

DATED

2025

SUMAN KUNWAR AND NABINA ADHIKARI

to

CONTRACT OF SALE OF REAL ESTATE

Property: 16 Nicastro Avenue, Wollert VIC

Your Dream Home Conveyancing PTY LTD

C/- Your Dream Home Conveyancing PTY LTD

PO Box 1013

CRAIGIEBURN VIC 3064

Tel: 0450300737

Fax:

Ref: PP:YDHCPL:25/3796



**YOUR DREAM HOME
CONVEYANCING**

SALE OF LAND (PUBLIC AUCTIONS) REGULATIONS 2014
SCHEDULE 1
GENERAL RULES FOR THE CONDUCT OF PUBLIC AUCTIONS
OF LAND

1. The auctioneer may make one or more bids on behalf of the vendor of the land at any time during the auction.
2. The auctioneer may refuse any bid.
3. The auctioneer may determine the amount by which the bidding is to be advanced.
4. The auctioneer may withdraw the property from sale at any time.
5. The auctioneer may refer a bid to the vendor at any time before the conclusion of the auction.
6. In the event of a dispute concerning a bid, the auctioneer may re-submit the property for sale at the last undisputed bid or start the bidding again.
7. The auctioneer must not accept any bid or offer for a property that is made after the property has been knocked down to the successful bidder, unless the vendor or successful bidder at the auction refuses to sign the contract of sale following the auction.
8. If a reserve price has been set for the property and the property is passed in below that reserve price, the vendor will first negotiate with the highest bidder for the purchase of the property.

SCHEDULE 5
Regulation 6
INFORMATION CONCERNING THE CONDUCT OF PUBLIC
AUCTIONS OF LAND

Meaning of vendor

The vendor is the person who is selling the property that is being auctioned. There may be more than one vendor. Where there are two or more vendors, they are selling the property as co-owners.

Bidding by co-owners

Where there are two or more vendors of the property, one or some or all of them may bid to purchase the property from their co-owners. The vendor or vendors intending to bid to purchase the property can make these bids themselves, or through a representative, but not through the auctioneer.

Vendor bids

The law of Victoria allows vendors to choose to have bids made for them by the auctioneer. If this is the case, it will be stated as the first rule applying to the auction. However, these bids cannot be made for a co-owner intending to bid to purchase the property from their co-owner or co-owners.

The auctioneer can only make a vendor bid if—

- the auctioneer declares before bidding starts that the auctioneer can make bids on behalf of a vendor, and states how these bids will be made; and
- the auctioneer states when making the bid that it is a bid for the vendors. The usual way for an

auctioneer to indicate that the auctioneer is making a vendor bid is to say "vendor bid" in making the bid.

What rules and conditions apply to the auction?

Different rules apply to an auction depending upon whether there are any co-owners intending to bid to purchase the property from their co-owners, and whether vendor bids can be made. The auctioneer must display the rules that apply at the auction. It is possible that a vendor may choose to have additional conditions apply at the auction. This is only allowed if those additional conditions do not conflict with the rules that apply to the auction or any other legal requirement. The additional conditions are usually contained in the contract of sale.

Copies of the rules

The law requires that a copy of the rules and conditions that are to apply to a public auction of land be made available for public inspection a reasonable time before the auction starts and in any case not less than 30 minutes before the auction starts.

Questions

A person at a public auction of land may ask the auctioneer in good faith a reasonable number of questions about the property being sold, the contract of sale, the rules under which the auction is being conducted and the conduct of the auction.

Forbidden activities at auctions

The law forbids any of the following—

- any person bidding for a vendor other than—
 - the auctioneer (who can only make bids for a vendor who does not intend to purchase the property from their co-owner or co-owners); or
 - a representative of a vendor who is a co-owner of the property wishing to purchase the property from their co-owner or co-owners;
- the auctioneer taking any bid that the auctioneer knows was made on behalf of the vendor, unless it is made by a vendor (or their representative) who is a co-owner wishing to purchase the property;
- the auctioneer acknowledging a bid if no bid was made;
 - any person asking another person to bid on behalf of the vendor, other than a vendor who is a co-owner engaging a representative to bid for them;
 - any person falsely claiming or falsely acknowledging that they made a bid;
 - an intending bidder (or a person acting on behalf of an intending bidder) harassing or interfering with other bidders at a public auction of land.

