic settlement of funds is still preferred.

Certificate No: S75381/2025

LOCAL GOVERNMENT RATES SEARCH

TO: Searchlight Technology
PO Box 232
RUNDLE MALL SA 5000

02 October 2025

DETAILS OF PROPERTY REFERRED TO:

Property ID : 62975
 Valuer General No : 861248513*
 Valuation : \$520,000.00
 Owner : Mrs Irma Euclides Martin & Mr Gordon Eric Martin
 Property Address : 3/57 Cottage Lane HACKHAM SA 5163
 Volume/Folio : CT-5906/289
 Lot/Plan No : Community Plan Parcel 3 CP 21926
 Ward : 06 Southern Vales Ward

Pursuant to Section 187 of the Local Government Act 1999, I certify that the following amounts are due and payable in respect of and are a charge against the above property.

Opening balance (as of 30 Jun 2025) including rates, fines and interest,
and/or Block Clearing Charges \$0.00

Postponed Amount in Arrears \$0.00

Rates for the current 2025-2026 Financial Year applicable from 01 July 2025:

Total Rates Levied 2025-2026 \$1,678.28

Less Council Rebate. The Council Rebate ceases on sale and a pro-rata
calculation will apply to the date of sale \$0.00

Fines and interest charged in the current financial year (2% fine when rates first
become overdue and interest applied per month thereafter at LGA-prescribed rate) \$0.00

Postponed Interest \$0.00

Less paid current financial year -\$418.28

Overpayment \$0.00

Legal Fees (current) \$0.00

Legal Fees (arrears) \$0.00

Refunds, Rates Remitted, Small Balance Adjustments or Rate Capping
Rebate \$0.00

Balance - rates and other monies due and payable \$1,260.00

Property Related Debts \$0.00

BPAY Biller Code: 421503

Ref: 1574100629756

TOTAL BALANCE

\$1,260.00

AUTHORISED OFFICER
Jay Moyle

This statement is made the 02 October 2025



CERTIFICATE OF EMERGENCY SERVICES LEVY PAYABLE

The Emergency Services Levy working for all South Australians

ABN 19 040 349 865
Emergency Services Funding Act 1998

The details shown are current as at the date of issue.

PIR Reference No: 2714580

SEARCHLIGHT TECHNOLOGY PTY LTD
POST OFFICE BOX 232
RUNDLE MALL SA 5000

DATE OF ISSUE
25/09/2025

ENQUIRIES:
Tel: (08) 8372 7534
Email: contactus@revenuesa.sa.gov.au

OWNERSHIP NUMBER		OWNERSHIP NAME		
02385514		G E & I E MARTIN		
PROPERTY DESCRIPTION				
3 / 57 COTTAGE LANE / HACKHAM SA 5163 / LT 3 C21926				
ASSESSMENT NUMBER	TITLE REF. <small>(A "+" indicates multiple titles)</small>	CAPITAL VALUE	AREA / FACTOR	LAND USE / FACTOR
861248513*	CT 5906/289	\$520,000.00	R4 1.000	RE 0.400
LEVY DETAILS:		FIXED CHARGE	\$	50.00
		+ VARIABLE CHARGE	\$	175.95
FINANCIAL YEAR		- REMISSION	\$	138.75
2025-2026		- CONCESSION	\$	46.00
		+ ARREARS / - PAYMENTS	\$	0.00
		= AMOUNT PAYABLE	\$	41.20

Please Note: If a concession amount is shown, the validity of the concession should be checked prior to payment of any outstanding levy amount. The expiry date displayed on this Certificate is the last day an update of this Certificate will be issued free of charge. **It is not the due date for payment.**

EXPIRY DATE 24/12/2025



Government of South Australia

See overleaf for further information

DETACH AND RETURN THE PAYMENT REMITTANCE ADVICE WITH YOUR PAYMENT



CERTIFICATE OF EMERGENCY SERVICES LEVY PAYABLE

PAYMENT REMITTANCE ADVICE

OWNERSHIP NUMBER

02385514

OWNERSHIP NAME

G E & I E MARTIN

AGENT NUMBER

100031295

ASSESSMENT NUMBER

861248513*

AGENT NAME

SEARCHLIGHT TECHNOLOGY PTY LTD

AMOUNT PAYABLE

\$41.20

EXPIRY DATE

24/12/2025

+70085984140022> +001571+ <0550041860> <0000004120> +444+

OFFICIAL: Sensitive

Please Note:

Please check that the property details shown on this Certificate are correct for the land being sold.

The amount payable on this Certificate is accurate as at the date of issue.

This Certificate is only valid for the financial year shown.

If the change of ownership will occur in the following financial year, you must obtain another Certificate after 30 June.

Payment should be made as part of the settlement process.

The amount payable on this Certificate must be paid in full even if only a portion of the subject land is being sold. RevenueSA cannot apportion the ESL.

If the amount payable is not paid in full, the purchaser may become liable for all of the outstanding ESL as at the date of settlement.

The owner of the land as at 12:01am on 1 July in the financial year of this Certificate will remain liable for any additional ESL accrued before the date of this Certificate, even if the amount payable on this Certificate has been paid.

Provision of this Certificate does not relieve the land owner of their responsibility to pay their Notice of ESL Assessment by the due date.

If the owner of the subject land is receiving an ESL pensioner concession but was not living in the property as their principal place of residence as at 12:01am on 1 July of the current financial year, or is now deceased, you must contact RevenueSA prior to settlement.

For more information:

Visit: www.revenuesa.sa.gov.au
Email: contactus@revenuesa.sa.gov.au
Phone: (08) 8372 7534

PAYMENT OPTIONS FOR THIS CERTIFICATE SHOWN BELOW

 <p>Billers Code: 456285 Ref: 7008598414</p> <p>Contact your bank or financial institution to make this payment from your cheque, savings, debit, credit card or transaction account. More info: www.bpay.com.au © Registered to BPAY Pty Ltd ABN 69 079 137 518</p>	 <p>To pay via the internet go to: www.revenuesaonline.sa.gov.au</p>	 <p>Send your cheque or money order, made payable to the Community Emergency Services Fund, along with this Payment Remittance Advice to: Please refer below. Revenue SA Locked Bag 555 ADELAIDE SA 5001</p>
--	---	---

ACTION REQUIRED: In line with the Commonwealth Government's cheque phase-out, RevenueSA will stop accepting cheque payments after 30 June 2027. To ensure a smooth transition, we encourage you to switch to one of the other payment options listed above.



ABN 19 040 349 865
Land Tax Act 1936

CERTIFICATE OF LAND TAX PAYABLE

This form is a statement of land tax payable pursuant to Section 23 of the *Land Tax Act 1936*. The details shown are current as at the date of issue.

PIR Reference No: 2714580

SEARCHLIGHT TECHNOLOGY PTY LTD
POST OFFICE BOX 232
RUNDLE MALL SA 5000

DATE OF ISSUE
25/09/2025

ENQUIRIES:
Tel: (08) 8372 7534
Email: contactus@revenuesa.sa.gov.au

OWNERSHIP NAME		FINANCIAL YEAR	
G E & I E MARTIN		2025-2026	
PROPERTY DESCRIPTION			
3 / 57 COTTAGE LANE / HACKHAM SA 5163 / LT 3 C21926			
ASSESSMENT NUMBER	TITLE REF. <small>(A "+" indicates multiple titles)</small>	TAXABLE SITE VALUE	AREA
861248513*	CT 5906/289	\$225,000.00	0.0262 HA
DETAILS OF THE LAND TAX PAYABLE FOR THE ABOVE PARCEL OF LAND:			
CURRENT TAX	\$ 0.00	SINGLE HOLDING	\$ 0.00
- DEDUCTIONS	\$ 0.00		
+ ARREARS	\$ 0.00		
- PAYMENTS	\$ 0.00		
= AMOUNT PAYABLE	\$ 0.00		

Please Note: If the Current Tax details above indicate a Nil amount, the property may be subject to an Exemption. This exemption should be validated prior to settlement. In order to ensure indemnity for the purchaser of this land, full payment of the amount payable is required:

ON OR BEFORE 24/12/2025



Government of South Australia

See overleaf for further information

DETACH AND RETURN THE PAYMENT REMITTANCE ADVICE WITH YOUR PAYMENT



Land Tax Act 1936

CERTIFICATE OF LAND TAX PAYABLE

PAYMENT REMITTANCE ADVICE

No payment is required on this Certificate

OFFICIAL: Sensitive**Please Note:**

Please check that the property details shown on this Certificate are correct for the land being sold.

This Certificate is only valid for the financial year shown.

If the change of ownership will occur in the following financial year, you must obtain another Certificate after 30 June.

Payment should be made as part of the settlement process.

The amount payable on this Certificate must be paid in full even if only a portion of the subject land is being sold. RevenueSA cannot apportion the land tax.

If the amount payable is not paid in full on or before the due date shown on this Certificate, the purchaser will not be released from liability of the whole amount of the land tax outstanding as at the date of settlement.

The owner of the land as at midnight on 30 June immediately before the financial year of this Certificate will remain liable for any additional land tax accrued before the date of this Certificate, even if the amount payable on this Certificate has been paid.

The amount payable on this Certificate is the land tax payable at the date of issue. However, land tax for a particular financial year may be reassessed at any time, changing the amount payable.

Should a reassessment occur after this Certificate has been paid in full, the purchaser will remain indemnified and will not be responsible for payment of the new land tax payable amount. The owner at the beginning of the relevant financial year will be responsible for payment of any additional land tax payable.

Should a reassessment occur after this Certificate has been issued but not paid in full, the purchaser will not be indemnified and may become responsible for payment of the new land tax payable amount.

Should a reassessment occur after this Certificate has been paid in full and the Certificate is subsequently updated, the purchaser will not be indemnified and may become responsible for payment of the new land tax payable amount.

Provision of this Certificate does not relieve the land owner of their responsibility to pay their Notice of Land Tax Assessment by the due date.

For more information:

Visit: www.revenuesa.sa.gov.au
 Email: contactus@revenuesa.sa.gov.au
 Phone: (08) 8372 7534

PAYMENT OPTIONS FOR THIS CERTIFICATE SHOWN BELOW

 <p>Billers Code: 456293 Ref: 7008598323</p> <p>Contact your bank or financial institution to make this payment from your cheque, savings, debit, credit card or transaction account. More info: www.bpay.com.au <small>© Registered to BPAY Pty Ltd ABN 69 079 137 518</small></p>	 <p>To pay via the internet go to: www.revenuesaonline.sa.gov.au</p>	 <p>Send your cheque or money order, made payable to the Commissioner of State Taxation, along with this Payment Remittance Advice to: Please refer below. Revenue SA Locked Bag 555 ADELAIDE SA 5001</p>
--	--	--

ACTION REQUIRED: In line with the Commonwealth Government's cheque phase-out, RevenueSA will stop accepting cheque payments after 30 June 2027. To ensure a smooth transition, we encourage you to switch to one of the other payment options listed above.



Account Number 861248513*	L.T.O Reference CT5906289	Date of issue 25/9/2025	Agent No. 8623	Receipt No. 2714580
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SEARCHLIGHT TECHNOLOGY
 16 BIRDWOOD ST
 NETHERBY SA 5062
 info@searchlighttechnology.com.au

Section 7/Elec

Certificate of Water and Sewer Charges & Encumbrance Information

Property details:

Customer: GE & IE MARTIN
 Location: U3 57 COTTAGE LANE HACKHAM LT 3 C21926
 Description: 4HG V Capital Value: \$ 520 000
 Rating: Residential

Periodic charges

Raised in current years to 30/9/2025

			\$
	Arrears as at: 30/6/2025	:	62.50
Water main available: 1/7/2004	Water rates	:	82.30
Sewer main available: 1/7/2004	Sewer rates	:	94.00
	Water use	:	0.00
	SA Govt concession	:	116.00CR
	Recycled Water Use	:	0.00
	Service Rent	:	0.00
	Recycled Service Rent	:	0.00
	Other charges	:	0.00
	Goods and Services Tax	:	0.00
	Amount paid	:	62.50CR
	Balance outstanding	:	60.30

Degree of concession: 100.00% Date granted: 6/9/2017
 Recovery action taken: ACCOUNT SENT

Next quarterly charges: Water supply: 82.30 Sewer: 94.00 Bill: 3/12/2025

This account has no meter of its own but is supplied from account no 86 12485 06 8.

The Water Use apportionment option is Nil.

From 1/7/2015, Save the River Murray Levy charges no longer apply.

If your property was constructed before 1929, it's recommended you request a property interest report and internal 'as constructed' sanitary drainage drawing to understand any specific requirements relating to the existing arrangements.

As constructed sanitary drainage drawings can be found at <https://maps.sa.gov.au/drainageplans/>.



South Australian Water Corporation
 250 Victoria Square/Tarntanyangga
 Adelaide SA 5000
 GPO Box 1751 Adelaide SA 5001

1300 SA WATER
 (1300 729 283)
 ABN 69 336 525 019
sawater.com.au



SA Water has no record of an Encumbrance on this property as at the date of issue of this certificate.



South Australian Water Corporation

Name: GE & IE MARTIN Water & Sewer Account
Acct. No.: 861248513* Amount: _____

Address:
U3 57 COTTAGE LANE HACKHAM LT 3
C21926

Payment Options

EFT

EFT Payment

Bank account name:	SA Water Collection Account
BSB number:	065000
Bank account number:	10622859
Payment reference:	861248513*



Bill code: 8888
Ref: 86124851310

Telephone and Internet Banking — BPAY®

Contact your bank or financial institution to make this payment from your cheque, savings, debit, credit card or transaction account. More information at bpay.com.au



Paying online

Pay online at www.sawater.com.au/paynow for a range of options. Have your account number and credit card details to hand.



Paying by phone

Call 1300 650 870 and pay by phone using your Visa/Mastercard 24/7.

SA Water account number: 861248513*

STATEMENT PURSUANT TO SECTION 139 OF THE COMMUNITY TITLES ACT 1996



Date of Statement: 25 September 2025

Community Lot in respect of which the Statement is issued: Lot 3 in Community Plan No. 21926 at 57 Cottage Lane, HACKHAM SA 5163

Person requesting certificate: **Name:**
Address: Searchlight Technology

The Community corporation certifies the following with respect to the Lot being the subject of this Statement:

Administrative fund – contributions payable by regular periodic instalments or lump sum

Number of instalments payable per year (if contributions payable by instalments) 4

Amount of each instalment, period to which instalment relates and date due

Amount	Dates due	Levy Period
\$209.09	01 Apr 2025	01 Apr 2025 to 30 Jun 2025-Paid
\$237.41	15 Jul 2025	30 Jul 2025 to 30 Sept 2025-Paid
\$237.41	01 Oct 2025	01 Oct 2025 to 31 Dec 2025
\$237.41	01 Jan 2026	01 April 2026 to 31 Jun 2026

Amount owing **\$0.00**
Interest due on unpaid levies \$0.00
Amount in credit for prepaid levies \$0.00

Sinking fund – contributions payable by regular periodic instalments or lump sum (section 76(1))

Total amount last determined with respect to the lot

Number of instalments payable per year (if contributions payable by instalments) 4

Amount of each instalment, period to which instalment relates and date due

Amount	Dates due	Levy Period
\$8.71	01 Apr 2025	01 Apr 2025 to 30 Jun 2025-Paid
\$8.71	15 Jul 2025	30 Jul 2025 to 30 Sept 2025-Paid
\$8.71	01 Oct 2025	01 Oct 2025 to 31 Dec 2025
\$8.71	01 Jan 2026	01 Apr 2026 to 30 Jun 2026

Amount owing **\$0.00**
Interest due on unpaid levies \$0.00
Amount in credit for prepaid levies \$0.00

Contribution Recovery: As per the Act 'The Corporation may recover an unpaid contribution such as debt from the unit holder of the unit in respect of which the contribution is payable (If Outstanding levies are unpaid/not adjusted at the time of settlement then it would be the New Owners to clear the dues).

Special contributions

None

Particulars of Assets and Liabilities of the Corporation

Please refer to the copy of the Balance Sheet attached, at the date of this Statement.

Particulars of any Expenditure

(a) Incurred by the Corporation

As per the Minutes provided: Further, we were appointed as Managers in 2023, as such we take no responsibility for the accuracy of any information provided prior to our management.

(b) Resolved to be incurred to which the unit holder must, or is likely to be required to, contribute

As per the Minutes provided: Further, we were appointed as Managers in 2023, as such we take no responsibility for the accuracy of any information provided prior to our management.

Please Note: This property is part of a Strata/Community plan, additional approval for pets may be required. This process involves seeking consent from the corporation, which may include a notice period and additional fees. Approval is not guaranteed and is subject to the rules and regulations of the Strata/Community plan.

Documents Supplied

- Minutes of general meetings of the corporation and meetings of the management committee for the last two years
- Statement of Accounts of the corporation last prepared by the corporation

- The By-laws for the time being in force
- The current policies of insurance taken out by the corporation

Insurance policies

Particulars of all insurance policies taken out by the Community corporation.

Policy No. POL11062671 Strata Community Insurance

Type: Building Cover Broker:

Premium: \$11,001.35 Paid on: 19/06/2025 Policy start date: 15/06/2025 Next due:15/06/2026

Cover	Sum insured	Excess	Notes
Building Cover	\$9,990,750.00	\$2,000.00	
Common Area Contents	\$99,908.00	\$2,000.00	
Loss Of Rent & Temporary Accommodation	\$1,498,613.00	\$2,000.00	
Public Liability	\$30,000,000.00	\$2,000.00	
Voluntary Workers	\$200,000/\$2,000	\$2,000.00	
Fidelity Guarantee	\$100,000.00	\$2,000.00	
Office Bearers Liability	\$500,000.00	\$2,000.00	
Government Audit Costs	\$25,000.00	\$2,000.00	
Appeal Expenses	\$100,000.00	\$2,000.00	
Lot Owners Fixtures & Improvements	\$300,000.00	\$2,000.00	
Policy Excess		\$2,000.00	
Flood	Included	\$2,000.00	
Sum Insured	Included	\$2,000.00	
Legal Defence	\$50,000.00	\$1,000.00	

NOTE:

The information provided is accurate as at the date of this Statement and is not intended to be relied upon by any party other than the person who requested this Statement under Section 139 of the Act.

We advise you to contact the Office prior to settlement to get any updates. Upon settlement, the Purchaser should contact the office ASAP to ensure that their contact information is updated in our system, and levies can be paid without reminder and arrears fees being applied.

An inspection of the accounting records, minute books of the corporation and any other prescribed documentary material may be arranged by application to the Agent:

office@stratarama.com.au or (08) 8276 0426.

***Stratarama takes no responsibility for the accuracy of any documents provided, which have been sourced from archived records prior to our management.**

This Statement was prepared on behalf of Community Corporation 21926 Inc by

Lionel Colaco

Lionel Colaco



74 Brighton Road, GLENELG SA 5045



Balance Sheet

As at 25/09/2025

Community Corporation 21926 Inc

57 Cottage Lane, HACKHAM SA 5163

	Current period
Owners' funds	
Administrative Fund	
Operating Surplus/Deficit--Admin	(9,763.13)
Owners Equity--Admin	14,440.84
	4,677.71
Sinking Fund	
Operating Surplus/Deficit-- Sinking Fund	502.00
Owners Equity-- Sinking Fund	2,385.86
	2,887.86
Net owners' funds	\$7,565.57
Represented by:	
Assets	
Administrative Fund	
Cash at Bank--Admin	3,285.86
Receivable--Levies--Admin	756.72
Receivable--Owners--Admin	63.80
	4,106.38
Sinking Fund	
Cash at Bank- Sinking Fund	3,000.61
Receivable--Levies-- Sinking Fund	27.77
	3,028.38
Unallocated Money	
Cash at Bank--Unallocated	556.44
	556.44
<i>Total assets</i>	7,691.20
Less liabilities	
Administrative Fund	
Prepaid Levies--Admin	3,828.67
	3,828.67
Sinking Fund	
Prepaid Levies-- Sinking Fund	140.52
	140.52
Unallocated Money	
Prepaid Levies--Unallocated	556.44
	556.44
<i>Total liabilities</i>	4,525.63
Net assets	\$3,165.57



**Income & Expenditure Statement
 for the financial year-to-date
 01/03/2025 to 25/09/2025**

Community Corporation 21926 Inc

57 Cottage Lane, HACKHAM SA 5163

Administrative Fund

Current period

01/03/2025-25/09/2025

Revenue

Interest on Arrears--Admin	49.61
Levies Due--Admin	12,812.51
<i>Total revenue</i>	<hr/> 12,862.12

Less expenses

Admin -- Reimbursement	62.92
Admin--Agent Communication & info	567.00
Admin--ATO Public Officer--Taxation Services	132.00
Admin--Contractor Compliance Check	92.00
Admin--Income Tax Returns--Admin	88.00
Admin--Legal & Debt Collection Fees	(33.00)
Admin--Management Fees--Standard	2,376.00
Admin--Meeting Fee-Evening	308.00
Admin--Meeting Room Expenses	25.00
Insurance--Premiums	11,001.35
Maint Bldg--Plumbing & Drainage	412.19
Maint Grounds--Lawns & Gardening	2,156.00
Maint Grounds--Tree Lopping/Removal	1,400.00
Utility--Electricity	1,891.79
Utility--Water Meter Readings SWS	1,648.00
Utility--Water Usage	498.00
<i>Total expenses</i>	<hr/> 22,625.25

Surplus/Deficit

(9,763.13)

Opening balance 14,440.84

Closing balance

\$4,677.71

Community Corporation 21926 Inc

57 Cottage Lane, HACKHAM SA 5163

Sinking Fund

Current period

01/03/2025-25/09/2025

Revenue

Interest on Arrears-- Sinking Fund 2.04

Levies Due-- Sinking Fund 499.96

Total revenue 502.00

Less expenses

Total expenses 0.00

Surplus/Deficit 502.00

Opening balance 2,385.86

Closing balance \$2,887.86

335

Form LF1

Orig. **LF 9681926**



14:17 16-Sep-2003
2 of 4 Fees: \$0.00

**LANDS TITLES REGISTRATION
OFFICE
SOUTH AUSTRALIA**

**LODGEMENT FOR FILING UNDER THE
COMMUNITY TITLES ACT 1996**

FORM APPROVED BY THE REGISTRAR-GENERAL

BELOW THIS LINE FOR AGENT USE ONLY

SERIES NO.	PREFIX
2	LF

AGENT CODE

Lodged by:
Citystate Conveyancing ALS7

Correction to:
Citystate Conveyancing ALS7

TITLES, CROWN LEASES, DECLARATIONS ETC. LODGED WITH
INSTRUMENT (TO BE FILLED IN BY PERSON LODGING)

- 1.....
- 2.....
- 3.....
- 4.....
- 5.....

Assessor

BELOW THIS LINE FOR OFFICE USE ONLY

Date:	Time:
FEES	
R.G.O.	POSTAGE
94	

SEE SHEET 1 FOR REGISTRATION
FEE \$94.00

PICK-UP NO.	
CP	
DEV. NO.	