Substantial penalties apply to any person who does any of the things in this list.

Who made the bid? At any time during a public auction of land, a person at the auction may ask the auctioneer to indicate who made a bid. Once such a request has been made, the auctioneer is obliged by law to comply with such a request before taking another bid. It is an offence to disrupt an auction. The law forbids an intending bidder or a person acting on behalf of an intending bidder from doing any thing with the intention of preventing or causing a major disruption to, or causing the cancellation of, a public auction of land.

The cooling off period does not apply to public auctions of land

If you purchase a property that has been offered for sale by public auction either at the auction or within 3 clear business days before or after the auction, there is no cooling off period.

What law applies

The information in this document is only intended as a brief summary of the law that applies to public auctions of land in Victoria. Most of the laws referred to in this document can be found in the

Sale of Land Act 1962 or the Sale of Land (Public Auctions) Regulations 2014. Copies of those laws can be found at the following web site: www.legislation.vic.gov.au under the title "Victorian Law Today".

Contract of Sale of Land

Property:

16 Nicastro Avenue, Wollert VIC 3750

Your Dream Home Conveyancing PTY LTD

Unit 3, 198 Newbury Boulevard

CRAIGIEBURN VIC 3064

Tel: 0450300737

C/- Your Dream Home Conveyancing PTY LTD, PO Box 1013 , Craigieburn VIC 3064

Ref: PP:YDHCPL:25/3796

Contract of Sale of Land

IMPORTANT NOTICE TO PURCHASERS – COOLING-OFF

Cooling-off period (Section 31 of the *Sale of Land Act 1962*)

You may end this contract within 3 clear business days of the day that you sign the contract if none of the exceptions listed below applies to you.

You must either give the vendor or the vendor's agent **written** notice that you are ending the contract or leave the notice at the address of the vendor or the vendor's agent to end this contract within this time in accordance with this cooling-off provision.

You are entitled to a refund of all the money you paid EXCEPT for \$100 or 0.2% of the purchase price (whichever is more) if you end the contract in this way.

EXCEPTIONS: the 3-day cooling-off period does not apply if:

- you bought the property at a publicly advertised auction or on the day on which the auction was held; or
- you bought the land within 3 clear business days before a publicly advertised auction was to be held; or
- you bought the land within 3 clear business days after a publicly advertised auction was held; or
- the property is used primarily for industrial or commercial purposes; or
- the property is more than 20 hectares in size and is used primarily for farming; or
- you and the vendor previously signed a contract for the sale of the same land in substantially the same terms; or
- you are an estate agent or a corporate body.

NOTICE TO PURCHASERS OF PROPERTY OFF-THE-PLAN

Off-the-plan sales (Section 9AA(1A) of the *Sale of Land Act 1962*)

You may negotiate with the vendor about the amount of the deposit moneys payable under the contract of sale, up to 10 per cent of the purchase price.

A substantial period of time may elapse between the day on which you sign the contract of sale and the day on which you become the registered proprietor of the lot.

The value of the lot may change between the day on which you sign the contract of sale of that lot and the day on which you become the registered proprietor

WARNING TO ESTATE AGENTS
DO NOT USE THIS CONTRACT FOR SALES OF 'OFF THE PLAN' PROPERTIES
UNLESS IT HAS BEEN PREPARED BY A LEGAL PRACTITIONER

Contract of Sale of Land

The vendor agrees to sell and the purchaser agrees to buy the property, being the land and the goods, for the price and on the terms set out in this contract.

The terms of this contract are contained in the –

- particulars of sale; and
- special conditions, if any; and
- general conditions (which are in standard form: see general condition 6.1)

in that order of priority.

SIGNING OF THIS CONTRACT

WARNING: THIS IS A LEGALLY BINDING CONTRACT. YOU SHOULD READ THIS CONTRACT BEFORE SIGNING IT.

Purchasers should ensure that they have received a section 32 statement from the vendor before signing this contract. In this contract, "section 32 statement" means the statement required to be given by a vendor under section 32 of the *Sale of Land Act 1962*.

The authority of a person signing –

- under power of attorney; or
 - as director of a corporation; or
 - as agent authorised in writing by one of the parties –
- must be noted beneath the signature.

Any person whose signature is secured by an estate agent acknowledges being given by the agent at the time of signing a copy of the terms of this contract.