Ex 11

CORRECTION 26-9-03	PASSED 
-----------------------	---

FILED 7-11-2003



pro 
REGISTRAR-GENERAL

DELIVERY INSTRUCTIONS (Agent to complete)
PLEASE DELIVER THE FOLLOWING ITEM(S) TO THE
UNDERMENTIONED AGENT(S)

ITEM	AGENT CODE

Terms of Instrument not
Checked by Lands Titles Office

By-Laws
Development No. 145/CO22/02 - 01

Lands Title 16:05 12-09/03 166999
REGISTRATION FEE \$94.00

BY-LAWS FOR

LOT 20 COTTAGE LANE HACKHAM

COMMUNITY CORPORATION NO. 21926
INCORPORATED

"This is a copy of the By-Laws referred to in the attached certificate"



Harold Ralph Holland
Presiding Officer

Page 2 of 7

Terms of Instrument not
Checked by Lands Titles Office

By-Laws
Development No.145/C022/02-701

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Terms of Instrument not
Checked by Lands Titles Office

By-Laws
Development No.145/CO22/02-01

COMMUNITY TITLES ACT 1996
COMMUNITY SCHEME BY-LAWS
COMMUNITY PLAN NO.

1. INTERPRETATION

In these By-Laws unless the contrary intention appears-

- 1.1 "the Act means the community Titles Act 1996 as amended,
- 1.2 "the Community Corporation" means Community Corporation No.21926 Incorporated.
- 1.3 "a person" includes an owner, occupier, lessee, licensee, visitor and guest of a Community lot
- 1.4 A term defined in the Act has the same meaning when used in these by-laws unless the contrary intention appears.

2. ADMINISTRATION, MANAGEMENT, AND CONTROL OF THE COMMON PROPERTY

- 2.1 The Community Corporation is responsible for the administration, management and Control of the common property.
- 2.2 The Community Corporation will properly maintain and keep in good repair the Roadway, lighting, landscaping, and gardens comprising the common property.

3. USE AND ENJOYMENT OF THE COMMON PROPERTY

- 3.1 The common property is subject to the Act and these by-laws, for the common use and enjoyment of community lot owners their invitees visitors and employees and for access to lots 1-27 by owners their invitees visitors and employees in this community scheme.

ROADS

- 3.2 The following provisions apply in relation to roads that comprise part of the Common property.
 - 3.2a A Person must not obstruct the carriageway of a road unless authorised to do so By the Community Corporation.

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- 3.2b a person must not park a vehicle on a road unless authorised to do so
By the Community Corporation.
- 3.2c a person driving or moving a vehicle on a road must comply with the rules
that would apply under the Road Traffic Act 1961 to the driving of a vehicle
on a public road.
- 3.2d a person must not deposit any rubbish on a road or deposit any material that
is likely to be hazardous or offensive to other person using the road.
- 3.2e a person driving a vehicle on a road must not exceed a speed of 5
Kilometres per hour.

PATHS, WALKWAYS AND THOROUGHFARES

- 3.3 The following provisions apply in relation to paths, walkways and thoroughfares.
- 3.3a a person must not obstruct a path, walkway or thoroughfare unless authorised to do so
by the Community Corporation,
- 3.3b a person must not drive a motor bike, scooter, ride a bicycle or small wheeled
vehicle including any skateboard, roller skates or roller blades along a path,
walkway or thoroughfare unless authorised to do so by the Community Corporation.
- 3.3c a person must not deposit any rubbish on a path, walkway or thoroughfare or deposit
any material that is likely to be hazardous or offensive to other persons using the
path, walkway or thoroughfare.

GENERAL OBLIGATIONS IN RELATION TO THE COMMON PROPERTY

- 3.4 a person must not-
- 3.4a leave any object on the common property (including a road, path, walkway or
thoroughfare)
- 3.4b deposit any rubbish on the common property
- 3.4c deposit any material that is likely to be hazardous or offensive to other persons
using or adjacent to the common property unless that person shall have the
authorisation to do so by the Community Corporation.
- 3.4d park a motor vehicle on the common property except on a part of the common
property set-aside for parking of motor vehicles.
- 3.4e damage or interfere with any lawn, garden, tree, shrub, plant, flower, building, and
structure or ancillary service on the common property unless that person shall have
the authorisation to do so by the Community Corporation.
- 3.4f display an advertisement, sign placard, banner, or other thing on any part of the
common property without the authorisation of the Community Corporation.

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4. USE OF COMMUNITY LOTS

4.1 No building erected on a community lot shall be used or occupied otherwise than for residential use unless such other use has been approved by the Community Corporation.

5. MAINTENANCE AND REPAIR

5.1 The owner of a community lot must properly maintain and keep in good repair all buildings and structural improvements and fences to the community lot.

5.2 The paintwork or other finishes on fences and the external parts of buildings on community lots must be properly maintained.

5.3 The owner and/or the occupier of a community lot must keep the lot in a clean and tidy condition.

5.4 The owner and/or occupier of a community lot must properly maintain lawns and gardens on the community lot.

5.5 The area between any building and improvement on the community lot and the common property shall be landscaped and maintained in a neat and tidy condition.

5.6 The owner and/or occupier of a community lot must

5.6a store garbage in an appropriate container that prevents the escape of unpleasant odours; and

5.6b comply with any requirements of the Council for the disposal of garbage.

6. DISTURBANCE

6.1 The owner and/or occupier of a community lot must not engage in conduct that unreasonably disturbs the occupier of another community lot or others who are lawfully on a community lot or the common property.

6.2 The owner and/or occupier of a community lot must ensure, as far as practicable, that persons who are brought or allowed onto the community lot or the common property by the owner and/or occupier do not engage in conduct that unreasonably disturbs the occupier of another community lot or others who are lawfully on a community lot or the common property.

7. NOISE

7.1 A person must not cause noise on a community lot or the common property at a level that unreasonably interferes with the use and enjoyment of other community lots or the common property by the occupiers of other community lots and their guests.

**Terms of Instrument not
Checked by Lands Titles Office**

**By-Laws
Development No.
145/CO22/02-01**

8. ANIMALS

- 8.1 An owner of a community lot is entitled to-
- 8.1a keep a cat and/or small dog on the community lot and the owner shall ensure that such pets do not create unreasonable nuisance to the other community lot owners or occupiers
- 8.1b If the occupier of the community lot is a person who suffers from a disability then that occupier may keep a dog trained to assist that occupier in respect of that disability
- 8.2 An owner and/or occupier of a community lot must not keep an animal except as authorised by this section or by the Community Corporation.

9. INSURANCE

- 9.1 The Community Corporation shall effect such insurance as is required by Selections 103 and 104 of the Act.
- 9.2 The Community Corporation shall insure and at all times keep insured all buildings and other improvements on the community lots for all risks that a normally prudent person would insure against and must be insured for the full cost of replacing the buildings and the other improvements with new materials and must cover incidental cost such as demolition, site clearance and architect's fees.

10. INTERNAL FENCING

The Fences Act (1991) as amended shall apply as between owners of adjoining Community lots

11. STATUTORY SERVICES

The Community Corporation shall be responsible for the maintenance repair and Replacement of services within the Common Property.

12. DISPLAY OF ADVERTISEMENTS

- 12.1 A person must not display an advertisement on a community lot without the approval of the Community Corporation.
- 12.2 However, this section does not prevent the display of an advertisement associated with the sale of a community lot and any small sign on a letter box restricting mail to the letter box to be Australian Post mail only.

Terms of Instrument not
Checked by Lands Titles Office

By-Laws
Development No.
144/2022/02-01

13. COMMUNITY CORPORATION'S RIGHT TO RECOVER MONEY

- 13.1 The Community Corporation shall have the right to recover any money owing to it under the by-laws as a debt.
- 13.2 An owner of a community lot must pay or reimburse the Community Corporation on demand for the cost charges and expenses of the Community Corporation in connection with contemplated or actual enforcement or preservation of any rights under the by-law in relation to the community lot owner or occupier.
- 13.3 The cost charges and expenses recoverable by the Community Corporation shall include without limitation, those expenses incurred in retaining any independent advice and administration costs in connection with those events.
- 13.4 The Community Corporation may charge interest on any overdue moneys owed to a Community Corporation at the rate of TWO PER CENT (2%) per annum above the rate charged by the Community Corporation's bankers on overdrafts less than \$10,000.00 calculated on daily balances commencing from the day that the money becomes due and payable.

14. OFFENCES

A person who contravenes or fails to comply with the provisions of these By-Laws is guilty of an offence.

Maximum Penalty: The maximum prescribed under the Act.

Dated this 31 day of October 2002

EXECUTED BY THE REGISTER PROPRIETOR

The Common Seal of Tradebart NQ Pty Ltd
Was hereunto affixed in the presence of

.....
Sole Director/Secretary

James Walter Kellie
76 Anzac Highway
Everard Park SA 5035



Orig. LF 10976818



11:01 12-Jun-2008

1 of 1

Fees: \$108.00

LANDS TITLES REGISTRATION OFFICE SOUTH AUSTRALIA

LODGEMENT FOR FILING UNDER THE COMMUNITY TITLES ACT 1996

FORM APPROVED BY THE REGISTRAR-GENERAL

BELOW THIS LINE FOR OFFICE & STAMP DUTY PURPOSES ONLY

Prefix
LF
Series No.

BELOW THIS LINE FOR AGENT USE ONLY

AGENT CODE

Lodged by: *Robyn White* *ROBW*
 Correction to: *Conveyancing*

TITLES, CROWN LEASES, DECLARATIONS ETC. LODGED WITH INSTRUMENT (TO BE FILLED IN BY PERSON LODGING)

- 1
- 2
- 3
- 4

PICK-UP NO.	
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DELIVERY INSTRUCTIONS (Agent to complete) PLEASE DELIVER THE FOLLOWING ITEM(S) TO THE UNDERMENTIONED AGENT(S)

ITEM(S)	AGENT CODE

CORRECTION	PASSED
FILED	
REGISTRAR-GENERAL	

R-G 010107

LOT ENTITLEMENT SHEET SUBSTITUTE SHEET

COMMUNITY PLAN NUMBER

CP 21926

THIS IS SHEET 2 OF 2 SHEETS

APPROVED
[Signature]
2-3-04

DEPOSITED
7/11/2003
Mark McNeil
PRO REGISTRAR GENERAL

SCHEDULE OF LOT ENTITLEMENTS

LOT	LOT ENTITLEMENT	SUB-DIVIDED	LOT	LOT ENTITLEMENT	SUB-DIVIDED
1	460		16	520	
2	460		17	520	
3	460		18	460	
4	460		19	460	
5	520		20	460	
6	520		21	460	
7	520		22	460	
8	520		23	460	
9	520		24	460	
10	520		25	460	
11	520		26	460	
12	520		27	460	
13	580				
14	460				
15	520		AGGREGATE	13200	

APPLICATION 9681925
AMENDED VIDE APPLICATION 9784516

CERTIFICATE OF LAND VALUER

I, Robin Hugh Simmons being a Land Valuer within the meaning of the Land Valuers Act 1994 certify that this schedule is correct for the purposes of the Community Titles Act 1996.

Dated this 11th day of February, 2004

[Signature]

MINUTES OF THE ANNUAL GENERAL MEETING

COMMUNITY CORPORATION 21926 Inc

CORPORATION ADDRESS: 57 Cottage Lane, HACKHAM SA 5163

DATE: Wednesday the 22nd of May 2024

TIME: 6.00 PM

VENUE: Hackham West Community Center

PRESENT:

Stephen Gale	UNIT 6
Mr K & Ms G Brumfield	UNIT 7
Mr. Benjamin Chambers	UNIT 8
A J Cipriano	UNIT 10
Mr. Harold Holland	UNIT 15
Miss Jesicca Marshall	UNIT 25
T M Couzner	UNIT 26
Ms Heather Dellow	UNIT 27

PROXIES:

Mr Luke J Hosszu Proxy to Stratarama Pty Ltd	UNIT 14
J W & E J Donaldson Proxy to Stratarama Pty Ltd	UNIT 19
Ms Gloria D Ashforth to Ms Brumfield	UNIT 22
Ms Heather W Zappia to Stratarama Pty Ltd	UNIT 23

APOLOGY:

IN ATTENDANCE: Mr Lionel Colaco representing Stratarama Pty Ltd.
Ms Carroll Marie Murphy UNIT 20

PROCEEDINGS

QUORUM: The Manager declared that a quorum was in attendance at this meeting, by way of attendance and/or proxy. 12 of 22 Financial Members present or represented by proxy. 19 Lot complex.

Declaration of Interest: All Members (or Nominee) must declare any interest that they may have in relation to any matters being discussed or determined at this meeting. These pecuniary interests may be either direct or indirect in nature.

Minutes' documentation: Several sections of the Minutes are repeated and recorded at each meeting. As such those matters may not be discussed to the same extent each year. These appear in full for the benefit of new group Members, so that they may have a strong understanding of the group's decisions.

1. **Chair:**

In accordance with current legislation, the representative from Stratarama may only chair the meeting if a majority of Members present or represented by proxy are in favour. Stratarama have no rights to vote at this meeting, except where exercising a proxy vote in accordance with the wishes of a Member, as their proxy. The Manager advised Members as to the proxies recorded for the meeting and advised that these are available for inspection. It was agreed that the Manager would act as the Secretary for this meeting, chair and record the minutes. Motion Passed.

MOTION CARRIED

2. **Acceptance of Previous Minutes:**

Minutes of the last meeting held by the group were resolved as a true and correct record of the meeting

MOTION CARRIED

- Any outstanding matters arising from previous Minutes are discussed under the appropriate Agenda headings for this meeting.
- Correspondence is available to be accessed by Members via the online unit Owners portal. Each Member has the right to inspect records held by the Corporation and may do so by contacting management to arrange a suitable time during business hours.

3. **Acceptance of Financial reports/ Statements:**

That the statement of accounts for the financial period ending 29th of February 2024, received from the previous management was circulated to Members for review prior to the meeting. These financial statements were accepted by Members.

- Audit N.B: An audit of trust accounts held by Stratarama is undertaken annually by an accredited Auditor as required. A copy of the report will be made available annually on the online Owners portal and can be sent to you direct by request to Stratarama.

Meeting Fees: Mr Brumfield (Lot 7) queried the \$359 meeting fee charged in the previous financial year. The manager advised that after-hours meeting fees are charged at \$154.00 per hour. Last year, the meeting lasted almost two hours, hence the after-hours fees. Furthermore, Mr Brumfield also queried the cash balance of the Admin funds since the commencement of the new financial year, to which the manager relayed that the interim report would be sent to Mr Brumfield.

Cleaning Materials \$311.39: Before the Agm, Mr Chambers (Lot 8) had raised the question about the incorrect charge, the manager has already contacted the contractor regarding the incorrect payment and is awaiting on the funds; this was the same query raised by Ms Brumfield at the Annual meeting.

Portal communication: Ms Brumfield (lot 7) advised the manager that the current portal is slightly inconvenient when looking for any information; the manager advised that if any members are finding it hard to locate any document they seek, please feel free to call/email the manager and the document will be provided asap.

Manager highlighted to all present that the corporation cash at bank as of 22nd of May 2024 was \$15,710.85 (\$13,433.46 Admin & \$2,277.39 Sinking)

MOTION CARRIED

4. **Appointment of Manager/ Management:**

It was resolved that:

- Stratarama Pty Ltd and/or their Nominee be appointed to assist the Corporation with management services. These services are those delegated as per the **Community Titles Act 1996**.
- Stratarama be remunerated by a primary annual management fee of \$4,752.00 inclusive of gst.
- Stratarama be remunerated for other service fees as outlined in the management agreement. The Presiding Officer is authorised to sign this agreement.
- The appointment be made for a period of 12 months from the date of this meeting and that upon expiry, management will continue on a month by month basis until the next meeting or the delegation of powers is revoked.
- Anthony Johnson be appointed as Public Officer to act on behalf of the group in all taxation related matters.
- The services provided by Stratarama Pty Ltd are in accordance with the **Community Titles Act 1996 – section 78A (3)** and per the details outlined in the explanatory pamphlet (available from stratarama.com.au and by direct request of the Member)

MOTION CARRIED

5. **Election of Office Bearers & Committee:**

It was resolved that the following appointments be made for the coming period:

- Presiding Officer: Stephen Gale Lot 6
- Treasurer: Benjamin Chambers Lot 8
- Secretary: Benjamin Chambers Lot 8

It was further confirmed that a Committee be appointed consisting of:

- All Office Bearers listed above
- Committee Member: Ms Gloria Brumfield Lot 7
Mr Harold Holland Lot 15
Miss Jessica Marshall Lot 25

*Office Bearers do not have the power to vary the common property, grant exclusive rights, authorise any capital works or approve any installations or additions. Office Bearers do not have the power to resolve any matter for which a Special or Unanimous resolution is required. Office Bearers are authorised to oversee routine maintenance of the Corporation and oversee the adherence of Articles.

*The Committee may be empowered by the Corporation to make further decisions at properly convened Committee meetings. Committee meetings must be held in accordance with the **Community Titles Act 1996**. An Agenda needs to be forwarded to all Committee Members and proper meeting minutes detailing the decisions made must be kept (copies to be held in the Corporation records).

6. **Insurance; review of Policies and Sums Insured:**

Stratarama advised the Corporation that **Section 103 (1) of the Community Titles Act 1996** requires the Corporation Owners to insure **the common property** for full replacement value or reinstatement value. In accordance with Section 103 (1)(b) a Community Strata scheme generally includes the buildings as common property and in these instances (where shown in the Act, plan or scheme description/ by-laws) the group will ensure the buildings collectively.

In Community schemes however the **buildings with-in a Lot are not common property and must be insured individually by the Lot Owner**. In accordance with Section 103 (1)(b) a Community Owner also has a responsibility to insure any part of their property including a party wall (building or structure) providing support or shelter to another building or structure on another Lot or common property.

Insurance Policy Breakdown:

Building Cover: \$9,515,000.00
 Public/ Legal Liability: \$20,000,000
 Voluntary workers: Included, refer policy
 Office Bearers: \$500,000
 Fidelity Guarantee: \$100,000
 Flood inclusion Cover: Refer Policy details

Excess: \$1,000 on all claims

Last Valuation report: Dated: October 2016 for \$9,515,000.00

Current Insurer: CHU Underwriting Agency Renewal date: 15/06/2024

The Community Insurance for this Property in accordance with the By-laws (9.1 & 9.2) of the corporation.

Excess payments: Members have previously resolved that; insurance excesses will be payable by the Corporation for common property claims.

Claims: Stratarama advises that to ensure claims and insurance renewals are processed correctly, Members must report all possible claims as soon as possible.

Direction: To ensure compliance of current legislation, the Corporation agree to grant a direction to Stratarama Pty Ltd to renew the Corporation insurance (including obtaining quotes and changing Insurers) per direction of the Members at a meeting of the Corporation, or as instructed by the Office Bearers where

empowered to do so. It is noted that Stratarama Pty Ltd may receive a commission for placing your insurance of upto 20%. Any commissions payable to Stratarama are disclosed in our management agreement. *Where the Owners insure direct through one of the unit owners Stratarama receive no commission as is the case with this Corporation. N.B It is noted that after obtaining quotes the Committee will reserve the right to seek a quote/s through a Broker.*

Insurance renewal: Manager tabled the quotation received from Strata Community Insurance for the total premium of \$11,978.87 for the period 24-25, compared to the existing insurer (CHU) the premium was less by \$1K. Members advised the Manager to renew the policy terms with SCL at the renewal date. Furthermore, it was agreed to retain Liability at \$30 Million

MOTION CARRIED

Insurance Valuation: Members did not consider obtaining an insurance valuation at this time.

PDS & FSG: Copies of all product disclosure and Financial service guides for your Insurer can be can be easily located by visiting: <https://www.stratarama.com.au/general-information-and-pds/>

Contents & Landlord Protection covers: Stratarama advise the group that the Building policy contains neither contents nor landlord protection. The legal/ Public liability covers applied to the building also do not extend to the inside of a Lot/ unit. It is advisable for the Members to individually source these covers even during periods where the unit may be unoccupied. Tenant and Owner contents include such items as carpet, light fittings and curtains. Some options for these covers can be found via the Stratarama website: <https://www.stratarama.com.au/landlord-and-contents-insurance/>

Should Unit Owners require contents or Landlord protection policies privately, Stratarama is pleased to provide the following links as options for you. There is no obligation at all to use these services and are provided only as an option for you to research independently as services also provided by CHU.

Landlords Link: https://my.chu.com.au/stratarama_landlords

Contents Link: https://my.chu.com.au/stratarama_contents

The provision of these links represents general advice and does not take into account any specific financial situations, objectives or needs of an individual or Body Corporate/ Strata Corporation. Before you make any decision about whether to acquire a certain product, you should read the relevant product disclosure statement, policy wording and/or consult your Insurer.

7. **General Business / Maintenance:**

a) Letter Box (replacement) & Installing Exit Mirror: The manager advised all present that the quote for the replacement of new letter boxes and exit mirror has already been placed, the expectation was that we have the quotes prior to the AGM; however, the contractors have not provided the quotes this will be followed up and once received both quotes will be submitted to the committee for their perusal and seek further instruction.

MOTION CARRIED

b) Repairs to the footpath fixture at the front entrance: To some degree, there has been an overlapping of whether the footpath belongs to the corporation or is it deemed to be council land, there has been discussion that the council have deemed the entrance of the footpath to be the corporation land however there is no evidence from the council. Mr Chambers (Lot 8) requested the manager to write to the council and have the information in writing that if the land belongs to the corporation, the repairs to the kerb can be finalised. If not, the council will be requested to attend to the repairs.

Ms Murphy (Lot 20) advised that she speak with her knowledgeable associate who could assist in the query. The manager will follow up with Ms Murphy and the council and present the findings to the committee.

MOTION CARRIED

c) Rear Gate: There has been a long-standing discussion about the rear gate and whether it can be locked off permanently. Some of the members relayed that the council requires a gate, and it cannot be locked off permanently. Mr Gale (Lot 6) requested the manager speak with the council, check on the legality, and advise the committee.

MOTION CARRIED

d) Parking on the common property: The manager reiterated to all members at the meeting that they should refrain from parking vehicles on the common property per the corporation By-laws 3.2b. A person must not park a vehicle on a road unless authorised to do so by the Community corporation. 3.4d Park a motor vehicle on the common property except on the part of the common property set aside for parking *the motor vehicle*.

Parking on this site has been allocated in accordance with your corporate plan; there is no additional parking available in the common area. The site has no common carparks, and parking in these areas is forbidden and, in doing so, is a breach of the Corporation By-laws. If residents are found breaching the above by-laws, please note that the corporation reserves the right to issue a penalty notice for breaching the corporation's rules.

MOTION CARRIED

Authorised vs Non-approved Repairers: The Corporation utilise the services of SMATA – Contractor Compliance to check, report and monitor the insurances, ABN, licenses and registrations of Contractors used on this site. This has been set to reduce the Corporations potential liability in this area. If the Corporation wishes to use a Contractor that is not ARM-CC approved, Stratarama can be instructed by the Office Bearers in writing to do so. It is noted that the Owner may be personally liable for any loss, damage, defective work or public liability claim made, involving any unapproved Contractor.

8. Administrative Fund Budget:

The budget for the coming period was presented by the Manager. It was resolved that the proposed budget be accepted with **contributions being set annually at \$24,000.00**

Contributions will be raised quarterly according to unit entitlement, as per the budget schedule.

If the costs met by the Corporation in this period is less than the projected budget, the surplus funds will be carried over for future maintenance costs.

MOTION CARRIED

9. Sinking Fund Budget:

The Manager advised that under existing legislation, any Corporation consisting of 7 units or more must undertake a sinking fund analysis for non-recurrent expenses which may be incurred. This analysis should forecast the upcoming 3 years for groups of 7+ units and 5 years for groups of 20 or more.

The budget for the coming period was presented by the Manager. It was resolved that the proposed budget be accepted with **contributions being set annually at \$1,000.00**

Contributions will be raised quarterly according to unit entitlement, as per the budget schedule.

MOTION CARRIED

A Sinking fund projection for 10 years can be obtained from a Quantity Surveyor where requested by the Corporation. There is no requirement on Members to obtain a Quantity Survey Sinking forecast, nor for Members to act upon any budget presented. Stratarama takes no responsibility for any forecast provided by Stratarama direct or decisions made by the group when setting a sinking fund contribution.

Levies Due: Levies will fall due on the following dates- 1st of July, 1st of October, 1st of January and 1st of April.

10. Special Levy Authority/ shortfall of funds: Where the Corporation has insufficient funds to meet its recurrent expenditure, the Manager is authorised to raise a special levy necessary to raise sufficient funds to cover the shortfall and ensure the Corporation is able to continue to meet its financial obligations. The Manager would raise such levy after consultation with the groups Presiding Officer, in accordance with the entitlement values of each unit for payment by those registered as proprietors of each unit.

11. Levy Arrears/ recovery of overdue contributions:

In accordance with the governing legislation, the Corporation will apply interest to arrears at the amount of 15% per annum calculated daily. This interest will be applied where the payment of a contribution/ levy or levy/contribution instalment is not received with-in 30 days of the due date. The Presiding Officer and/or Committee is authorised to waive penalty interest charges in circumstances of extreme adversity at their discretion only.

Stratarama is authorised (with no further authority required) to take action to recover all associated costs relating to debt recovery from any Owner in arrears, including but not limited to legal fees, administrative costs, service fees, court fees, debt collection costs and commissions payable to third party debt collection providers and any other costs incurred.

Overdue notices are charge to the Owner as follows: a) Stage 1 Debt recovery reminder \$11.00 inc gst

b) Stage 2 Debt recovery reminder \$22.00 inc gst c) Stage 3 Debt recovery reminder \$33.00 inc gst

12. Policies:

Correspondence Delivery: Where possible it is recommended that Members supply an email address and that this is utilised for correspondence delivery so as to receive all notifications and information from Management and the Committee as soon as possible. Members are responsible for notifying management of any changes to their contact details (including Property management and Tenant details) ASAP to prevent delivery failure of notices, levies and other information which may result in additional fees and costs to the individual. These costs are recoverable per the above levy arrears policy.

Owner contact register: The Corporation is required to maintain a register of unit Owner contact information in accordance with the current legislation. This information is accessible by Members, and personal contact information may be provided to Contractors attending site.

Approvals, additions and alterations: Any approval sought by a unit Owner outside of the Annual General meeting may require a special meeting to be held to resolve the request. Any request sought which is for the exclusive benefit of one Owner, associated meeting costs would be the responsibility of that Owner. All proposed approvals and alterations must be placed on the Agenda of the upcoming meeting so that they can be considered by the Members per the legislative requirements.

13. **Approvals sought:**

All approvals proposed are to be voted on in accordance with current legislative requirements. These applications must be recorded on the Agenda for the meeting.

No approvals were sought for this meeting.

14. **Any Other Business:**

Resident Hand Book: Before the AGM, at the previous committee meeting, Mr Chambers (Lot 8) queried with the manager if the corporation could hand out a resident handbook highlighting a few basic but essential rules regarding the corporation that could assist the incoming tenants and/or existing residents at the complex, At the annual meeting the manager tabled the draft copy of the resident handbook, members reviewed and were happy for this to be circulated to all owners who can pass this on to their property manager and/or tenant to adhere to the rules; Furthermore it was requested that the manager also hands out the Corporation By-laws to all owners for their perusal.

MOTION CARRIED

General Notes:

After-hours emergency maintenance: Stratarama will have available to Members an afterhours contractor available to handle all queries outside of business hours that are of an emergency nature. Simply contact the Stratarama office in event of an emergency to be directed to the contractors contact details.

15. **Next Scheduled Meeting:**

The next AGM for your Corporation is tentatively scheduled for 6 p.m. on or around Wednesday, May 8th, 2024, pending the availability of the venue.

16. **Meeting Closure:**

There being no further business, attendees were thanked for their presence and the meeting declared closed 7.30 Pm

MINUTES OF THE ANNUAL GENERAL MEETING

COMMUNITY CORPORATION 21926 Inc

CORPORATION ADDRESS: 57 Cottage Lane, HACKHAM SA 5163

DATE: Wednesday 28th of May 2025

TIME: 6.00 PM

VENUE: Hackham West Community Centre (Majorca Rd &, Warsaw Cres, Hackham West SA 5163).

PRESENT:

Mr K & Ms G Brumfield	Lot 7
Anne Marie Mark	Lot 9
A J Cipriano	Lot 10
Mr D Miller	Lot 13
Mr Luke J Hosszu	Lot 14
Harold Holland	Lot 15
J W & E J Donaldson	Lot 19
Ms Carroll Marie Murphy	Lot 20
Ms Heather W Zappia	Lot 23
Mr Ricky Shane Waterhouse	Lot 24
Jess Marshall	Lot 25

PRESENT BY PROXY:

Benjamin Chambers proxy to Lot 14	Lot 8
Ms Monica Anne Muir proxy to Lot 15	Lot 14
Ms June R McVey proxy to Lot 15	Lot 16
Ms Gloria D Ashforth proxy to Lot 7	Lot 22

IN ATTENDANCE:

Lionel Colaco representing Stratarama Pty Ltd

PROCEEDINGS

QUORUM: The Manager declared that a quorum was in attendance at this meeting, by way of attendance and/or proxy with 15 of 22 Lots represented.

It is noted that where an Owner is unfinancial at a meeting, they do not form a part of the total quorum.

Declaration of Interest: All Members (or Nominee) must declare any interest that they may have in relation to any matters being discussed or determined at this meeting. These pecuniary interests may be either direct or indirect in nature. No interests were declared at this meeting.

Minutes' documentation: Several sections of the Minutes are repeated and recorded at each meeting. As such those matters may not be discussed to the same extent each year. These appear in full for the benefit of new group Members, so that they may have a strong understanding of the group's decisions.

1. **Appointment of a Chairperson:**

In accordance with current legislation, the representative from Stratarama may only chair the meeting if a majority of Members present or represented by proxy are in favour. Stratarama have no rights to vote at this meeting, except where exercising a proxy vote in accordance with the wishes of a Member, as their proxy. The Manager advised Members as to the proxies recorded for the meeting and advised that these are available for inspection.

It was agreed by Ordinary Resolution that the Manager would act as the Secretary for this meeting, chair and record the minutes.

MOTION CARRIED

2. **Acceptance of Previous Minutes:**

Minutes of the last meeting held by the group on **22/05/2024** were resolved by Ordinary Resolution as a true and correct record of the meeting.

MOTION CARRIED

Notes:

- Any outstanding matters arising from previous Minutes are discussed under the appropriate Agenda headings for this meeting.
- Correspondence is available to be accessed by Members via the online unit Owners portal. Each Member has the right to inspect records held by the Corporation and may do so by contacting management to arrange a suitable time during business hours.

3. **Acceptance of Financial reports/ Statements:**

It was resolved by Ordinary Resolution that the Statement of accounts for the financial period ending **28/02/2025** , were circulated to all members for review, prior to the meeting, and were accepted by the members.

Fine Description Lot 17: Mr Holland (Lot 15) requested the manager to rectify the description for the fine being issued to Lot 17, as the description states Lot 24. The manager acknowledges the admin error and would have the description altered.

MOTION CARRIED

- Audit N.B: An audit of trust accounts held by Stratarama is undertaken annually by an accredited Auditor as required. A copy of the report will be made available annually on the online Owners portal and can be sent to you direct by request to Stratarama.

4. **Appointment of Manager/ Management:**

It was resolved by Ordinary Resolution that:

- Stratarama Pty Ltd and/or their Nominee be appointed to assist the Corporation with management services. These services are those delegated as per the **Community Titles Act 1996**.
- Stratarama be remunerated by a primary annual management fee of \$4752.00 inclusive of gst.
- Stratarama be remunerated for other service fees as outlined in the management agreement. The Presiding Officer is authorised and instructed to sign this agreement.
- The appointment be made for a period of 12 months from the date of this meeting and that upon expiry, management will continue on a month by month basis until the next meeting or the delegation of powers is revoked.
- Anthony Johnson be appointed as Public Officer to act on behalf of the group in all taxation related matters.
- The services provided by Stratarama Pty Ltd are in accordance with the **Community Titles Act 1996** and per the details outlined in the explanatory pamphlet (available from stratarama.com.au and by direct request of the Member)

MOTION CARRIED

5. **Election of Office Bearers & Committee:**

It was resolved by Ordinary Resolution that the following appointments be made for the coming period:

- | | | |
|----------------------|-------------------------|--------|
| • Presiding Officer: | Ms Carroll Marie Murphy | Lot 20 |
| • Treasurer: | Harold Holland | Lot 15 |
| • Secretary: | Kym Brumfield | Lot 7 |

It was further confirmed that a Committee be appointed, consisting of:

- All Office Bearers are listed above
- Committee Member: Anne Marie Mark Lot 9
- Committee Member: Mr D Miller Lot 13
- Committee Member: Mr John Donaldson Lot 19
- Committee Member: Ms Jess Marshall Lot 25

MOTION CARRIED

Notes:

*Office Bearers do not have the power to vary the common property, grant exclusive rights, authorise any capital works or approve any installations or additions. Office Bearers do not have the power to resolve any matter for which a Special or Unanimous resolution is required. Office Bearers are authorised to oversee routine maintenance of the Corporation and oversee the adherence of Articles.

*The Committee may be empowered by the Corporation to make further decisions at properly convened Committee meetings. Committee meetings must be held in accordance with the Community Titles Act 1996. An Agenda needs to be forwarded to all Committee Members and proper meeting minutes detailing the decisions made must be kept (copies to be held in the Corporation records)

6. Insurance; review of Policies and Sums Insured:

Stratarama advised the Corporation that **Section 103 (1) of the Community Titles Act 1996** requires the Corporation Owners to insure **the common property** for full replacement value or reinstatement value. In accordance with Section 103 (1)(b) a Community Strata scheme generally includes the buildings as common property and in these instances (where shown in the Act, plan or scheme description/ by-laws) the group will ensure the buildings collectively.

In Community schemes however the buildings with-in a Lot are not common property and must be insured individually by the Lot Owner. In accordance with Section 103 (1)(b) a Community Owner also has a responsibility to insure any part of their property including a party wall (building or structure) providing support or shelter to another building or structure on another Lot or common property.

This Corporation insurers: All Buildings and common property collectively

Insurance Policy Breakdown:

Building Property cover:	\$9,990,750.00
Public/ Legal Liability:	\$30,000,000.00
Office Bearers Cover:	\$500,000.00
Fidelity Guarantee Cover:	\$100,000.00
Flood inclusion Cover:	Refer Policy details

Excess: \$2,000.00 on all standard claims (or 'all claims')

Last Valuation report: \$9,515,000.00 Dated: 25/07/2022

Current Insurer: Strata Community Insurance Expires: 15/06/2026

Insurance General notes and Reminders:

Excess payments: Members have previously resolved that; insurance excesses will be payable by the Corporation.

Claims: Stratarama advises that to ensure claims and insurance renewals are processed correctly, Members must report all possible claims as soon as possible.

a) Insurance cover decision:

Mr Holland (Lot 15) raised the suggestion that the corporation could consider allowing each lot owner to arrange their own individual building insurance, noting that owners might secure more competitive rates through other insurers.

In response, the manager explained that the corporation is currently insured under a single, collective building policy—a practice that has been in place prior to our management and remains consistent with the existing by-laws of the corporation.

Following a thorough discussion, members voted on whether to retain the current group insurance arrangement or to shift to individual lot insurance. The outcome of the vote was as follows:

In Favour of Continuing with the Current Group Policy: 12 votes

In Favour of Individual Lot Insurance: 3 votes

Result:

It was resolved that the corporation will continue with the existing arrangement of insuring the entire complex under one collective policy.

Following this decision, the manager presented two insurance quotes for the 2025–2026 period:

CHU Underwriting Insurance: \$11,020.92

Strata Community Insurance (current provider): \$11,001.35

Members then voted on their preferred insurer, with the results as follows:

In favour of continuing with Strata Community Insurance: 12 votes

In favour of switching to CHU Underwriting Insurance: 0 votes

Not in favour / Abstained: 3 votes

Outcome:

The corporation will continue its insurance coverage with Strata Community Insurance for the upcoming period.

Owners decided by Ordinary Resolution whether the insurance affected should be varied or extended. The Manager was instructed to retain cover of \$9,990,000.00. Further, the Manager will seek an alternative quote closer to renewal.

MOTION CARRIED

b) Insurance Valuation:

It was resolved by Ordinary Resolution that the Corporation would not engage the services of a licensed Insurance Valuer at this time.

MOTION CARRIED

c) Insurance Renewal, Manager Authority:

It was resolved by Ordinary Resolution that the Manager be authorised to instruct and assist the Corporations nominated insurer (or Broker where applicable) to deal with the next insurance renewal matter, obtain insurance quotations, and adjust/amend/add/delete cover for the forthcoming policy year for submission to the Corporation. Per direction of the Members at a meeting of the Corporation, or as instructed by the Office Bearers.

MOTION CARRIED

Disclosure notes: It is noted that Stratarama Pty Ltd may receive a commission for placing your insurance of up to 20% of the base premium. Any commissions payable to Stratarama are disclosed in our management agreement. The commission received from the Insurer is a fee for service to act on behalf of the Corporation to assist with the obtaining of quotes, valuations, liaison between clients, insurer and trades, excess recovery, payments and the claims process.

d) Insurance Renewal, Instructions:

It was resolved by Ordinary Resolution that the Manager forward any insurance quotations, including any written advice and disclosure summary to the Committee or Office Bearers for consideration. To ensure that the Corporation continues to hold insurance that meets requirements of the Act, the Manager is given authorisation to place the insurance for the forthcoming policy year, including in the event that, the Manager receives no response prior to the expiry of the insurance policy.

MOTION CARRIED

PDS & FSG: Copies of product disclosure statements and Financial service guides for your Insurer can be easily located by visiting: <https://www.stratarama.com.au/general-information-and-pds/>

General Insurance notes not relating to the Corporations Policy:

Contents & Landlord Protection covers: Stratarama advise the group that the Building policy contains neither contents nor landlord protection. The legal/ Public liability covers applied to the building also do not extend to the inside of a Lot/ unit. It is advisable for the Members to individually source these covers even during periods where the unit may be unoccupied. Tenant and Owner contents include such items as carpet, light

fittings and curtains. Some options for these covers can be found via the Stratarama website:
<https://www.stratarama.com.au/landlord-and-contents-insurance/>

7. **General Business / Maintenance:**

a) **Gutter Cleaning:** Members unanimously agreed not to proceed collectively, and reiterated that the individual owners should undertake their own gutter cleaning.

CARRIED

b) **Mulching:** No action required, the works have been undertaken.

CARRIED

c) **Mirror:** Members at the meeting relayed to the manager that the current Mirror is not of the size that would assist the members and requested that the Contractor rectifies the error, the manager reiterated that the committee approved the contractor who had then submitted the quote, the issue here is not the workmanship but the size of the mirror, the manager would reach out to the contractor and request him to suggest an appropriate size to replace the existing mirror.

CARRIED

d) **Rear Gate:** During the meeting, members asked the manager for an update on the council's position regarding the possibility of permanently closing the rear gate. The manager advised that the council confirmed the gate and fence are the property of the community, and therefore it is up to the corporation to decide whether to keep the gate open or to permanently close it. Members expressed differing views on the matter—some in favour of permanently closing the gate, while others proposed installing a new lock and distributing keys to each household. In the case of rental properties, it was agreed that the responsibility for providing or replacing keys would rest with the owner.

After extended discussion, the manager suggested an initial step of placing signage on the gate requesting that it be kept closed. This would allow the community to assess whether this approach is effective before considering further action, such as changing the lock.

Members agreed with this approach. Mr Burmfield (Lot 7) volunteered to purchase and install the signage on the gate and will submit the receipt for reimbursement by the corporation.

CARRIED

e) **Installing a notice board:** Members unanimously agreed not to proceed forward with this request.

CARRIED

f) **Irrigation System:** Members at the meeting suggested that the irrigation system of the complex be reviewed, as it has been some time since it was last assessed. It was agreed that the corporation's current gardener (Luke) will assess and report back if any repairs are needed.

CARRIED

g) **Owner Information:** It was agreed that post the AGM, the manager will circulate a copy of the by-laws and resident hand book to each members that residents are aware of the current rules and regulations pertaining to the community corporation.

CARRIED

h) **Letter Box:** At the meeting, the manager apologised for the delay in the repair works. On which Mr Holland (Lot 15) presented an independent quotation for approximately \$4,000. However, members noted that this quote did not include the costs for removal and installation, which could potentially result in a higher overall expense.

Following a detailed discussion, the manager advised that similar work had recently been completed—installation of new letterboxes, including removal and fitting—for under \$3,000. The manager committed to forwarding the details of that project, including the quotation and photos, to the committee for review. A formal quote request will be issued if the committee supports the approach. Once received, the quote will be circulated to all members for a vote.

CARRIED

i) **Parking Allocation Space, review of By-laws, Fines – How to administer them:**

During the meeting, members raised concerns regarding the perceived unfair distribution of parking at the property. It was noted that several lots have multiple vehicles occupying parking spaces, with some spaces permanently taken up by caravans and trailers. This ongoing use of common parking areas makes it difficult for residents and visitors to find available spots. As a result, visitors often resort to parking on the common roadway—an issue that has triggered complaints from some residents, leading to letters being sent to owners regarding prolonged vehicle parking. Members expressed frustration over receiving such letters while common spaces remain occupied.

The manager informed the group that, prior to the meeting, legal advice had been sought regarding this matter. In addition to seeking guidance on the parking concerns, the manager also asked the legal team to review the corporation's bylaws, particularly those relating to the enforcement of fines, and to outline the process and associated costs of making any necessary amendments.

Several potential options were presented to address the parking issues:

Amend the By-laws:

The corporation could pass a special resolution to introduce a new by-law that clearly defines the permitted use of visitor parking bays. This could include restrictions such as time limits (e.g., a maximum number of hours) and prohibitions on certain vehicle types.

Exclusive Use Agreements:

Alternatively, the corporation could resolve to grant exclusive use of designated common property parking spaces to one or more owners. This would require a unanimous resolution and would be for a fixed term (e.g., 1, 2, or 3 years). Such agreements would not need to be recorded in the by-laws but could exist as separate written arrangements.

Regarding enforcement, it was clarified that fines can only be imposed by a duly convened meeting of the corporation or its management committee. A body corporate manager does not have the authority to impose penalties but may be authorised to issue and sign penalty notices.

The estimated cost to amend the by-laws is between \$1,500 and \$2,000. Before proceeding, the manager will circulate a sample template of the proposed by-law changes to the committee. This will allow for review and discussion prior to putting the matter to a vote.

Authorised vs Non-approved Repairers: The Corporation utilise the services of SMATA Connect – Contractor Compliance to check, report and monitor the insurances, ABN, licenses and registrations of Contractors used on this site. This has been set to reduce the Corporations potential liability in this area. If the Corporation wishes to use a Contractor that is not SMATA Connect approved, Stratarama can be instructed by the Office Bearers in writing to do so. It is noted that the Owner may be personally liable for any loss, damage, defective work or public liability claim made, involving any unapproved Contractor.

8. **Administrative Fund Budget:**

The budget for the coming period was presented by the Manager as circulated with the agenda of meeting. It was resolved by Ordinary Resolution that the proposed budget be accepted with contributions being set annually at **\$27,250.00**.

Contributions will be raised quarterly according to unit entitlement, as per the budget schedule attached. If the costs met by the Corporation in this period is less than the projected budget, the surplus funds will be carried over for future maintenance costs.

MOTION CARRIED

9. **Sinking Fund Budget:**

The Manager advised that under existing legislation, any Corporation consisting of 7 units or more must undertake a sinking fund analysis for non-recurrent expenses which may be incurred. This analysis should forecast the upcoming 3 years for groups of 7+ units and 5 years for groups of 20 or more.

The budget for the coming period was presented by the Manager. It was resolved by Ordinary Resolution that the proposed budget be accepted with contributions being set annually at **\$1,000.00**. Contributions will be raised quarterly according to unit entitlement, as per the budget schedule.

MOTION CARRIED

Levies Due: Levies will fall due on the following dates- **1st of July 2025, 1st of October 2025, 1st of January 2026, and 1st of April 2026**

The Manager advised Members that a Sinking fund projection for 10 years can be obtained from a Quantity Surveyor where requested by the Corporation. There is no requirement on Members to obtain a Quantity Survey Sinking forecast, nor for Members to act upon any budget presented. Stratarama takes no responsibility for any forecast provided by Stratarama direct or decisions made by the group when setting a sinking fund contribution.

10. **Special Levy Authority/ shortfall of funds:** It was resolved by Ordinary Resolution that where the Corporation has insufficient funds to meet its recurrent expenditure, the Manager is authorised to raise a special levy necessary to raise sufficient funds to cover the shortfall and ensure the Corporation is able to continue to meet its financial obligations. The Manager would raise such levy after consultation with the groups Presiding Officer, in accordance with the entitlement values of each unit for payment by those registered as proprietors of each unit.

MOTION CARRIED

11. **Levy Arrears/ recovery of overdue contributions:**

It was resolved by Unanimous Resolution that in accordance with the governing legislation, the Corporation will apply interest to arrears at the amount of 15% per annum calculated daily. This interest will be applied where the payment of a contribution/ levy or levy/contribution instalment is not received within 30 days of the due date. The Presiding Officer and/or Committee is authorised to waive penalty interest charges in circumstances of extreme adversity at their discretion only.

Stratarama is authorised (with no further authority required) to take action to recover all associated costs relating to debt recovery from any Owner in arrears, including but not limited to legal fees, administrative costs, service fees, court fees, debt collection costs and commissions payable to third party debt collection providers and any other costs incurred. Motion carried unanimously.

Overdue notices are charge to the Owner from as follows: a) Stage 1 Debt recovery reminder \$11.00 inc gst
b) Stage 2 Debt recovery reminder \$22.00 inc gst c) Stage 3 Debt recovery reminder \$33.00 inc gst

MOTION CARRIED UNANIMOUSLY

12. **Policies:**

Correspondence Delivery: Where possible it is recommended that Members supply an email address and that this is utilised for correspondence delivery so as to receive all notifications and information from Management and the Committee as soon as possible. Members are responsible for notifying management of any changes to their contact details (including Property management and Tenant details) ASAP to prevent delivery failure of notices, levies and other information which may result in additional fees and costs to the individual. These costs are recoverable per the above levy arrears policy.

Owner contact register: The Corporation is required to maintain a register of unit Owner contact information in accordance with the current legislation. This information is accessible by Members, and personal contact information may be provided to Contractors attending site.

Approvals, additions and alterations: Any approval sought by a unit Owner outside of the Annual General meeting may require a special meeting to be held to resolve the request. Any request sought which is for the exclusive benefit of one Owner, associated meeting costs would be the responsibility of that Owner. All proposed approvals and alterations must be placed on the Agenda of the upcoming meeting so that they can be considered by the Members per the legislative requirements.

13. **Approvals sought:**

All approvals proposed are to be voted on in accordance with current legislative requirements. These applications must be recorded on the Agenda for the meeting.

By-Laws: This will be reviewed during the course of the year

MOTION FAILED

14. **Any Other Business: No Other Business.**

General Notes:

After-hours emergency maintenance: Stratarama will have available to Members an afterhours contractor available to handle all queries outside of business hours that are of an emergency nature. Simply contact the Stratarama office in event of an emergency to be directed to the Contractors contact details.