SIGNED BY THE PURCHASER:
..... on/...../2025

Print names(s) of person(s) signing:

State nature of authority, if applicable:

This offer will lapse unless accepted within [] clear business days (3 clear business days if none specified)
In this contract, "business day" has the same meaning as in section 30 of the *Sale of Land Act 1962*

SIGNED BY THE VENDOR:
..... on/...../2025

Print names(s) of person(s) signing: Suman Kunwar and Nabina Adhikari

State nature of authority, if applicable:

The **DAY OF SALE** is the date by which both parties have signed this contract.

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INFORMATION ONLY

Particulars of Sale

Vendor's estate agent

Name: Harcourts Rata & Co
Address: 1/337 Settlement Road, Thomastown VIC 3074
Email: • [|â@rataandco.com.au
Tel: _____ Mob: _____ Fax: _____ Ref: Sherry

Vendor

Name: Suman Kunwar and Nabina Adhikari
Address: _____
ABN/ACN: _____
Email: _____

Vendor's legal practitioner or conveyancer

Name: Your Dream Home Conveyancing PTY LTD
Address: Unit 3, 198 Newbury Boulevard, Craigieburn VIC 3064
C/- Your Dream Home Conveyancing PTY LTD, PO Box 1013 , Craigieburn VIC 3064
Email: pravat@ydhconveyancing.com.au
Tel: 0450300737 Mob: _____ Fax: _____ Ref: 25/3796

Purchaser's estate agent

Name: _____
Address: _____
Email: _____
Tel: _____ Mob: _____ Fax: _____ Ref: _____

Purchaser

Name: _____
Address: _____
ABN/ACN: _____
Email: _____

Purchaser's legal practitioner or conveyancer

Name: _____
Address: _____
Email: _____
Tel: _____ Mob: _____ Fax: _____ Ref: _____

Land (general conditions 7 and 13)

The land is described in the table below –

Certificate of Title reference	being lot	on plan
Volume 12170 Folio 793	545	PS 807895D

If no title or plan references are recorded in the table, the land is as described in the section 32 statement or the register search statement and the document referred to as the diagram location in the register search statement attached to the section 32 statement

The land includes all improvements and fixtures.

Property address

The address of the land is: 16 Nicastro Avenue, Wollert VIC 3750

Goods sold with the land (general condition 6.3(f)) *(list or attach schedule)*

All Fittings and Fixtures of a permanent nature as inspected.

Payment

Price \$ 0.00

Deposit \$ 0.00 by (of which has been paid)

Balance \$ _____ payable at settlement

Deposit bond

General condition 15 applies only if the box is checked

Bank guarantee

General condition 16 applies only if the box is checked

GST (general condition 19)

Subject to general condition 19.2, the price includes GST (if any), unless the next box is checked

- GST (if any) must be paid in addition to the price if the box is checked
- This sale is a sale of land on which a 'farming business' is carried on which the parties consider meets the requirements of section 38-480 of the GST Act if the box is checked
- This sale is a sale of a 'going concern' if the box is checked
- The margin scheme will be used to calculate GST if the box is checked

Settlement (general conditions 17 & 26.2)

is due on

unless the land is a lot on an unregistered plan of subdivision, in which case settlement is due on the later of:

- the above date; and
- the 14th day after the vendor gives notice in writing to the purchaser of registration of the plan of subdivision.

Lease (general condition 5.1)

At settlement the purchaser is entitled to vacant possession of the property unless the box is checked, in which case the property is sold subject to*:

(*only one of the boxes below should be checked after carefully reading any applicable lease or tenancy document)

a lease for a term ending on / /20..... with [.....] options to renew, each of [.....] years

OR

a residential tenancy for a fixed term ending on / /20.....

OR

a periodic tenancy determinable by notice

Terms contract (general condition 30)

This contract is intended to be a terms contract within the meaning of the *Sale of Land Act 1962* if the box is checked. *(Reference should be made to general condition 30 and any further applicable provisions should be added as special conditions)*

Special Conditions

Instructions: *It is recommended that when adding special conditions:*

- *each special condition is numbered;*
- *the parties initial each page containing special conditions;*
- *a line is drawn through any blank space remaining on the last page; and*
- *attach additional pages if there is not enough space.*

1. Purchaser Acknowledgement

The Purchaser hereby acknowledges that before signing any contract, agreement or document her/she was supplied with:

- (a) A Statement pursuant to Section 32 of the Sale of Land Act 1962 (as amended); and
- (b) A copy of this Contract of Sale or the prior Contract Note (if any).