15. **Next Scheduled Meeting:**

The next AGM for your Corporation is tentatively scheduled to be held at 6.00 pm on or around Wednesday the 27th of May 2026 at Hackham Community Centre

16. **Meeting Closure:**

There being no further business, attendees were thanked for their presence and the meeting declared closed at 8.00 PM



STRATA COMMUNITY INSURANCE

 stratacommunityinsure.com.au

T 1300 SCINSURE (1300 724 678)

E myenquiry@scinsure.com.au

A Level 12, 182 Victoria Square, Adelaide, SA 5000

CERTIFICATE OF CURRENCY

THE INSURED

POLICY NUMBER	POL11062671
PDS AND POLICY WORDING	Residential Strata Product Disclosure Statement and Policy Wording SCI034-Policy-RS-PPW-02/2021 Supplementary Product Disclosure Statement SCIA-036_SPDS_RSC-10/2021
THE INSURED SITUATION	Strata Corporation No. 21926 57 Cottage Lane, Hackham, SA, 5163
PERIOD OF INSURANCE	Commencement Date: 4:00pm on 15/06/2025 Expiry Date: 4:00pm on 15/06/2026
INTERMEDIARY ADDRESS	Stratarama Pty Ltd 74 Brighton Road, Glenelg East, SA, 5045
DATE OF ISSUE	12/06/2025

POLICY LIMITS / SUMS INSURED

SECTION 1	PART A	1. Building	\$9,990,750
		Common Area Contents	\$99,908
		2. Terrorism Cover under Section 1 Part A2	Applies
	PART B	Loss of Rent/Temporary Accommodation	\$1,498,613
	OPTIONAL COVERS	1. Flood	Included
		2. Floating Floors	Included
SECTION 2	Liability		\$30,000,000
SECTION 3	Voluntary Workers		Included
SECTION 5	Fidelity Guarantee		\$100,000
SECTION 6	Office Bearers' Liability		\$500,000
SECTION 7	Machinery Breakdown		Not Included
SECTION 8	Catastrophe		Not Included
SECTION 9	PART A	Government Audit Costs – Professional Fees	\$25,000
	PART B	Appeal Expenses	\$100,000
	PART C	Legal Defence Expenses	\$50,000
SECTION 10	Lot Owners' Fixtures and Improvements		\$300,000
SECTION 11	Loss of Lot Market Value		Not Included

This certificate of currency has been issued by Strata Community Insurance Agencies Pty Ltd, ABN 72 165 914 009, AFSL 457787 on behalf of the insurer Allianz Australia Insurance Limited, ABN 15 000 122 850, AFSL 234708 and confirms that on the Date of Issue a policy existed for the Period of Insurance and sums insured shown herein. The Policy may be subsequently altered or cancelled in accordance with its terms after the Date of Issue of this notice without further notice to the holder of this notice. It is issued as a matter of information only and does not confer any rights on the holder.

This certificate does not amend, extend, replace, negate or override the benefits, terms, conditions and exclusions as described in the Schedule documents together with the Product Disclosure Statement and insurance policy wording.

COMMUNITY PLAN NUMBER
CP 21926

PLAN TYPE PRIMARY

THIS IS SHEET 1 OF 2 SHEETS

DEPOSITED 7/11/2003 *Mark McNeil*
PRO REGISTRAR-GENERAL

CLOSURE CHECKED BR	PLAN EXAMINED SF	PLAN APPROVED 2.3.04	P.M.S. APPROVED —
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TITLE REFERENCE CT 5394/915

LAND DESCRIPTION
ALLOTMENT 20 IN FP 153006
OF PART SECTION 26

IRRIGATION AREA — DIVISION —
HUNDRED NOARLUNGA
AREA HACKHAM
COUNCIL CITY OF ONKAPARINGA

MAP REF. 6627-20-B

O.B. FP 44609 TOTAL AREA 1.013ha

DEV. No. 145/C022/02/002

SCALE 0 5 10 20 30 40 50 METRES

ANNOTATIONS
THE COMMON PROPERTY IS DESIGNATED (C1) FOR LAND INFORMATION PURPOSES ONLY AND DOES NOT PROVIDE A LEGAL IDENTIFIER FOR THE COMMON PROPERTY

THE SERVICE INFRASTRUCTURE WAS NOT IN PLACE AS AT 9/10/2003

PORTION OF THE COMMON PROPERTY MARKED A IS TO BE SUBJECT TO A SERVICE EASEMENT TO DISTRIBUTION LESSOR CORPORATION (SUBJECT TO LEASE 8890000) FOR ELECTRICITY SUPPLY PURPOSES

PORTION OF THE COMMON PROPERTY MARKED B(T/F) IS TO BE SUBJECT TO A SERVICE EASEMENT TO DISTRIBUTION LESSOR CORPORATION (SUBJECT TO LEASE 8890000) FOR ELECTRICITY SUPPLY PURPOSES

ALL DISTANCES ARE GROUND DISTANCES

COMBINED SCALE FACTOR — ZONE — MGA —
BEARING DATUM ①-② 264°49'20" DISTANCE —
DERIVED FROM ADOPTED FROM FP 44609

CERTIFICATE OF LICENSED SURVEYOR
RELATING TO AMENDMENT OF A DEPOSITED COMMUNITY PLAN

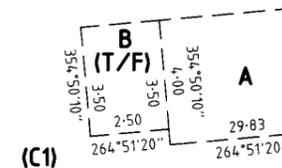
ROCCO CAVALLO
a licensed Surveyor under the Survey Act 1992, certify that this community plan has been correctly prepared in accordance with the Community Titles Act 1996 to a scale prescribed by regulation.

Dated the 9TH day of OCTOBER 2003

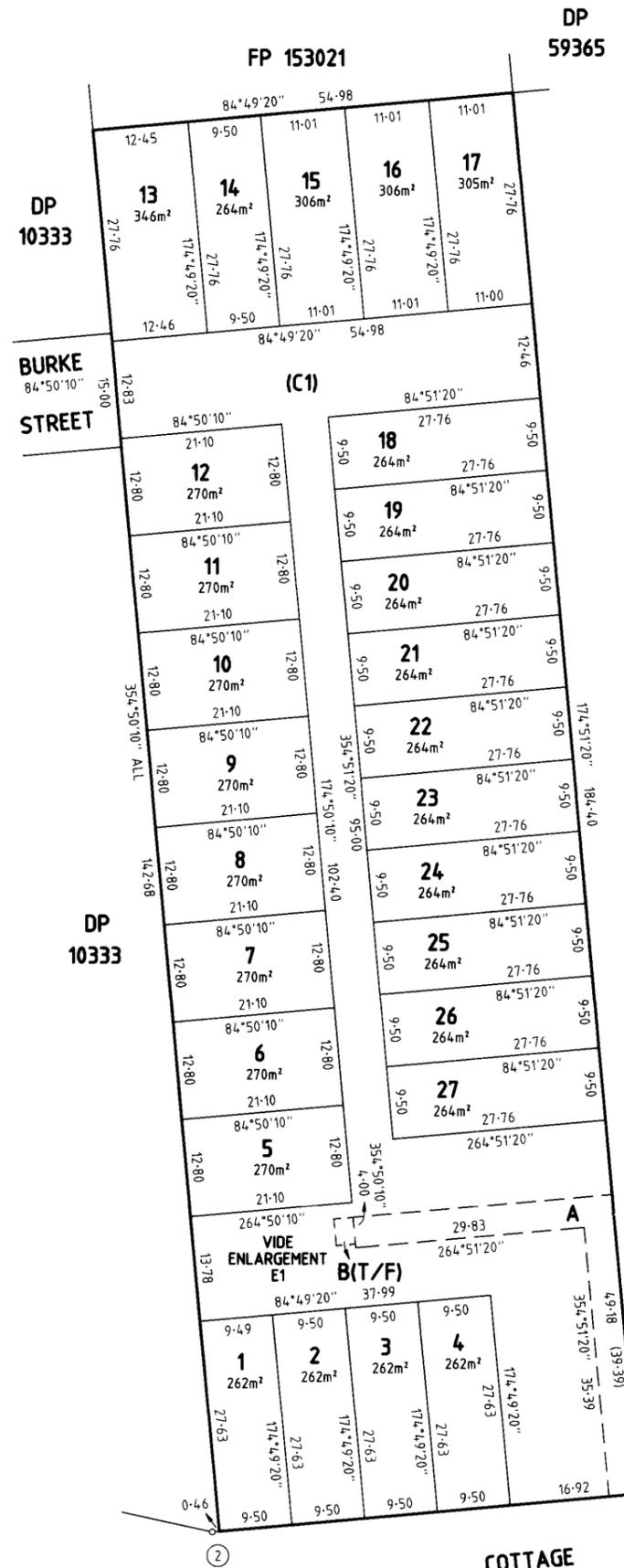
Licensed Surveyor *R. Cavallo*

LOCATION AND COMMON PROPERTY PLAN

SUBSTITUTE SHEET



ENLARGEMENT E1
NOT TO SCALE



STATE SURVEYS
INCORPORATING CAVALLO FOREST & ASSOCIATES
465/B SOUTH ROAD, KESWICK, S.A. 5035
PHONE (08) 8293 2939 FAX (08) 8293 2949
EMAIL INFO@STATESURVEYS.COM.AU
REF: 02251LTO-CP DMS VERSION: 9/10/03 20/2/04

LEGEND

NETWORK PSM	FD
NETWORK STATION	FD
PERMANENT SURVEY MARK	FD
PLACED FOUND GONE	FD GONE
REFERENCE MARKS	MP OR RM SPK FD BT GONE
DRILL HOLE & WING	
DIRECTION CHANGE	
PART DISTANCES	(20-32)
CALCULATED DATA	20-85 CALC.
COPIED DATA	100-85

LOT ENTITLEMENT SHEET SUBSTITUTE SHEET

COMMUNITY PLAN NUMBER

CP 21926

THIS IS SHEET 2 OF 2 SHEETS

APPROVED

[Signature]
2.3.04

DEPOSITED

7/11/2003
Mark McNeil
PRO REGISTRAR GENERAL

SCHEDULE OF LOT ENTITLEMENTS

LOT	LOT ENTITLEMENT	SUB-DIVIDED	LOT	LOT ENTITLEMENT	SUB-DIVIDED
1	460		16	520	
2	460		17	520	
3	460		18	460	
4	460		19	460	
5	520		20	460	
6	520		21	460	
7	520		22	460	
8	520		23	460	
9	520		24	460	
10	520		25	460	
11	520		26	460	
12	520		27	460	
13	580				
14	460				
15	520		AGGREGATE	13200	

APPLICATION 9681925
AMENDED VIDE APPLICATION 9784516

CERTIFICATE OF LAND VALUER

I, Robin Hugh Simmons being a Land Valuer within the meaning of the Land Valuers Act 1994 certify that this schedule is correct for the purposes of the Community Titles Act 1996.

Dated this 11th day of February, 2004

[Signature]

Orig. LF 10979721



11:07 18-Jun-2008
1 of 1 Fees: \$108.00

LANDS TITLES REGISTRATION
OFFICE
SOUTH AUSTRALIA

LODGEMENT FOR FILING UNDER THE
COMMUNITY TITLES ACT 1996

FORM APPROVED BY THE REGISTRAR-GENERAL

**BELOW THIS LINE FOR OFFICE &
STAMP DUTY PURPOSES ONLY**

Prefix
LF
Series No.

BELOW THIS LINE FOR AGENT USE ONLY

AGENT CODE

Lodged by: (Robyn White
Correction to: Conveyancing } AGENT CODE ROB.W.

TITLES, CROWN LEASES, DECLARATIONS ETC. LODGED WITH INSTRUMENT (TO BE FILLED IN BY PERSON LODGING)

- 1
- 2
- 3
- 4

PICK-UP NO.	
-------------	--

DELIVERY INSTRUCTIONS (Agent to complete)
PLEASE DELIVER THE FOLLOWING ITEM(S) TO THE UNDERMENTIONED AGENT(S)

ITEM(S)	AGENT CODE

CORRECTION	PASSED
FILED 	14.7.2008 pro

R-G 010107

~~*NOTICE OF AMENDMENT OF SCHEME DESCRIPTION*~~

~~*NOTICE OF VARIATION OF BY-LAWS~~

Guidance Notes available

~~*APPLICATION TO FILE VARIATION OF DEVELOPMENT CONTRACT*~~

*Delete the inapplicable

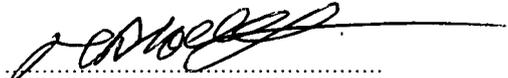
INSTRUMENT AFFECTED 9681926	PLAN No. 21926
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To the Registrar General,

I, HAROLD RALPH HOLLAND of 15/57 Cottage Lane Hackham SA 5163 being an officer of Community Corporation No. 21926 Incorporated, certify -

- (a) that the copy of the By-Laws attached to this certificate is a true copy of the By-Laws as varied by special resolution of the corporation on the 13th day of June 2008; and
- (b) that the copy of the resolution attached to this certificate is a true copy of the resolution referred to in paragraph (a).

Dated the 17th day of June, 2008.



Harold Ralph Holland
Presiding Officer

MINUTES OF THE EXTRAORDINARY GENERAL MEETING
Via Postal Ballot
COMMUNITY CORPORATION 21926 INC.
57 Cottage Lane, Hackham SA

DATE :- Friday 13th June 2008 at 9.00am

LOCATION :- Adelaide Strata Management, Unit 1/102 Greenhill Road, Unley SA 5061

PRESENT :via Postal Ballot-

Mr G Hauer
Mr J Arnold
Mr & Ms Taylor
Ms V Courtney
D & H Telkamp
Mr & Mrs Holland
Ms L Madden
Ms H Dellow

Mr G Martin
Ms C Bilney
Mr P Hadden
Ms K Palmer
Mr L Hosszu
Ms J McVey
Mr & Mrs Howatson
Robyn Spragg representing Adelaide Strata Management

QUORUM

A Quorum was declared as there were 15 out of a possible 27 Lots represented.

AMENDMENTS TO BY-LAWS

It was resolved by Special Resolution that By-Law 1.1.2 be amended by replacing Community Corporation No. Incorporated with Community Corporation 21926 Incorporated.

12 votes for
2 votes against
1 vote abstained

It was resolved by Special Resolution that the By-Laws be amended by inserting By-Law 14 which reads:

14 OFFENCES

A person who contravenes or fails to comply with the provisions of these By-Laws is guilty of an offence.

Maximum Penalty: The maximum prescribed under the Act.

13 votes for
2 votes against.

MEETING CLOSED AT 9.30 AM

"This is a copy of the resolution of the Corporation referred to in the attached certificate"


Harold Ralph Holland
Presiding Officer

Terms of Instrument not
Checked by Lands Titles Office

By-Laws
Development No.145/CO22/02 - 01

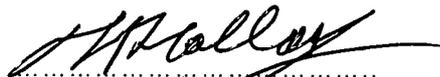
Lands Title 16:05 12/09/03 166999
REGISTRATION FEE \$94.00

BY-LAWS FOR

LOT 20 COTTAGE LANE HACKHAM

COMMUNITY CORPORATION NO. 21926
INCORPORATED

"This is a copy of the By-Laws referred to in the attached certificate"



Harold Ralph Holland
Presiding Officer

**Terms of Instrument not
Checked by Lands Titles Office**

**By-Laws
Development No.145/C022/02 701**

INDEX

ITEM	PAGE NO.
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Administration Management and Control of the Common Property	3
Use and Enjoyment of the Common Property	3
Roads	3
Paths, Walkways and Thoroughfares	4
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Animals	6
Insurance	6
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Terms of Instrument not
Checked by Lands Titles Office

By-Laws
Development No.145/CO22/02 - 01

COMMUNITY TITLES ACT 1996
COMMUNITY SCHEME BY-LAWS
COMMUNITY PLAN NO.

1. INTERPRETATION

In these By-Laws unless the contrary intention appears-

- 1.1 "the Act means the community Titles Act 1996 as amended.
- 1.2 "the Community Corporation" means Community Corporation No. 21926 Incorporated.
- 1.3 "a person" includes an owner, occupier, lessee, licensee, visitor and guest of a Community lot
- 1.4 A term defined in the Act has the same meaning when used in these by-laws unless the contrary intention appears.

2. ADMINISTRATION, MANAGEMENT, AND CONTROL OF THE COMMON PROPERTY

- 2.1 The Community Corporation is responsible for the administration, management and Control of the common property.
- 2.2 The Community Corporation will properly maintain and keep in good repair the Roadway, lighting, landscaping, and gardens comprising the common property.

3. USE AND ENJOYMENT OF THE COMMON PROPERTY

- 3.1 The common property is subject to the Act and these by-laws, for the common use and enjoyment of community lot owners their invitees visitors and employees and for access to lots 1-27 by owners their invitees visitors and employees in this community scheme.

ROADS

- 3.2 The following provisions apply in relation to roads that comprise part of the Common property.
 - 3.2a A Person must not obstruct the carriageway of a road unless authorised to do so By the Community Corporation.

**Terms of Instrument not
Checked by Lands Titles Office**

**By-Laws
Development No. 145/CO22/03 - d**

- 3.2b a person must not park a vehicle on a road unless authorised to do so By the Community Corporation.
- 3.2c a person driving or moving a vehicle on a road must comply with the rules that would apply under the Road Traffic Act 1961 to the driving of a vehicle on a public road.
- 3.2d a person must not deposit any rubbish on a road or deposit any material that is likely to be hazardous or offensive to other person using the road.
- 3.2e a person driving a vehicle on a road must not exceed a speed of 5 Kilometres per hour.

PATHS, WALKWAYS AND THOROUGHFARES

- 3.3 The following provisions apply in relation to paths, walkways and thoroughfares.
- 3.3a a person must not obstruct a path, walkway or thoroughfare unless authorised to do so by the Community Corporation,
- 3.3b a person must not drive a motor bike, scooter, ride a bicycle or small wheeled Vehicle including any skateboard, roller skates or roller blades along a path, Walkway or thoroughfare unless authorised to do so by the Community Corporation.
- 3.3c a person must not deposit any rubbish on a path, walkway or thoroughfare or deposit Any material that is likely to be hazardous or offensive to other persons using the Path, walkway or thoroughfare

GENERAL OBLIGATIONS IN RELATION TO THE COMMON PROPERTY

- 3.4 a person must not-
- 3.4a leave any object on the common property (including a road, path, walkway or thoroughfare)
- 3.4b deposit any rubbish on the common property
- 3.4c deposit any material that is likely to be hazardous or offensive to other persons Using or adjacent to the common property unless that person shall have the Authorisation to do so by the Community Corporation.
- 3.4d park a motor vehicle on the common property except on a part of the common Property set-aside for parking of motor vehicles.
- 3.4e damage or interfere with any lawn, garden, tree, shrub, plant, flower, building, and structure or ancillary service on the common property unless that person shall have the authorisation to do so by the Community Corporation.
- 3.4f display an advertisement, sign placard, banner, or other thing on any part of the common property without the authorisation of the Community Corporation.

**Terms of Instrument not
Checked by Lands Titles Office**

**By-Laws
Development No.
145/COSS/02-01**

4. USE OF COMMUNITY LOTS

- 4.1 No building erected on a community lot shall be used or occupied otherwise than for residential use unless such other use has been approved by the Community Corporation.

5. MAINTENANCE AND REPAIR

- 5.1 The owner of a community lot must properly maintain and keep in good repair all buildings and structural improvements and fences to the community lot.
- 5.2 The paintwork or other finishes on fences and the external parts of buildings on community lots must be properly maintained.
- 5.3 The owner and/or the occupier of a community lot must keep the lot in a clean and tidy condition.
- 5.4 The owner and/or occupier of a community lot must properly maintain lawns and gardens on the community lot.
- 5.5 The area between any building and improvement on the community lot and the common property shall be landscaped and maintained in a neat and tidy condition.
- 5.6 The owner and/or occupier of a community lot must
- 5.6a store garbage in an appropriate container that prevents the escape of unpleasant odours: and
- 5.6b comply with any requirements of the Council for the disposal of garbage.

6. DISTURBANCE

- 6.1 The owner and/or occupier of a community lot must not engage in conduct that unreasonably disturbs the occupier of another community lot or others who are lawfully on a community lot or the common property.
- 6.2 The owner and/or occupier of a community lot must ensure, as far as practicable, that persons who are brought or allowed onto the community lot or the common property by the owner and/or occupier do not engage in conduct that unreasonably disturbs the occupier of another community lot or others who are lawfully on a community lot or the common property.

7. NOISE

- 7.1 A person must not cause noise on a community lot or the common property at a level that unreasonably interferes with the use and enjoyment of other community lots or the common property by the occupiers of other community lots and their guests.

**Terms of Instrument not
Checked by Lands Titles Office**

**By-Laws
Development No.
145/CO22/02-01**

8. ANIMALS

- 8.1 An owner of a community lot is entitled to-
 - 8.1a keep a cat and/or small dog on the community lot and the owner shall ensure that such pets do not create unreasonable nuisance to the other community lot owners or occupiers
 - 8.1b If the occupier of the community lot is a person who suffers from a disability then that occupier may keep a dog trained to assist that occupier in respect of that disability
- 8.2 An owner and/or occupier of a community lot must not keep an animal except as authorised by this section or by the Community /Corporation.

9. INSURANCE

- 9.1 The Community Corporation shall effect such insurance as is required by Selections 103 and 104 of the Act.
- 9.2 The Community Corporation shall insure and at all times keep insured all buildings and other improvements on the community lots for all risks that a normally prudent person would insure against and must be insured for the full cost of replacing the buildings and the other improvements with new materials and must cover incidental cost such as demolition, site clearance and architect's fees.

10. INTERNAL FENCING

The Fences Act (1991) as amended shall apply as between owners of adjoining Community lots

11. STATUTORY SERVICES

The Community Corporation shall be responsible for the maintenance repair and Replacement of services within the Common Property.

12. DISPLAY OF ADVERTISEMENTS

- 12.1 A person must not display an advertisement on a community lot without the approval of the Community Corporation.
- 12.2 However, this section does not prevent the display of an advertisement associated with the sale of a community lot and any small sign on a letter box restricting mail to the letter box to be Australian Post mail only.

Terms of Instrument not
Checked by Lands Titles Office

By-Laws
Development No.
1457/CO22/02-01

13. **COMMUNITY CORPORATION'S RIGHT TO RECOVER MONEY**

- 13.1 The Community Corporation shall have the right to recover any money owing to it under the by-laws as a debt.
- 13.2 An owner of a community lot must pay or reimburse the Community Corporation on demand for the cost charges and expenses of the Community Corporation in connection with contemplated or actual enforcement or preservation of any rights under the by-law in relation to the community lot owner or occupier.
- 13.3 The cost charges and expenses recoverable by the Community Corporation shall include without limitation, those expenses incurred in retaining any independent advice and administration costs in connection with those events.
- 13.4 The Community Corporation may charge interest on any overdue moneys owed to a Community Corporation at the rate of TWO PER CENT (2%) per annum above the rate charged by the Community Corporation's bankers on overdrafts less than \$10,000.00 calculated on daily balances commencing from the day that the money becomes due and payable.

14. **OFFENCES**

A person who contravenes or fails to comply with the provisions of these By-Laws is guilty of an offence.

Maximum Penalty: The maximum prescribed under the Act.

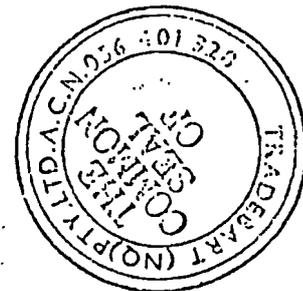
Dated this 31 day of October 2002

EXECUTED BY THE REGISTER PROPRIETOR

The Common Seal of Tradebart NQ Pty Ltd
Was hereunto affixed in the presence of

.....
Sole Director/Secretary

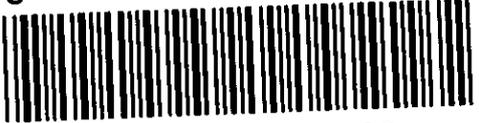
James Walter Kellie
76 Anzac Highway
Everard Park SA 5035



350

Form LF1

Orig. **LF 9681927**



14:17 16-Sep-2003
3 of 4 Fees: \$0.00

**LANDS TITLES REGISTRATION
OFFICE
SOUTH AUSTRALIA**

**LODGEMENT FOR FILING UNDER THE
COMMUNITY TITLES ACT 1996**

FORM APPROVED BY THE REGISTRAR-GENERAL

BELOW THIS LINE FOR AGENT USE ONLY

SERIES NO.	PREFIX
3	LF

AGENT CODE

Lodged by: Citystate Conveyancing ALS7

Correction to: Citystate Conveyancing ALS7

TITLES, CROWN LEASES, DECLARATIONS ETC. LODGED WITH INSTRUMENT (TO BE FILLED IN BY PERSON LODGING)

- 1.....
- 2.....
- 3.....
- 4.....
- 5.....

Assessor

PICK-UP NO.	
CP	
DEV. NO.	

BELOW THIS LINE FOR OFFICE USE ONLY

Date:	Time:
FEES	
R.G.O.	POSTAGE
94	

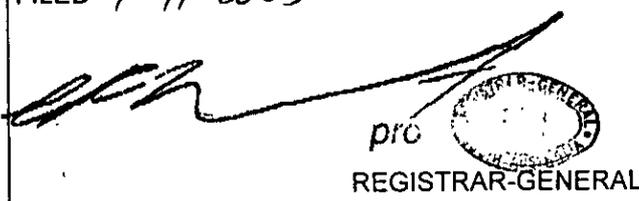
SEE SHEET 1 FOR REGISTRATION FEE \$94.00

E+11

CORRECTION 26-9-03	PASSED <i>BS</i>
-----------------------	---------------------

DELIVERY INSTRUCTIONS (Agent to complete)
PLEASE DELIVER THE FOLLOWING ITEM(S) TO THE UNDERMENTIONED AGENT(S)

FILED 7-11-2003



REGISTRAR-GENERAL

ITEM	AGENT CODE

Terms of Instrument not
Checked by Lands Titles Office

Lands Titl 16:04 12/09/03 166999
REGISTRATION FEE \$94.00

SCHEME DESCRIPTION

COMMUNITY PLAN NO. CP 21926

Allotment 20
57 Cottage Lane Hackham 5163

Term of Instrument Not
Checked by Lands Titles Office

Scheme Description
Development No.145/CO22/02-01

INDEX

<u>ITEM</u>	<u>PAGE NO.</u>
Description of land to be developed	3
Nature of Proposed Development	3
Purpose for which Lots and Common Property May be used.	3
Standard of building and improvements	3
Staging of Development	3
Estimated date for completion of Scheme	4
Conditions of Approval	4

Terms of Instrument Not
Checked by Lands Titles Office

Scheme Description No.
Development No.145/CO22/02 - 01

COMMUNITY TITLES ACT, 1996

SCHEME DESCRIPTION

DESCRIPTION OF LAND TO BE DEVELOPED UNDER THE SCHEME

The whole of the land comprised in Certificate of Title Register Book-Volume 5394 Folio 915 being Allotment 20 in Filed Plan 153006 and being the property at 57 Cottage Lane Hackham SA 5163

NATURE OF PROPOSED DEVELOPMENT

The development is comprised of Twenty Seven (27) Community lots of single storey dwellings and one (1) common lot (the Common Property). The Common Property C1 for access to lots 1-27 and to visitor car parks for lots 1-27 situated behind the carport entrances and visitor car parks and for the use of all lots as approved from time to time by Community Corporation.

PURPOSE FOR WHICH THE LOTS AND COMMON PROPERTY MAY BE USED

The lots created are to be used for residential purposes.

The Common Property is to be used by the proprietors and occupiers of community lots 1-27 and persons authorised by them from time to time in accordance with the By-Laws of the Community Scheme.

STANDARD OF BUILDINGS AND OTHER IMPROVEMENTS

The dwellings of a Brick Veneer Construction with external being of brick in various colors with various decorative mouldings and trims with Fibre Cement sheet eave linings finished with color bond Iron roofs. Each dwelling has a garage under the main roof with room for a visitor car park behind the garage entrance. (See copy of plan attached) The design of the dwellings throughout the development are the repeat of semi-detached dwellings 1 and 2 except for Lot 13 which is a stand alone dwelling. The Common Property Lot will be paved and landscaped.

STAGING OF DEVELOPMENT

The scheme is a three stage development.

Stage One of the development will comprise Community Lots 1-6 inclusive and Lots 26 & 27 and that portion of Common Property C1 adjacent to lots 1-6 inclusive and lots 26 & 27. This stage of development will be undertaken and completed by the developer with progressive completion of all the proposed improvements.

Stage Two of the development will comprise Community lots 7-10 inclusive and 20 -25 inclusive and that portion of Common property C1 adjacent to lots 7-10 inclusive and 20-25 inclusive. This Stage of the development will be undertaken and completed by the developer with progressive completion of all the proposed improvements.

Stage Three of the development will comprise Community lots 11-19 inclusive and that portion of Common property C1 adjacent to lots 11-19 inclusive. This stage of the development will be undertaken and completed by the developer with progressive completion of all proposed improvements.

Terms of instrument Not
Checked by Lands Titles Office

Scheme Description
Development No. 145/CO22/02-01

The order of completion of work on each lot will be arranged as required by the developer and may not be in any specific order.

ESTIMATED DATE FOR THE COMPLETION OF THE SCHEME

The development being a three Stage Twenty seven (27) Dwelling development (including the paving and landscaping of the Common Property) is scheduled for completion as follows :-

Stage One by ~~30th June 2003~~ 31st DECEMBER 2003
Stage Two By ~~31st March 2004~~ 30th SEPTEMBER 2004
Stage Three by ~~31st December 2004~~ 30th JUNE 2005

CONDITIONS OF APPROVAL

The scheme has been approved by the City of Onkaparinga

Council with various conditions to be met by the developer.

The Conditions will continue to apply after completion of the development and will be the responsibility of the community corporation and the owners of the community lots.

Copies of the Conditions of Approval are attached to this Scheme Description.

Further particulars about the details of this Scheme may be available from the City of Onkaparinga Council Development No. 145/1113/2002/1A

Dated this 25th day of AUGUST 2003

CERTIFICATE OF THE COUNCIL

It is certified:

All the consents or approvals required under the Development Act 1993 in relation to the division of land (and a change in the use of the land if any) in accordance with the Scheme Description and Plan of Community division have been granted.



Dated: 25/8/03

COMMUNITY PLAN NUMBER

CP

PLAN TYPE PRIMARY

THIS IS SHEET 1 OF 1 SHEETS

DEPOSITED / / PRO REGISTRAR GENERAL

CLOSURE CHECKED PLAN EXAMINED PLAN APPROVED P.M.S APPROVED

TITLE REFERENCE C.T. 5394/915

LAND DESCRIPTION ALLOTMENT 20 IN FP 153006 OF PART SECTION 26

APPLICABLE AREA NDARLUNGA DIVISION
 HUNDRED HACKHAM
 AREA HACKHAM
 COUNCIL CITY OF ONKAPARINGA

MAP REF: 6627-20-B
 O.B. FP TOTAL AREA

DEV. NO 145 / C O / 02
 SCALE 15 30 45 60 75 METRES

ANNOTATIONS THE COMMON PROPERTY IS DESIGNATED (C1) FOR LAND INFORMATION PURPOSES ONLY AND DOES NOT PROVIDE A LEGAL IDENTIFIER FOR THE COMMON PROPERTY

STATE SURVEYS
 INCORPORATING CAVALLO FOREST & ASSOC.

465/B SOUTH ROAD
 KESWICK
 S.A. 5035
 REF 0225101
 PHONE (08) 8293 2939
 FAX (08) 8293 2949
 MOBILE 0418 845 945

N

Handwritten: HUNTERCREEK

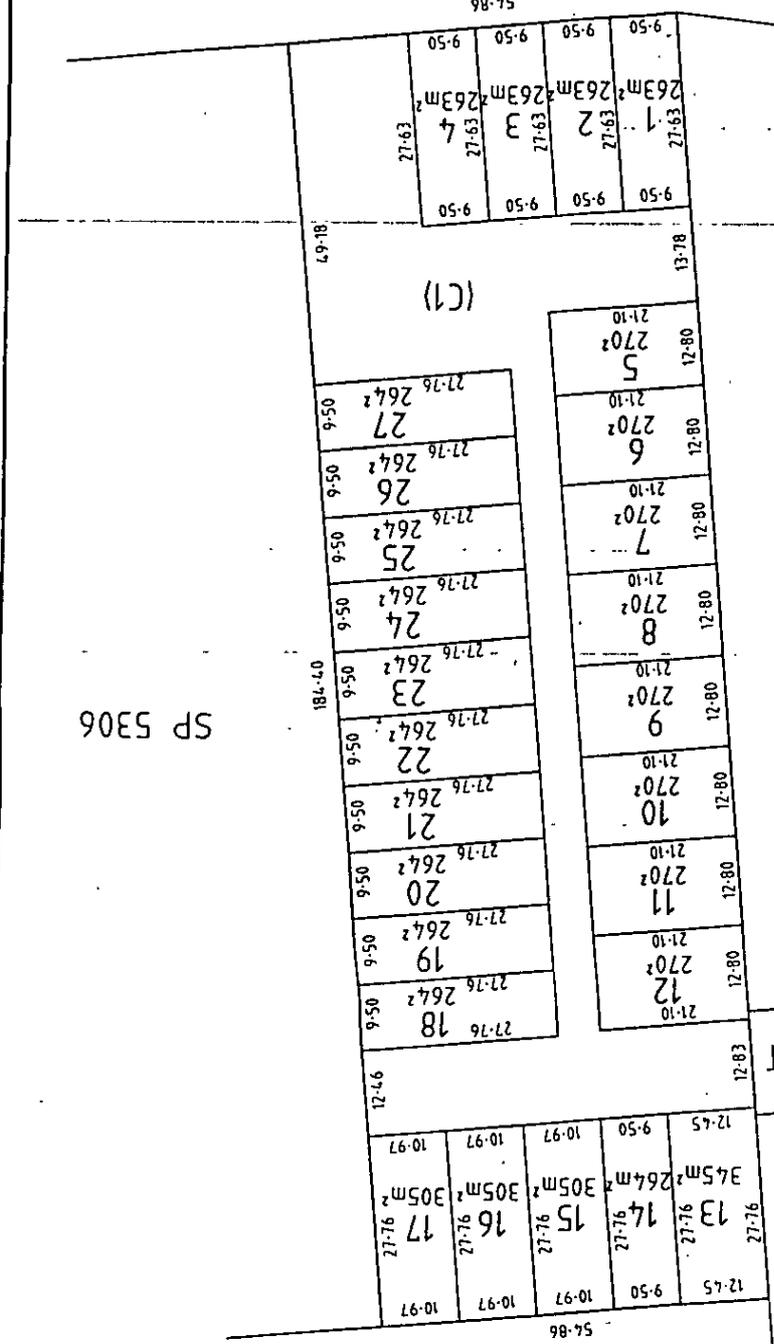
PROPOSED COMMUNITY PLAN
 STAGED DEVELOPMENT
 STAGE 1 LOTS 1,2,3,4,5,6
 26 & 27
 STAGE 2 LOTS 7,8,9,10,20,21
 22,23,24, & 25
 STAGE 3 LOTS 11,12,13,14,15
 16,17,18 & 19

DP 10333

DP 10333

BURKE STREET

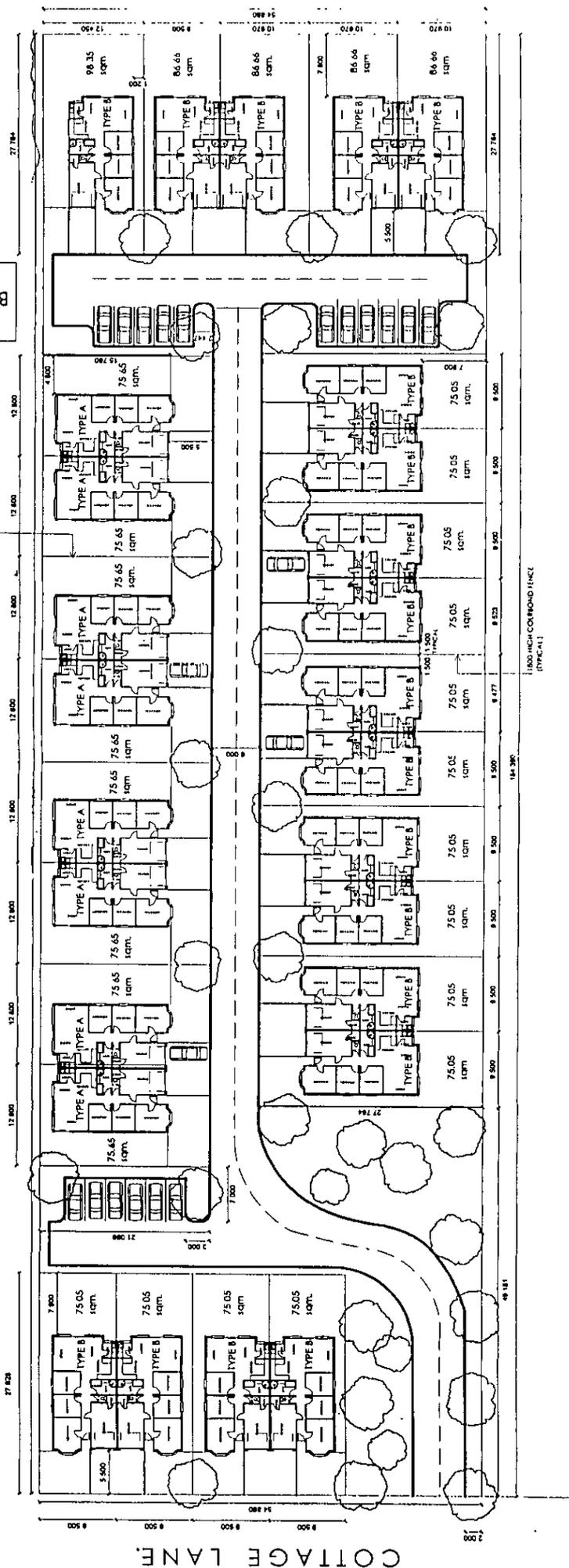
LOCATION & COMMON PROPERTY PLAN - COTTAGE LANE



SP 5306

FP 153021

BURKE STREET



COTTAGE LANE

Ref No	01-939
Scale	As Shown
Drawn by	S.K./B.A.
Checked	B.A.
Date	12/2008

STEVENSTONS
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 ACN 08310294
 New Homes - Additions - Renovations - Residential - Commercial

44 NELSON ST. STEWNEY, 5463
 PH. (08) 8363 7233
 FAX (08) 8343 4499
 Email - stevens@stevens.com.au
 Members of the N.I.A. M.E.A. & S.O.A.

REDEVELOPMENT OF SITE.
 COTTAGE LANE - HACKHAM

weeks peacock
QUALITY HOMES

712-714 South Rd.,
Glandore 5037
South Australia
Ph (08) 8297 0799
Fx (08) 8371 1153
Lic. No. G10238
A.C.N. 008 087 278

All steel framing to comply with
Aust Standard AS 1538
Roof Pitch subject to +/- 1°
degree tolerance
Refer to engineers report for all
structural elements
Control joints as specified by
engineer defined by
Plans subject to change in
accordance with engineers design
requirements ie. structural beams

UNIT 1
SITE PLAN

TRADE BART NO
PTY LTD
LOT 20
COTTAGE LANE
HACKHAM

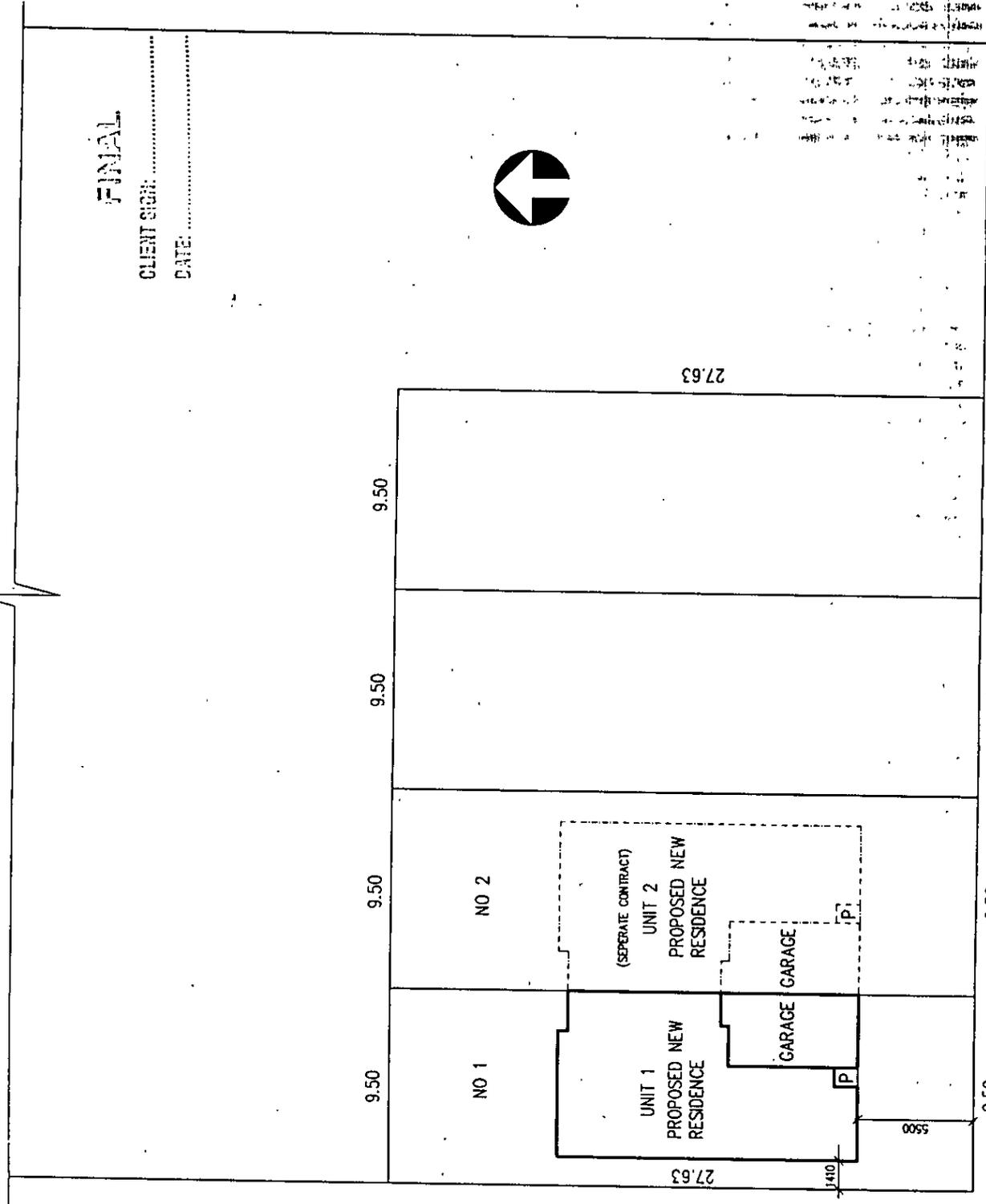
Job No. 1979	Scale 1:200
Date 12.9.02	Drawn JM
Sheet 1/6	Amendments

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take preference over scale.
Contractors to verify dimensions
prior to commencement of any
building work.
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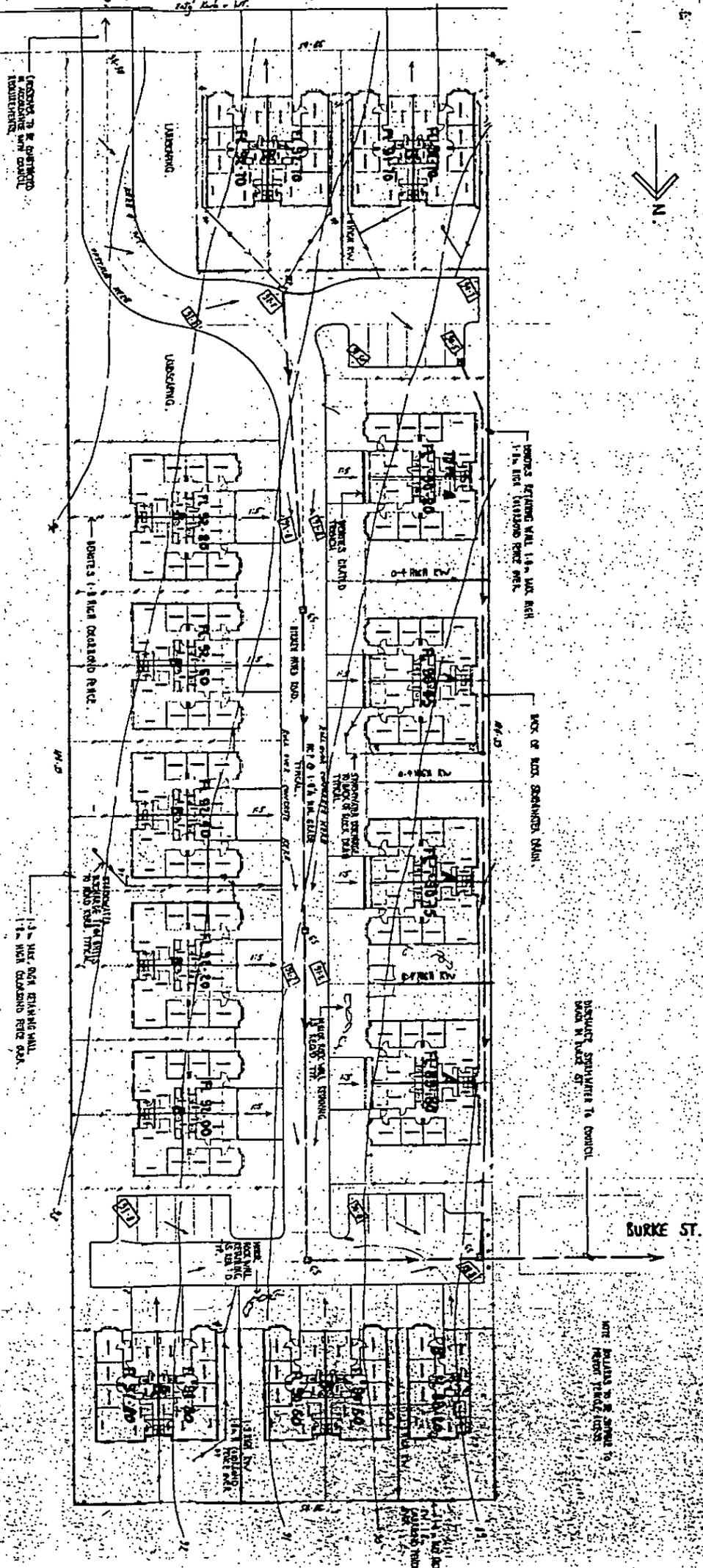
FINAL

CLIENT SIGN:

DATE:



COTTAGE LANE



SITE PLAN

SCALE: 1/8" = 1'-0"

REQUIRE SUPPLEMENT TO CONTROL

BURKE ST.

NOTE: REVISIONS TO BE SHOWN TO REPORT THROUGH

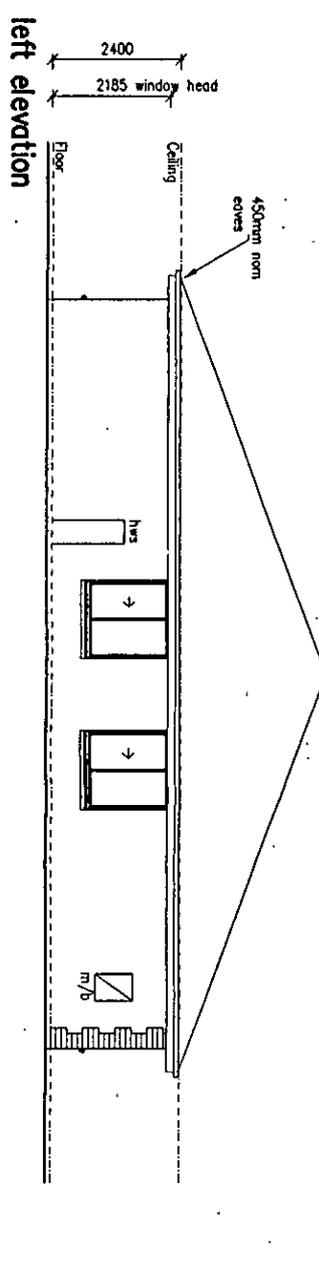
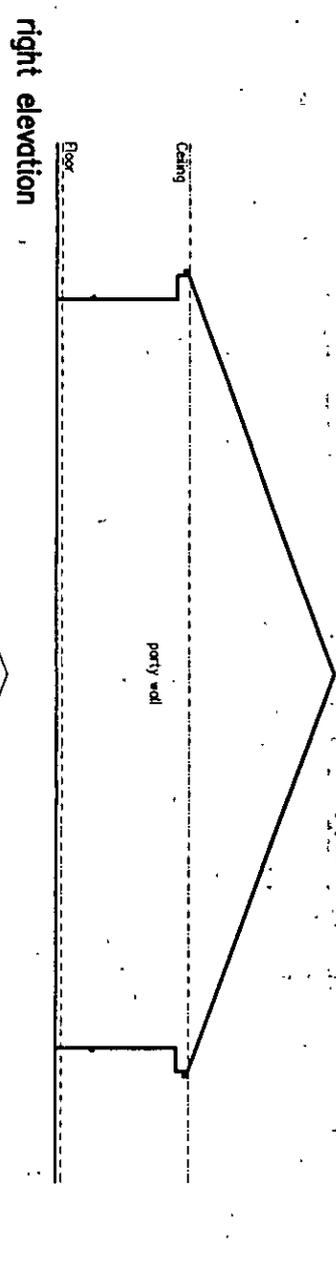
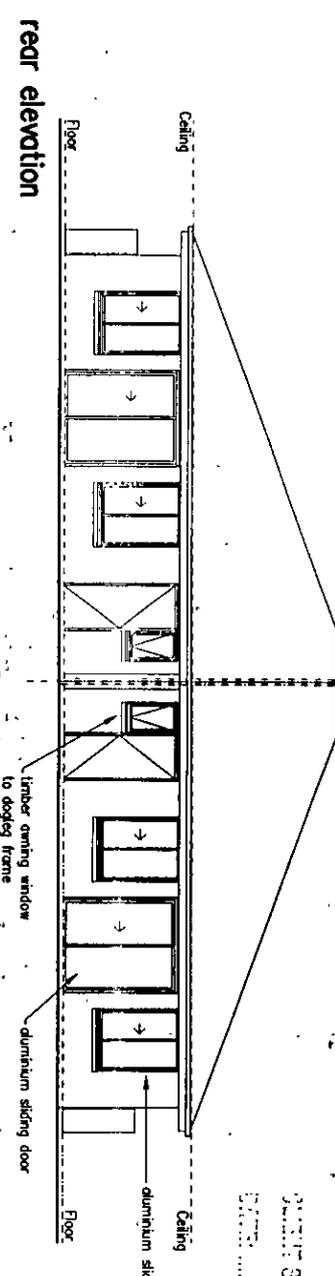
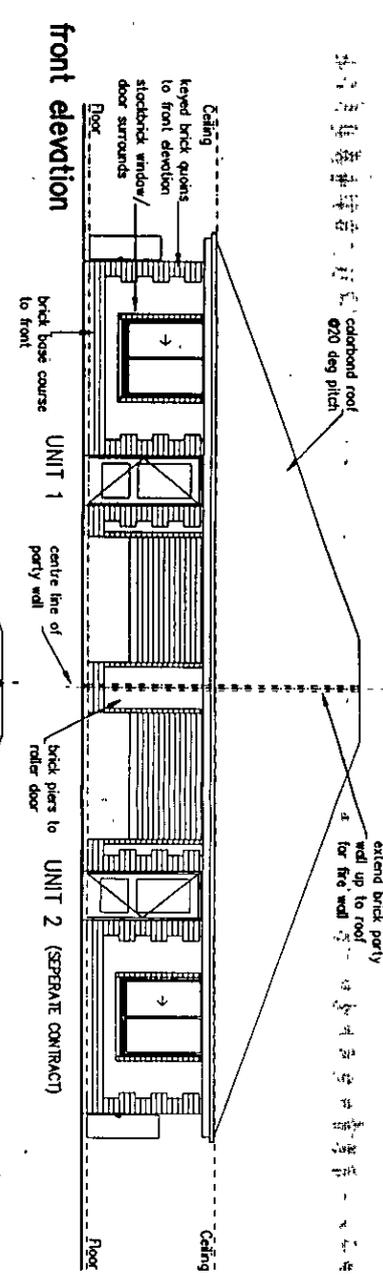
NOTE:
 PLAN PREPARED FOR PERMITS. PERMITS ARE NOT TO BE USED FOR CONSTRUCTION. PERMITS ARE TO BE OBTAINED FROM THE CITY OF CHICAGO. PERMITS ARE TO BE OBTAINED FROM THE CITY OF CHICAGO. PERMITS ARE TO BE OBTAINED FROM THE CITY OF CHICAGO.

Project No.	01-939
Scale	1/8" = 1'-0"
Date	9.4
Author	J
Check	26/3/2007

STEVENSTONS
 Construction Group
 41 MILLIKEN ST., STEVENAGE, SUFFOLK
 PH: (01938) 833373
 FAX: (01938) 414147
 Email: stevenstons@stevenstons.com
 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

REDYVEL CLIENT OF SITE
 COTTAGE LANE
 HACKHAM

Handwritten notes in Chinese characters, including "彩鋼板屋頂 720 度坡" (Color steel roof 720 degree pitch) and "延伸紅磚隔牆 上至屋頂 為防火牆" (Extend brick party wall up to roof for fire wall).



Weeks peacock QUALITY HOMES
 712-714 South Rd.
 Glandore 5037
 South Australia
 Ph (08) 8297 0799
 Fx (08) 8371 1153
 Lic. No. G10238
 A.C.N. 008 087 278
 All steel framing to comply with Aust Standard AS 1538
 Roof Pitch subject to +/- 1° degree tolerance
 Refer to engineer's report for all structural elements
 Control joints as specified by C1 engineer defined by:
 Plans subject to change in accordance with engineer's design requirements i.e. structural beams

UNIT 1 ELEVATIONS

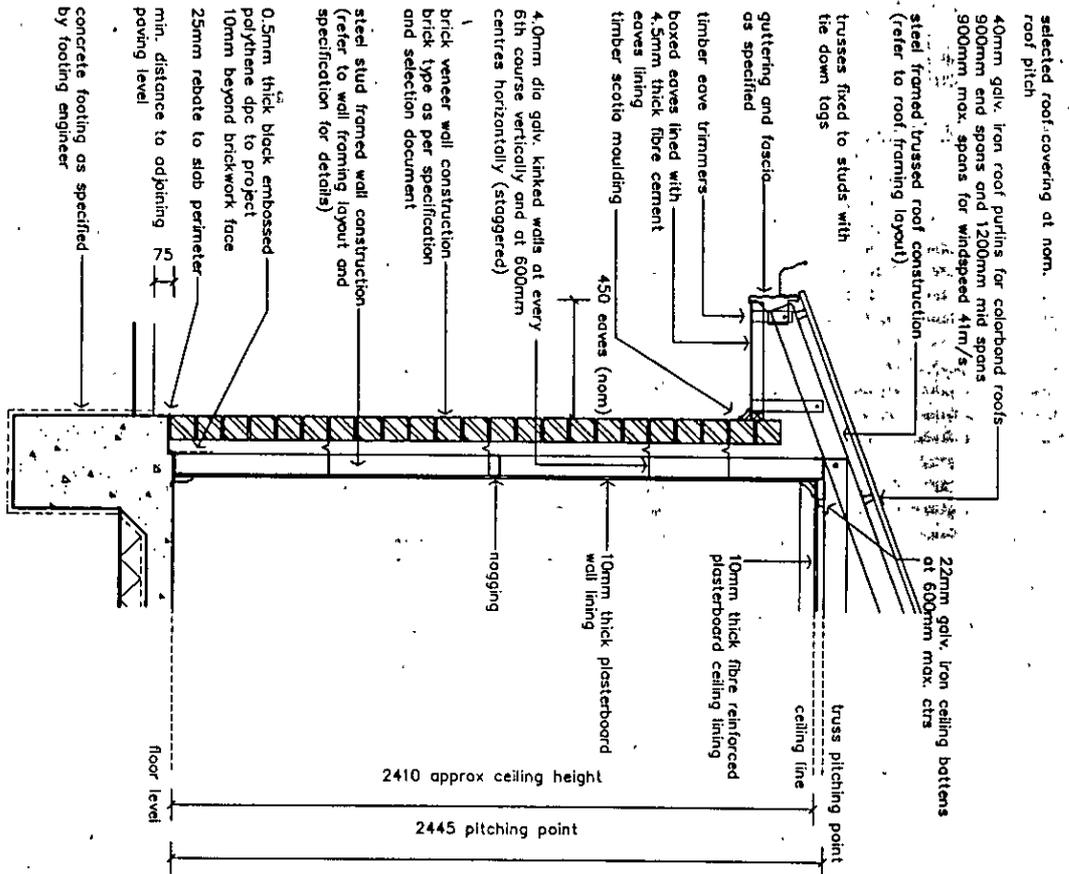
TRADE BART NO PTY LTD
 LOT 20
 COTTAGE LANE
 HACKHAM

Lab No. 1979	Scale 1:100
Date 12.9.02	D/gwn JM
Sheet 3/6	

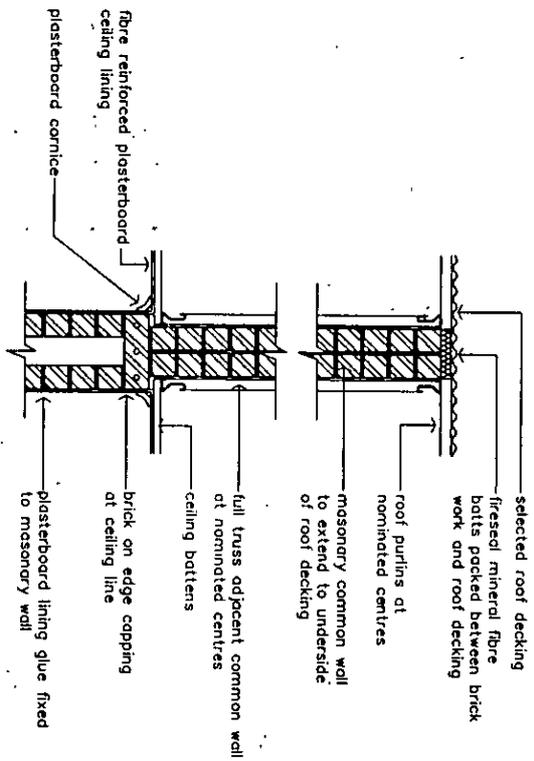
Amendments

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TYPICAL WALL SECTION
(MODULAR BRICK - COLORBOND ROOF)
scale 1:20



PARTY WALL DETAIL
SCALE: 1:10

CLIENT SIGN:
DATE:

Weeks peacock
QUALITY HOMES

712-714 South Rd.
Glendore 5037
South Australia
Ph (08) 8297 0799
Fx (08) 8271 1153
Lic. No. G10238
A.C.N. 008 087 278

All steel framing to comply with Aust Standard AS 1538
Roof Pitch subject to +/- 1° degree tolerance
Refer to engineers report for all structural elements as specified by CE engineer defined by P
Plans subject to change in accordance with engineers design requirements i.e. structural beams

SECTION

TRADE BART NO
PTY LTD
LOT 20
COTTAGE LANE
HACKHAM

Job No. 1979	Scale 1:100
Date 12.9.02	Drawn JM
Sheet 5/6	

Amendments

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Fx (08) 8371 1153
Lic. No. G10238
A.C.N. 008 087 278

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Roof Pitch subject to +/- 1° degree tolerance
Refer to engineers report for all structural elements
Control joints as specified by engineer defined by
Plans subject to change in accordance with engineers design requirements i.e. structural beams

ELECTRICAL PLAN

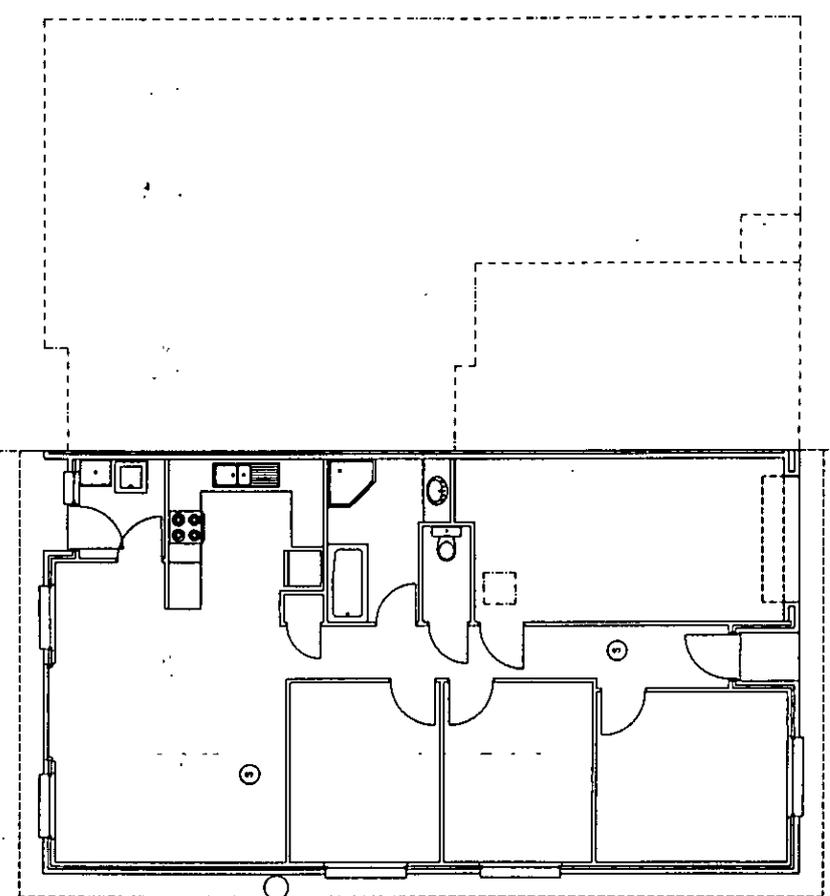
TRADE BART NQ
PTY LTD
LOT 20
COTTAGE LANE
HACKHAM

Job No. 1979
Scale 1:100
Date 12.9.02
Drawn JM
Sheet 4/6

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CLIENT SIGN: _____
DATE: _____



ELECTRICAL LEGEND & NOTATION

- light point
- 2-way
- 3-way
- dimmer
- downlight
- wall mounted light
- Ⓢ smoke alarm
- Ⓜ exhaust fan
- Ⓜ 1x20W flouro diffused
- Ⓜ 1x40w flouro diffused
- Ⓜ 2x40W flouro diffused
- ☎ phone point
- single GPO
- double GPO
- s/GPO 1100AFL
- d/GPO 1100AFL
- Ⓜ Ext external GPO
- Ⓜ ceiling fan
- Ⓜ ceiling fan with light
- Ⓜ IXL fan 3 switch
- Ⓜ IXL fan 5 switch
- Ⓜ TV point
- Ⓜ dishwasher
- Ⓜ rangehood
- Ⓜ microwave oven
- Ⓜ upright cooker
- Ⓜ spa
- Ⓜ air conditioning

SMOKE DETECTORS (IN ACCORDANCE WITH SAE 1.7) TO BE OF THE IONISATION TYPE AND HAVE HARD WIRED CONNECTION TO 240V AC ELECTRICAL SUPPLY AND HAVE 9V DC BACKUP

weeks peacock
QUALITY HOMES

712-714 South Rd.,
Glandore, 5037
South Australia
Ph (08) 8297 0799
Fx (08) 8371 1153
Lic. No. C10238
A.C.N. 008 087 278

All steel framing to comply with
Aust Standard AS 1538
Roof Pitch subject to +/- 1°
degree tolerance
Refer to engineers report for all
structural elements
Control joints as specified by
engineer defined by
Plans subject to change in
accordance with engineers design
requirements i.e. structural beams

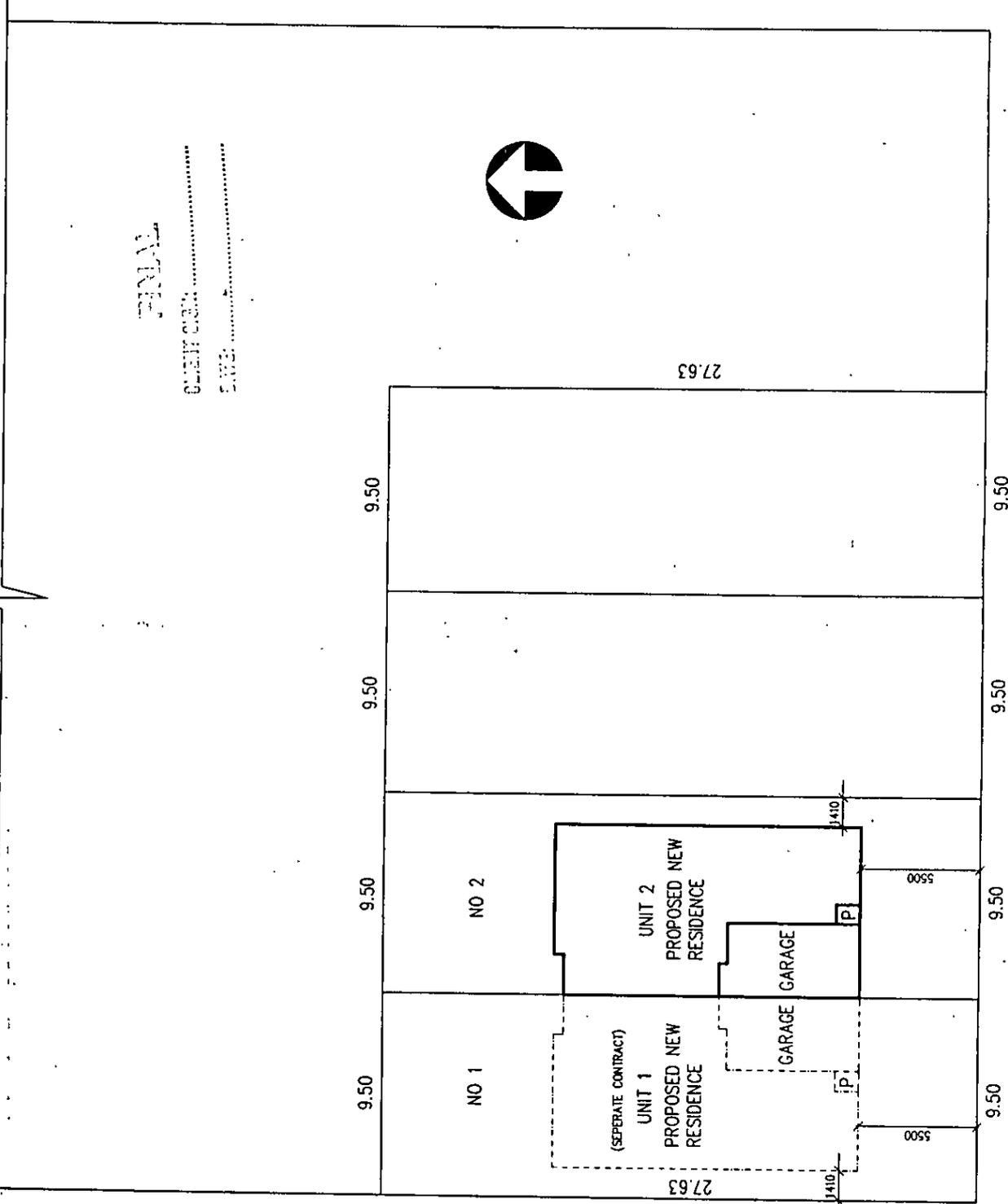
UNIT 2
SITE PLAN

TRADE BART NQ
PTY LTD
LOT 20
COTTAGE LANE
HACKHAM

Job No. 1980	Scale 1:200
Date 12.9.02	Drawn JM
Sheet 1/6	

Amendments

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take preference over scale.
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prior to commencement of any
building work.
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Homes. Any reproduction without
prior written authority is strictly
prohibited. Copyright ©



FINAL

CHEFF CROZ
SWS

9.50

9.50

9.50

9.50

NO 2

NO 1

UNIT 2
PROPOSED NEW
RESIDENCE

GARAGE

GARAGE

(SEPARATE CONTRACT)
UNIT 1
PROPOSED NEW
RESIDENCE

GARAGE

27.63

27.63

1.40

1.40

5.50

5.50

9.50

9.50

9.50

9.50

COTTAGE LANE

WECK
QUALITY HOMES

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Glendore 5037
South Australia
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Lic. No. G10238
A.C.N. 008 087 278

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Refer to engineers report for all structural elements
Control joints as specified by CJ
Plugs as defined by
Plugs subject to change in accordance with engineers design requirements i.e. structural beams

Roof Material COLORBOND
Roof pitch (deg) 20
Ceiling Height 2400
Eaves Width 450
(min nominal)
Window Head Height 2210/2130 (Frame Dimension)

NOTES: HOUSE DESIGN OWNERS PLAN
SPECIFICATION DESIGNER
MODULAR BRICK 290X90X30
BRICK BASE COURSE TO FRONT
KEYED BRICK COURSE TO FRONT
STACKBRICK WINDOW/DOOR SURROUNDS TO FRONT
INSULATION EXTERNAL WALLS R1.5

**UNIT 2
FLOOR PLAN**

TRADE BART NQ
PTY LTD
LOT 20
COTTAGE LANE
HACKHAM

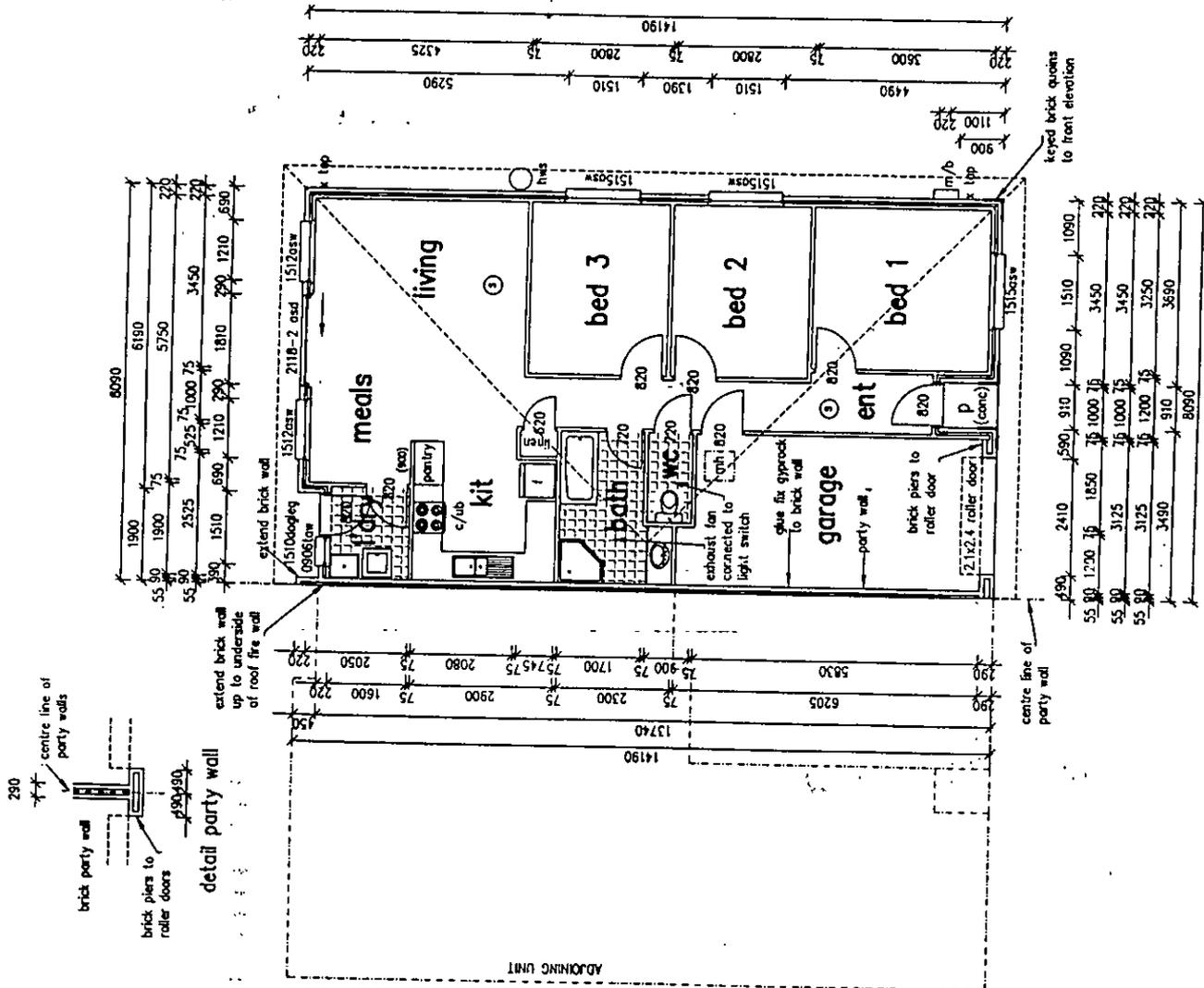
Job No. 1980	Scale 1:100
AREAS M2	Date 12.9.02
LIVING 92.18	Drawn JM
GARAGE 20.76	Sheet 2/6
PORCH 1.1	
TOTAL 114.04	

Amendments

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GENERAL NOTES

- x Extend wall mounted taps to be fixed 600mm above brick rebate
- ⊕ Man Hole to be trimmed on site (position is nominal only)
- ⊙ Hard wired smoke detector with battery back up
- ⊖ Laundry troughs to paint sliding doors to have min. 150mm gap
- ⊕ Tied hobs to all showers



Weeks Peacock
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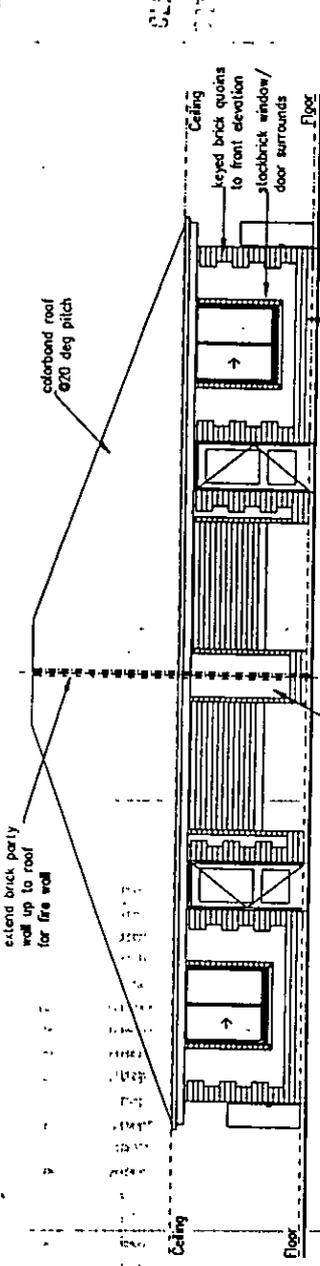
UNIT 2
ELEVATIONS

TRADE BART NQ
 PTY LTD
 LOT 20
 COTTAGE LANE
 HACKHAM

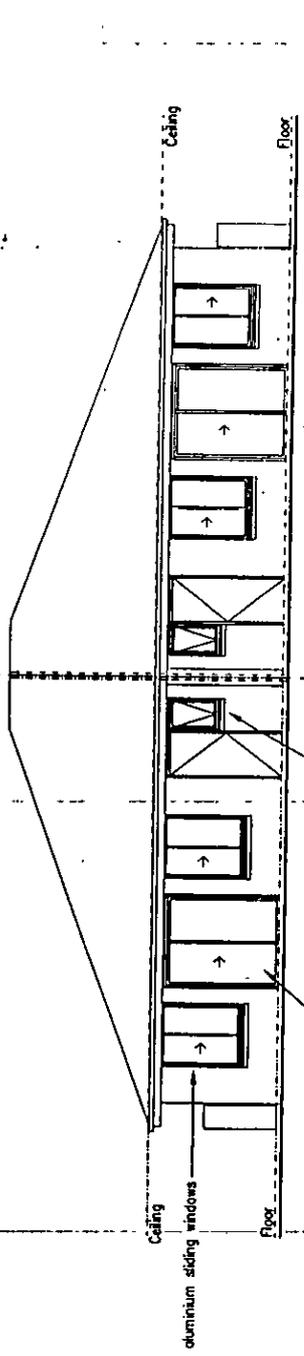
Job No. 1980	Scale 1:100
Date 12.9.02	Drawn JIM
Sheet 3/6	

Amendments

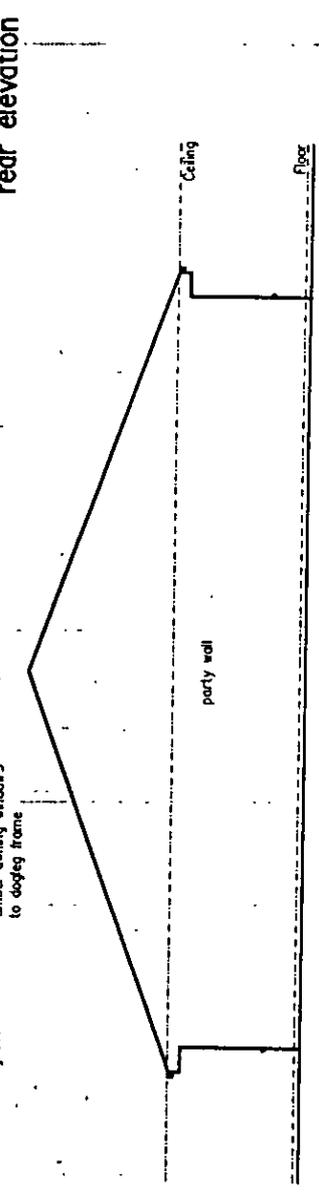
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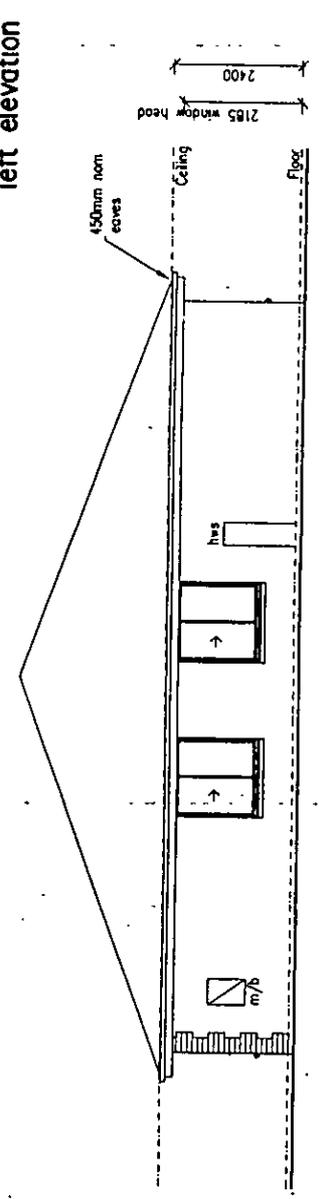
front elevation



rear elevation



left elevation



right elevation

Weeks peacock
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 712-714 South Rd.,
 Glendore 5037
 South Australia
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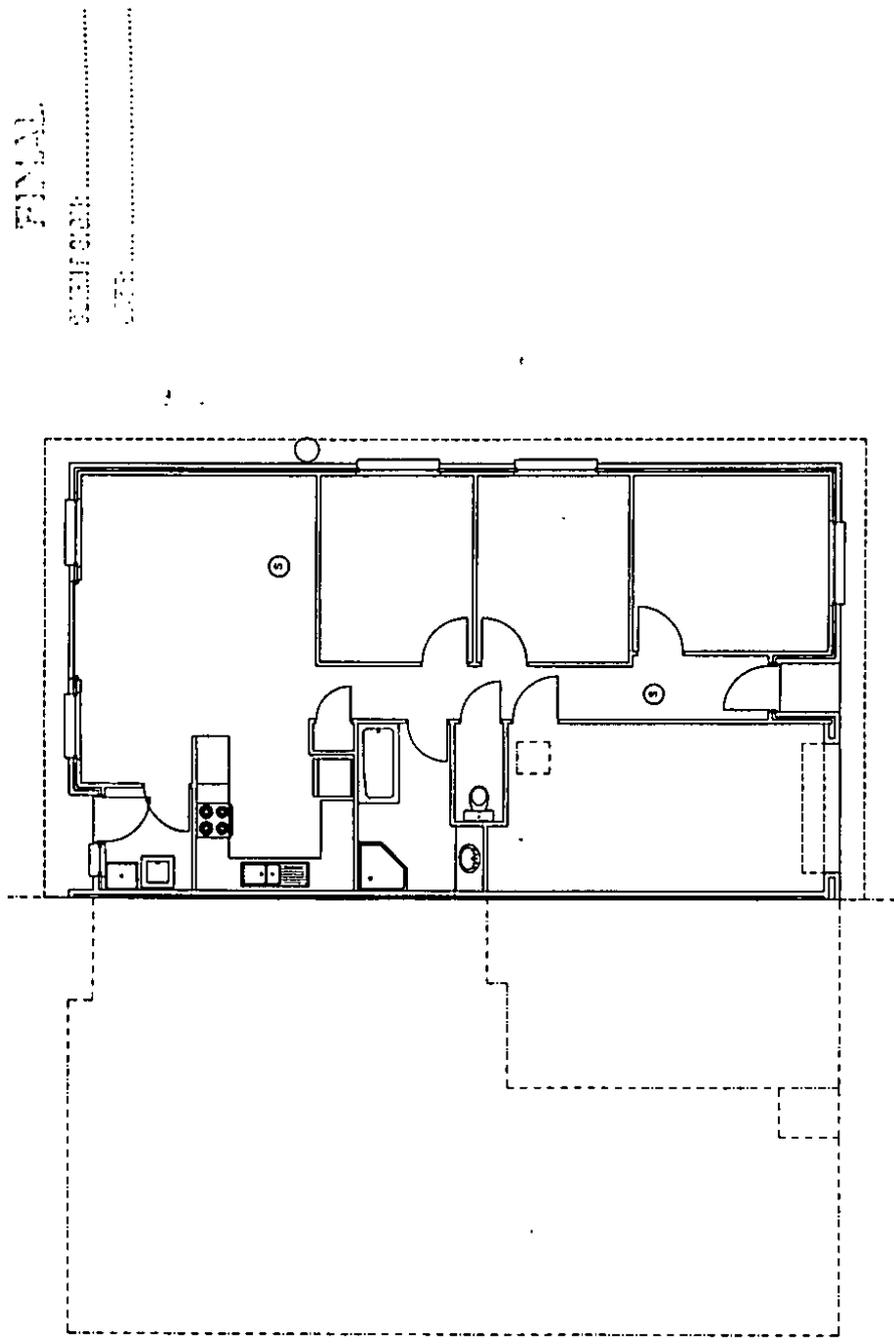
ELECTRICAL PLAN

TRADE BART NQ
 PTY LTD
 LOT 20
 COTTAGE LANE
 HACKHAM

Job No. 1980	Scale 1:100
	Date 12.9.02
	Drawn JM
	Sheet 4/6

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FINAL

DATE

ELECTRICAL LEGEND & NOTATION

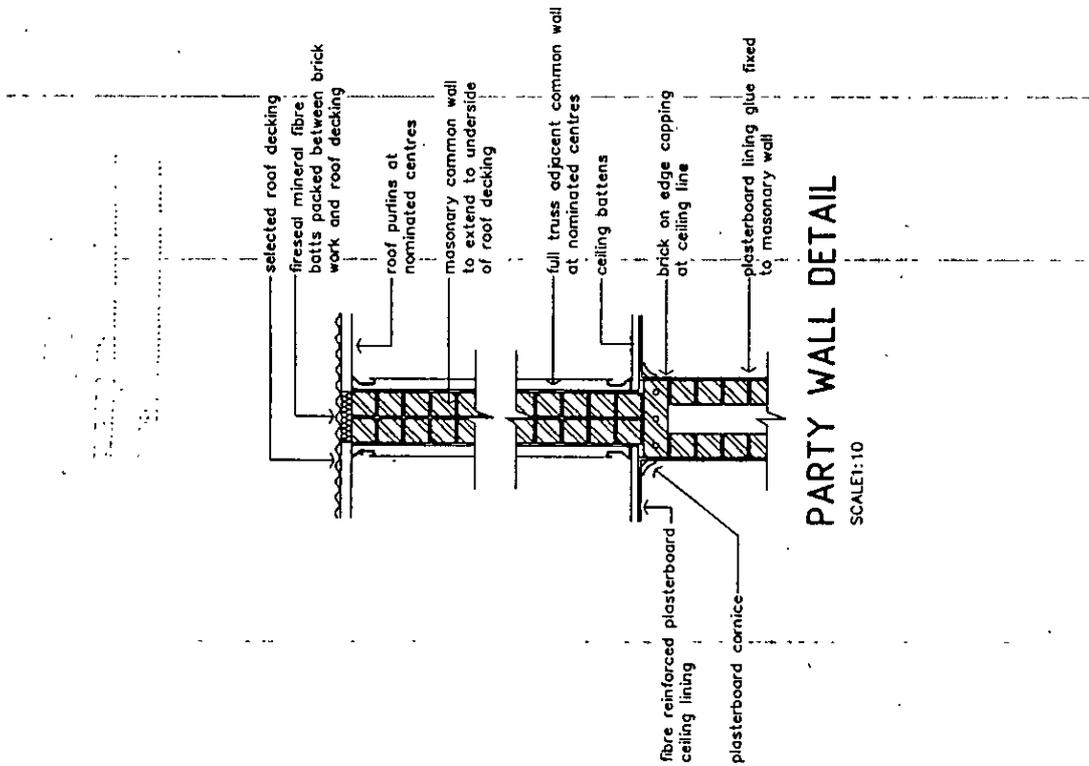
SMOKE DETECTORS (IN ACCORDANCE WITH SAE 1.7) TO BE OF THE IONISATION TYPE AND HAVE HARD WIRED CONNECTION TO 240V AC ELECTRICAL SUPPLY AND HAVE 9V DC BACKUP

- light point
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- ⊖ upright cooker
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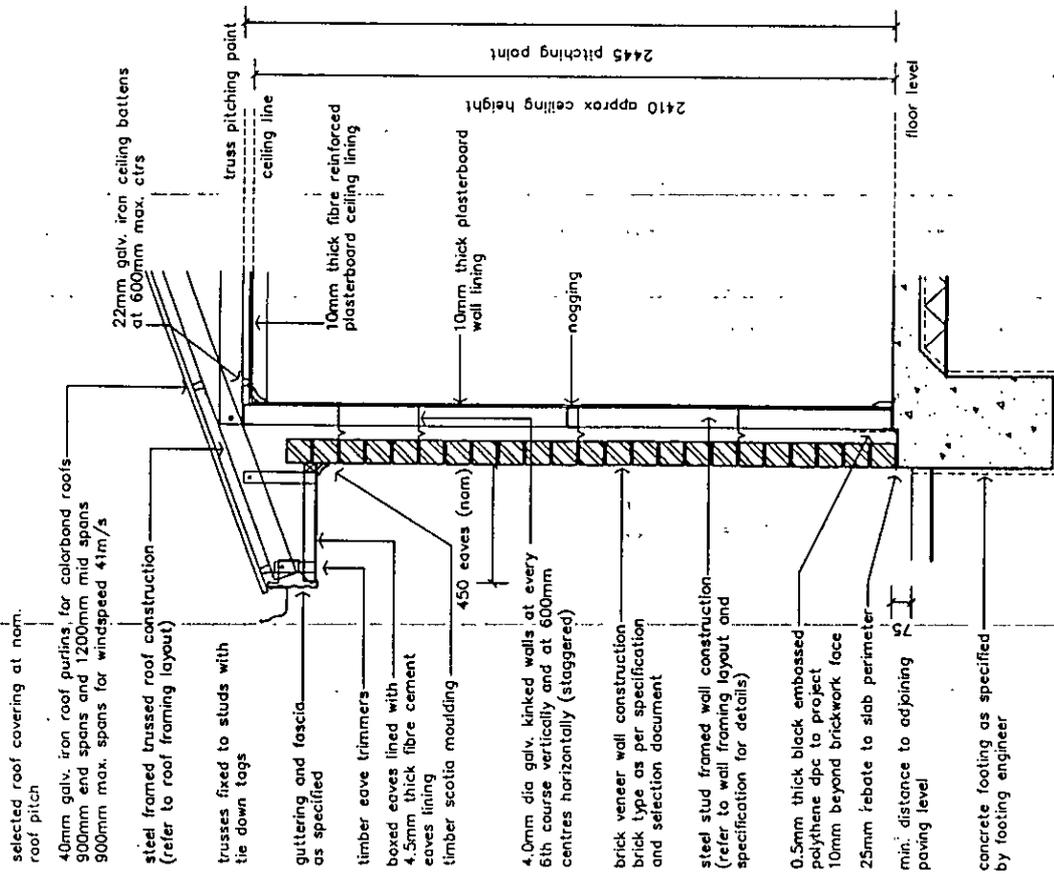
Weeks peacock
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 South Australia
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 Control joints as specified by engineers defined by Plans subject to change in accordance with engineers design requirements i.e. structural beams



PARTY WALL DETAIL
 SCALE 1:10



TYPICAL WALL SECTION
 (MODULAR BRICK - COLORBOND ROOF)
 scale 1:20

SECTION

TRADE BART NQ
 PTY LTD
 LOT 20
 COTTAGE LANE
 HACKHAM

Job No. 1980
 Scale 1:100
 Date 12.9.02
 Drawn JM
 Sheet 5/6

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Refer to engineers report for all structural elements as specified by CU
Control joints as specified by engineer defined by CU
Plans subject to change in accordance with engineers design requirements i.e. structural beams

Wet Area Notations

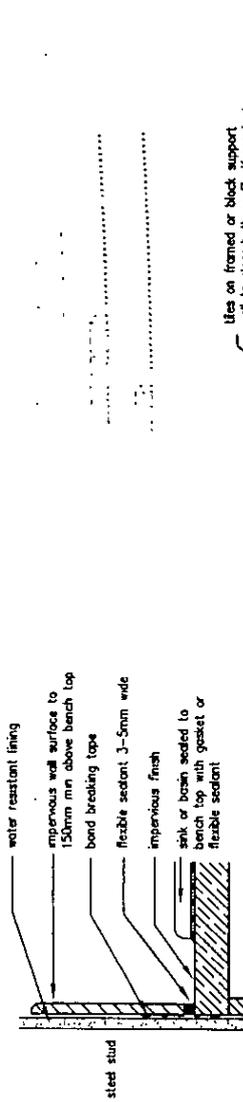
to comply with Ministers specification requirements of BCA SA F1.7 and SA Housing Code
SHOWER AREA (Cat. 1)
Floor - impervious with shower tray or base
Drainage - 1:80 min grade to shower trap. Shower trays drained to flange in shower trap
BATH AND LAUNDRY
Floor - impervious
Drainage - BATH - 1:80 min to floor trap. May be drained to shower trap where hob not used.
Drainage - LORY - 1:80 min to trap
SINGLE ROOM CONTAINING WC
Floor - impervious
Drainage - no requirement
NOTE: flooring to be of impervious floor sheeting or similar approved flooring as specified

TRADE BART NQ
PTY LTD
LOT 20
COTTAGE LANE
HACKHAM

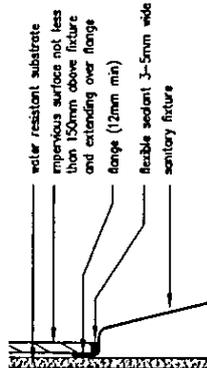
Job No. 1980	Scale 1:100
Date 12.9.02	Drawn JM
Sheet 6/6	

Amendments

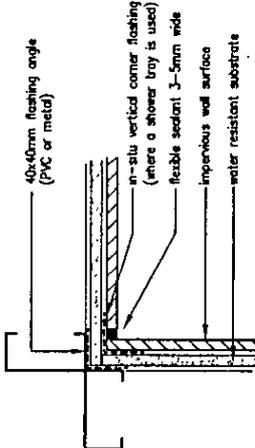
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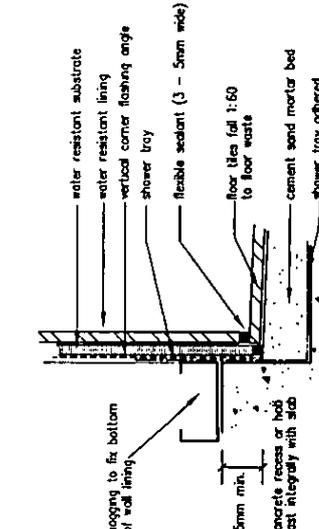
wall and bench top junction with inset fixture



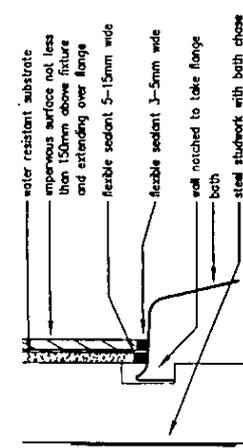
sanitary fixtures abutting walls



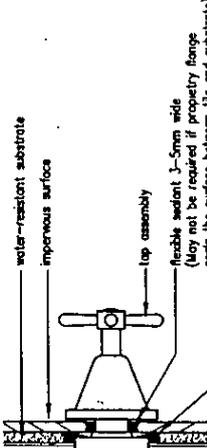
steel/steel wall junction



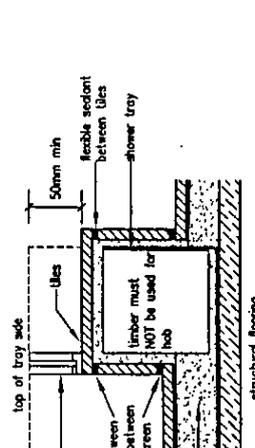
waterproofing of shower wall and floor junctions



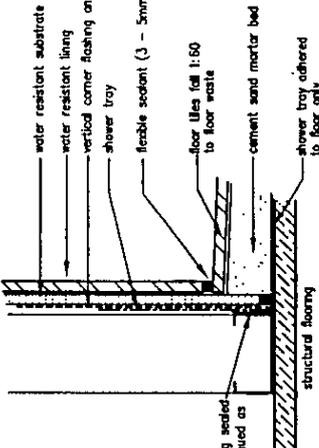
bath chase detail



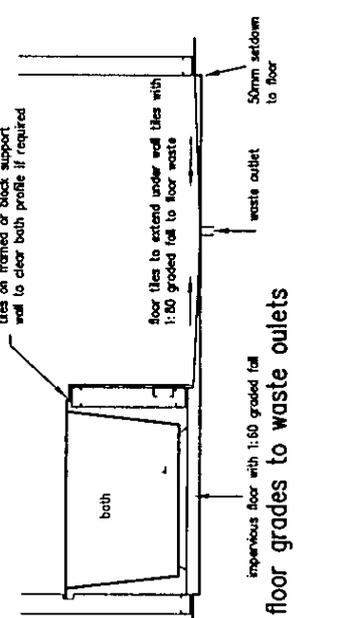
penetrations through walls in shower areas



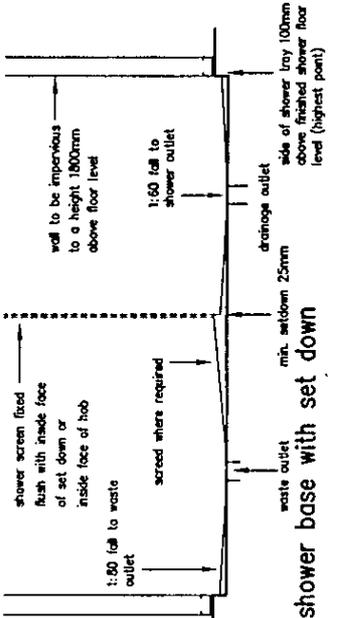
hob at shower tray



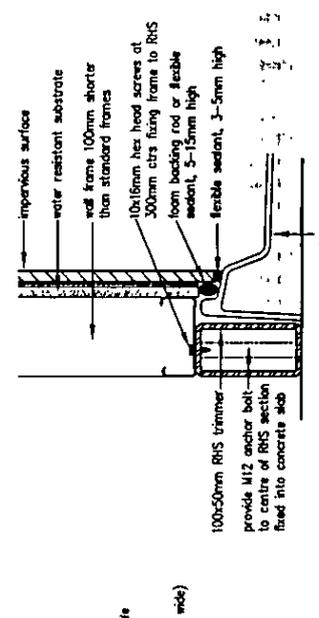
shower tray on sheet floor



floor grades to waste outlets



shower base with set down



waterproofing of shower floor using shower base



**City of
Onkaparinga**

15 May, 2002

Steventons Construction Group Pty Ltd
44 Nelson St
STEPNEY SA 5069

Dear Sir/Madam

Development Application No.	: 145/1113/2002/1A
Proposed Development	: Unit Development (27 Dwellings & Garages)
Location of Proposed Development	: 57 Cottage Lane, HACKHAM SA 5163
Property Identification	: Alt 20 Sec 26 FP 153006
Provisional Development Plan Consent	

Please find enclosed a Decision Notification Form in respect to the above-mentioned application. You will note that only Provisional Development Plan Consent has been issued and that conditions have been attached to this consent.

I advise that pursuant to Section 86(1) of the Development Act, 1993 you have the right of appeal to the Environment, Resources and Development Court, against any conditions which have been imposed on this consent. Pursuant to the provisions of Section 86(4) of the Development Act, 1993 any such appeal should be lodged with the Environment, Resources and Development Court within 2 months after the applicant receives notice of the decision, unless the Court in its discretion allows an extension of time.

The Environment, Resources and Development Court is located in the Sir Samuel Way Building, Victoria Square, Adelaide 5000 (Postal Address, GPO Box 2465, Adelaide SA 5001).

I also confirm that as only Provisional Development Plan consent has been granted, no work can commence on this development until Provisional Building Rules consent and Development Approval has been obtained.

Please be advised that this consent will lapse twelve months after the operative date of the decision if the applicant has not commenced the approved development by way of substantial work on the site. If for good reason such work cannot commence within this twelve-month period, Council may prior to the end of the period, grant an extension of time to the consent.

Should you require any further information or assistance, do not hesitate to contact me.

Yours faithfully

Rebecca Rutschack
AUTHORISED OFFICER

attach

cc

Tradebart Nq Pty Ltd, 1st Floor, 70 Anzac Highway, EVERARD PARK SA 5035

Date Printed May 15, 2002

■ **Contacts**
Phone (08) 8384 0666
mail@onkaparinga.sa.gov.au
www.onkaparingacity.com

■ **Postal address**
PO Box 1
Noarlunga Centre
South Australia 5168

■ **Noarlunga office**
Ramsay Place
Noarlunga Centre
Fax (08) 8382 8744

■ **Aberfoyle Park office**
The Hub
Aberfoyle Park
Fax (08) 8270 1155

■ **Willunga office**
St Peters Terrace
Willunga
Fax (08) 8556 2641

CITY OF ONKAPARINGA

DEVELOPMENT NOTIFICATION FORM

South Australia - Regulations Under the Development Act, 1993 - Regulation 42

**DEVELOPMENT
NUMBER**

145/1113/2002/1A

FOR DEVELOPMENT APPLICATION **DATED:** 27-Mar-2002
REGISTERED ON: 03-Apr-2002

TO:	Steventons Construction Group Pty Ltd 44 Nelson St STEPNEY SA 5069
------------	--

PROPERTY INFORMATION

PROPERTY DESCRIPTION	Alt 20 Sec 26 FP 153006
PROPERTY ADDRESS	57 Cottage Lane, HACKHAM SA 5163
CERTIFICATE(S) OF TITLE	CT-5394/915

NATURE OF PROPOSED DEVELOPMENT

Unit Development (27 Dwellings & Garages)

In respect of this proposed development you are informed that:

TYPE OF DECISION	DECISION	NUMBER OF CONDITIONS
PROVISIONAL DEVELOPMENT PLAN CONSENT	Granted	16
PROVISIONAL BUILDING RULES CONSENT		
DEVELOPMENT APPROVAL		

No work can commence on this development unless a Development Approval has been obtained. If one or more consents have been granted on this Notification Form, you must not start any site works or building work or change the use of the land until you have also received notification of a Development Approval.

Date of Decision: 15-May-2002	<input type="checkbox"/> Development Assessment Commission or Delegate
Signed:	<input checked="" type="checkbox"/> Council Chief Executive Officer or Delegate
Date: 15-5-02	<input type="checkbox"/> Private Certifier
	<input checked="" type="checkbox"/> Sheets Attached

DEVELOPMENT APPLICATION NUMBER : 145/1113/2002/1A
APPLICANT : Steventons Construction Group Pty Ltd
LOCATION : 57 Cottage Lane, HACKHAM SA 5163
PROPOSED DEVELOPMENT : Unit Development (27 Dwellings & Garages)
DECISION : Provisional Development Plan Consent
DATE OF DECISION : 15-May-2002

PROVISIONAL DEVELOPMENT PLAN CONSENT
Conditions of Consent by Council

1. All development shall be completed in accordance with the plan(s) and documents submitted with and forming part of the Development Application except where varied by the following condition(s).
2. The dwelling shall not be occupied until all necessary infrastructure has been provided to the site of the dwelling, including but not limited to a formed and sealed road and watertable, water supply and sewerage services, drainage/stormwater disposal and electricity services.
3. The front setback area (between the front property boundary and front of the dwellings) shall be planted with suitable trees, shrubs, lawn and/or ground cover. Such landscaping shall be completed within 6 months of the occupation of the dwelling and maintained in good condition at all times.
4. All plants, shrubs, trees and lawn and/or ground cover shall be maintained in good condition at all times. Any diseased or dying plants, shrubs, trees or lawn and/or ground cover shall be replaced whenever necessary.
5. That the landscaping as detailed in plans Reference Number 02-939 Dated 2/05/02 shall be established prior to the occupation of the development and shall be maintained in good condition at all times. Any diseased or dying vegetation shall be replaced whenever necessary.
6. The driveway and carparking areas shall be paved or surfaced, drained and marked to accepted engineering standards prior to the occupation of the development and shall be maintained in good condition at all times.
7. The road and driveway crossover between the back of kerb and the boundary shall be shaped to provide a minimum width of 2.0 metres on local roads measured from behind the back of kerb with 2.5 per cent fall towards the road, suitable for pedestrian traffic.
8. All stormwater discharged from the development shall be connected to the Council underground stormwater drainage system on (SEP in Burke Street) via pipes. The design and construction of the stormwater system and connection to the Council drain shall be approved by Council.
9. All stormwater discharged from the allotments fronting Cottage Lane shall be directed to the street water table or connected to rear of allotment drain to the satisfaction of Council prior to the occupation of the development.
10. All stormwater drainage shall discharge so that it does not flow or discharge onto land of adjoining owners or in the opinion of Council detrimentally affect structures on this site or any adjoining land.
11. All driveways to properties on the low side of the road shall be designed and constructed so that the driveway is a minimum of 75mm above the top of the adjoining kerb and any road water is channelled back into the gutter.

12. A Soil Erosion and Drainage Management Plan (SEDMP) prepared in accordance with the "Stormwater Pollution Prevention Code of Practice for the Building and Construction Industry", issued by the EPA shall be prepared and put in place prior to the commencement of any site works and shall include but not be restricted to a temporary construction exit and silt fences. The measures are to prevent silt from being washed from the site to the road and mud from being transported onto the road on the wheels of vehicles. These silt control measures shall be maintained in good working order during construction. These soil erosion measures shall remain in place until all disturbed surfaces are sealed or suitably revegetated in a manner to prevent erosion.
13. The fencing is to extend for the length of the allotment boundaries adjacent to Burke Street.
14. The bollards adjacent to Burke Street are to be spaced at intervals of 1.2 metres.
15. Detailed stormwater design details are to be submitted for Council approval prior to issue of Development Approval.
16. That effective measures be implemented during the construction of the development and on-going use of the land in accordance with this consent to:
 - prevent silt run-off from the land to adjoining properties, roads and drains;
 - control dust arising from the construction and other activities, so as not to, in the opinion of Council, be a nuisance to residents or occupiers on adjacent land;
 - ensure that soil or mud is not transferred onto the adjacent roadways by vehicles leaving the site;
 - ensure that all litter and building waste is contained on the subject site in a suitable bin or enclosure; and
 - ensure that no sound is emitted from any device, plant or equipment or from any source or activity to become an unreasonable nuisance, in the opinion of Council, to the occupiers of adjacent land.

Note(s):

1. Collection of garbage within the development is subject to negotiation with Councils Waste Management section.
2. Allotment boundaries will not be certified by Council staff. The onus of ensuring that the building is sited in the approved position on the current allotment is the responsibility of the owner. This may necessitate a survey being carried out by a licensed land surveyor.
3. Retaining walls constructed to retain a difference in ground levels exceeding (1) metre in height require development approval.
4. Any fencing to be constructed on a retaining wall where the overall height exceeds 2 metres requires approval.



Rebecca Rutschack
AUTHORISED OFFICER

Dated: 15/5/02

Form LF1

Orig. **LF 9681928**



14:17 16-Sep-2003
4 of 4 Fees: \$0.00

**LANDS TITLES REGISTRATION
OFFICE
SOUTH AUSTRALIA**

**LODGEMENT FOR FILING UNDER THE
COMMUNITY TITLES ACT 1996**

FORM APPROVED BY THE REGISTRAR-GENERAL

BELOW THIS LINE FOR AGENT USE ONLY

SERIES NO.	PREFIX
<i>94</i>	LF

AGENT CODE

Lodged by:
Citystate Conveyancing ALS7

Correction to:
Citystate Conveyancing ALS7

TITLES, CROWN LEASES, DECLARATIONS ETC. LODGED WITH INSTRUMENT (TO BE FILLED IN BY PERSON LODGING)

- 1.....
- 2.....
- 3.....
- 4.....
- 5.....

BELOW THIS LINE FOR OFFICE USE ONLY

Date:	Time:
FEES	
R.G.O.	POSTAGE
94	

SEE SHEET 1 FOR REGISTRATION
FEE \$94.00

Assessor

PICK-UP NO.	
CP	
DEV. NO.	

Ex 11

CORRECTION <i>26-9-03</i>	PASSED <i>[Signature]</i>
------------------------------	------------------------------

DELIVERY INSTRUCTIONS (Agent to complete)
PLEASE DELIVER THE FOLLOWING ITEM(S) TO THE
UNDERMENTIONED AGENT(S)

FILED *7-11-2003*

[Signature]
pro 
REGISTRAR-GENERAL

ITEM	AGENT CODE

Terms of Instrument not.
Checked by the Lands Titles Office



Development Contract

Development No. ~~145/C022/022-01~~

145/C022/02-01



LANDS TITLE 16/05 12 09/10 162999
REGISTRATION FEE 294.00

DEVELOPMENT CONTRACT

COMMUNITY PLAN NO 21926



Allotment 20
57 Cottage Lane Hackham

**Terms of Instrument not
Checked by the Lands Titles Office**

**Development Contract
Development No.145/CO22/02 - 91**

COMMUNITY TITLES ACT 1996

COMMUNITY DEVELOPMENT CONTRACT

This contract contains details of a community scheme, which is proposed to be developed on the land described herein.

This contract should not be considered alone but in conjunction with the results of searches and enquires normally made in respect of lots of this type. The Scheme Description and By-Laws lodged at the Lands Title Office set out further details of the Scheme the management rules government the scheme and provide details of the rights and obligations of lot owners under the Scheme.

Further particulars about the details of the scheme are available from the City of Onkaparinga Council Development No. 145/1113/2002/1A as approved modified or amended by the consent of authorities from time to time.

DESCRIPTION OF LAND TO BE DEVELOPED UNDER THE SCHEME AND NATURE OF PROPOSED DEVELOPMENT

THE LAND:

The whole of the land comprised in Certificate of Title Register Book Volume 5394 Folio 915 being the property know as Allotment 20 Cottage Lane Hackham.

THE DEVELOPMENT:

The development will comprise Twenty Seven (27) community lots of single storey dwellings and One common lot (the Common Property). The Common Property C1 is for access to lots 1-27 and to visitor car parks for lots 1-27.

The dwellings will have a brick-timber cladding finish with ccolor bond roofs. Each dwelling will have a garage under the main roof, with room for a visitor car park behind the garage entrance.

The common Property will be paved and landscaped.

STAGING OF DEVELOPMENT:

The Scheme is a staged development.

Stage One will comprise Community lots 1-6 and lots 26 & 27 and two (2)Community lots. Stage One of the development will be undertaken and completed by the developer with progressive completion of all the proposed improvements.

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Stage Two of the development will comprise community lots 7- 10 Inclusive and 20-25 inclusive and One (1) Community Lot. Stage two of the development will be undertaken and completed by the developer with progressive completion of all the proposed improvements.

Stage Three of the development will comprise Community Lots 11- 19 inclusive. Stage three will be undertaken and completed by the developer with progressive completion of all the proposed improvements.

The Order of completion of work on each allotment of each stage will be arranged as required by the developer and may not be in any specific order.

DEVELOPMENT AUTHORISATION:

Development Approval has been received for the Scheme.

DEVELOPER TO USE CARE AND CONSIDERATION DURING DEVELOPMENT:

The developer undertakes to exercise care and consideration to ensure other proprietors of lots within the scheme do not suffer unreasonable interference or lack of enjoyment of the lots and Common Property during the completion of the developer's obligations under this contract.

DEVELOPER TO REPAIR:

The developer undertakes to repair or to pay the costs of repairing as soon as is reasonably possible any damage caused by the developer himself, his agents, contractors and employees improvement on the common property or lot.

PLAN OF PROPOSED LOTS AND COMMON PROPERTY:

The developer has obtained approval of the division of land. A plan is attached and is identified as Annexure "A", which delineates the approximate boundaries of each lot and common property

DETAILS OF ACCESS REQUIRED BY DEVELOPER:

Access to the scheme will be required by the developer to carry out preparation of the site, construction repair and maintenance. The developer reserves the right for himself, his agents, contractors and employees to pass over the common property by any means including vehicles to gain access during construction and to carry out construction repair or maintenance.

OBLIGATIONS OF COMMUNITY CORPORATION AND OTHER OWNERS:

The community Corporation and other owners shall allow the developer, the developer's agents, contractors and employees access as required during the course of construction repair or maintenance to enable the obligations of the developer to be completed as required.

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WORKING HOURS:

The hours during, which work will be undertaken on the scheme, will be between 7:00 am and 7:00 pm Monday to Saturday. In the event that urgent or essential work is required to be carried out at times other than set out in this clause the developer shall seek the approval of other owners in the scheme. Such approval to complete the necessary work is not to be capriciously withheld.

ESTIMATED DATE FOR THE COMPLETION OF THE SCHEME:

The developer is to use its best endeavours to complete all works on the scheme as follows:-

- Stage 1 by ~~30th June 2003~~ 31st DECEMBER 2003.
- Stage 2 by ~~31st March 2004~~ 30th SEPTEMBER 2004
- Stage 3 by ~~31st December 2004~~ 30th JUNE 2005.

LOCATION, DIMENSIONS, DESIGN, MATERIALS OF CONSTRUCTION ETC:

Indicative plans showing how the buildings will be located on each community Lot and proposed elevations for each type of dwelling are attached to this contract.

The dwellings will have a brick-timber cladding finish with color Bond Iron roofs.

The approximate dimensions of the buildings on each allotment are shown on the plans forming part of this Development Contract.

LANDSCAPING OF COMMON PROPERTY:

The developer is to pave and landscape the Common Property using shrubs ground cover etc. identified by the developer as being suitable for planting within the scheme.

Further particulars about the details of this Scheme may be available from the city of Onkaparinga Council Development No. 145/113/2002/1A

Dated this 24 day of October 2002.

EXECUTION BY THE DEVELOPER:

The Common Seal of Tradebart NQ Pty Ltd
Was hereunto affixed in the presence of

.....
Sole Director/Secretary

Full Name James Walter Kellie
76 Anzac Highway
Everard Park SA 5035



Code Amendment register

We've found **22** Code Amendments that match your search.

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- Form 1 refers to the status of a code amendment for the purpose of completing the Form 1. Refer to [glossary](#) for further information.
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Initiation Date

From

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To

dd / mm / yyyy

Code Amendment (CA) ID

Code Amendment (CA) Title

Type

Status

Local Government Area (LGA)

Show code amendments on consultation

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CA ID	CA Title	Proponent	Type	Initiation Date	LGA	Status	Form 1
10882	Sellicks Beach Growth Area Joint Amendment	Chief Executive, Department for Housing and Urban Development	CE Led	21 August 2025	Onkaparinga	Code Amendment Progressing Make a submission Started: 4 September 2025 Closes: 16 October 2025 at 11:59 pm	Yes
10193	Aldinga Suburban Neighbourhood DPA	Minister for Planning and Local Government	CE Led	22 March 2019	Onkaparinga	Policy Live Consultation Completed: 25 March 2021	No
10185	Port Stanvac Mixed Use	MAB Property Developments Pty Ltd	Third Party	9 May 2025	Onkaparinga	Code Amendment Progressing Make a submission Started: 22 September 2025 Closes: 2 November 2025 at 11:59 pm	Yes
10152	Thaxted Park Golf Club	Creation Homes (SA) Pty Ltd	Third Party	24 June 2021	Onkaparinga	Policy Live Consultation Completed: 29 August 2022	No
10108	Site Contamination Development Assessment Scheme	State Planning Commission	SPC Led	31 January 2024	State Wide	Code Amendment Progressing	No
10096	Ancillary Accommodation and Student Accommodation Definitions Review	Chief Executive, Department for Housing and Urban Development	CE Led	5 December 2023	State Wide	Policy Live Consultation Completed: 15 April 2024	No
10093	City of Onkaparinga Local Heritage	City of Onkaparinga	Third Party	7 September 2024	Onkaparinga	Code Amendment Progressing Consultation Completed: 17 March 2025	Yes

CA ID	CA Title	Proponent	Type	Initiation Date	LGA	Status	Form 1
10061	O'Sullivan Beach Residential	OSB Pty Ltd	Third Party	6 May 2021	Onkaparinga	Policy Live Consultation Completed: 24 October 2021	No
10058	McLaren Vale Township	City of Onkaparinga	Third Party	21 August 2023	Onkaparinga	Code Amendment Progressing	No
10048	Assessment Improvements	State Planning Commission	SPC Led	19 August 2024	State Wide	Code Amendment Progressing Consultation Completed: 11 March 2025	Yes
10047	Affordable Housing Overlay	State Planning Commission	SPC Led	17 October 2024	State Wide	Code Amendment Progressing	No
10045	Residential Driveway Crossovers Design Standard and Code Amendment	State Planning Commission	SPC Led	27 April 2023	State Wide	Withdrawn Consultation Completed: 14 November 2023	No
10044	Miscellaneous Technical Enhancement	State Planning Commission	SPC Led	6 December 2021	State Wide	Policy Live Consultation Completed: 23 September 2022	No
10042	State-Wide Flood Hazard	State Planning Commission	SPC Led	12 December 2023	State Wide	Code Amendment Progressing	No
10035	Local Design Review	State Planning Commission	SPC Led	17 May 2021	State Wide	Policy Live Consultation Completed: 27 September 2021	No
10029	Hackham	Chief Executive, Department for Housing and Urban Development	CE Led	23 July 2021	Onkaparinga	Policy Live Consultation Completed: 26 July 2022	No
10019	Sellicks Beach	Chief Executive, Department for Housing and Urban Development	CE Led	4 July 2023	Onkaparinga	Withdrawn	No
10018	Statewide Bushfire Hazards Overlay	State Planning Commission	SPC Led	4 February 2021	Multiple	Code Amendment Progressing Consultation Completed: 5 April 2024	Yes
10016	Flooding Hazards Mapping Update	Chief Executive, Department for Trade and Investment	CE Led	28 October 2021	Multiple	Policy Live Consultation Completed: 21 April 2023	No

CA ID	CA Title	Proponent	Type	Initiation Date	LGA	Status	Form 1
10011	Accommodation Diversity	State Planning Commission	SPC Led	1 May 2024	State Wide	Code Amendment Progressing Consultation Completed: 27 February 2025	Yes
10005	Tourism Development	State Planning Commission	SPC Led	29 October 2024	State Wide	Code Amendment Progressing	No
10002	Interface Management	State Planning Commission	SPC Led	7 December 2023	State Wide	Code Amendment Progressing	No

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For the purposes of section 48(1) of the Planning, Development and Infrastructure Act 2016 this web site has been established by the Chief Executive and forms part of the SA planning portal.

The Department for Housing and Urban Development acknowledges and respects Aboriginal peoples as the state's First Peoples and nations and recognises Aboriginal peoples as Traditional Owners and occupants of lands and waters in South Australia.