2. Guarantee

In the event of the Purchaser being a proprietary company, it shall simultaneously with the execution of this Contract obtain the execution of a Guarantee annexed hereto of not less than two (2) of its directors. Unless it is a company with a sole director in which case only that Director shall be required to execute such Guarantee.

3. Auction

In the event that the property is offered for sale by public auction subject to the vendors reserve price, the rules for conduct of the auction shall be set out in the Schedules to the Sale of Land Regulations 2005 or any rules prescribed by regulation which modify or replace those Rules.

4. Vendor's Foreseeable Loss and Damage

The Vendor gives notice to the Purchaser that in the event that the Purchaser fails to complete the purchase of the property on the due date specified in the Contract of Sale or any such date as may have been mutually agreed to by the parties, then the Purchaser is liable for default interest under General 33 and that the Purchaser will also be liable for the following expenses:

- (a) All costs incurred by the Vendor associated with obtaining bridging finance to complete the Vendor's purchase of another property and interest charged on such bridging finance.
- (b) Interest payable by the Vendor under any existing Mortgage over the property calculated from the due date.
- (c) Accommodation expenses necessarily incurred by the Vendor.
- (d) Addition costs and expenses as between the Vendor and the Vendor's representative.
- (e) The cost for the issue of a Default Notice being \$770 payable to the Vendor's representative.
- (f) The cost for the issue of a Notice of Rescission being \$770 payable to the Vendor's representative.
- (g) Any costs, expenses and penalties incurred by the Vendor to a third party through any delay in completion of the Vendor's purchase.
- (h) Settlement rescheduling fee of \$330 payable to the Vendor's representative at settlement.

5. Early possession

In the event of the Purchaser wishing to take early possession of the property having obtained the consent of the Vendor, a separate License Agreement must be executed between the parties to facilitate such early possession.

- 5.1 Such License Agreement referred herein is a separate legal document and does not form part of this Contract.

5.2 The cost of preparing a License Agreement being \$660 is payable by the Purchaser to the Vendor's representative.

6. Foreign Acquisitions

- 6.1 The Purchaser warrants that the provisions of the Foreign Acquisitions and Takeovers Act 1975(C'th) do not require the Purchaser to obtain consent to enter the Contract.
- 6.2 If the Purchaser is in breach of the warranty contained in clause 6.1 (whether International or not) the purchaser must indemnify and compensate the Vendor for any loss, damage or cost which the Vendor incurs as result of such breach.
- 6.3 The warranty and indemnity do not merge on completion of this Contract.

7. Condition of the Property

The Purchaser acknowledges that the Purchaser has inspected the property and chattels prior to the day of sale. The Purchaser agrees that the Purchaser is purchasing and will accept delivery of the property and chattels in their present condition and state of repair and with any defects existing at the date hereof. The Purchaser agrees that the Vendor is under no liability or obligation to carry out repairs, renovations, alterations or improvement of any description.

8. No Representation

The Purchaser acknowledges that the Vendor has not nor has anyone on the Vendor's behalf made any representation or warranty as to the fitness for any particular purpose or otherwise of the property or that any structures comply with the current or any building regulations and the Purchaser expressly releases the Vendor and/or his servants or agents from any claim demands in respect thereof.

9. Amendments to General Conditions

- 9.1 General Conditions 4.1 and 4.2 are added as:
 - 4.1 The purchaser must deliver to the vendor's conveyancer or legal practitioner nomination information and supporting evidence:
 - (a) A Nomination Form duly completed and executed by the Purchaser and the nominee;
 - (b) A Guarantee and Indemnity form as attached in this Contract which is duly-executed by its director(s) if the nominee is a corporation;
 - (c) The nominee's contact details
 - 4.2 The purchaser must pay the vendor's conveyancer or legal practitioner for the vendor's legal costs in the sum of \$330 by way of adjustment at settlement
- 9.2 General Condition 17.3 is amended as:
 - 17.3 The Purchaser must pay all money other than the deposit in accordance with a written direction of the Vendor or the Vendor's legal practitioner or conveyancer of up to eight (8) bank cheques;
- 9.3 General Condition 33 to delete "2%" and replace with "4%";
- 9.4 General Conditions 31.4, 31.5 and 31.6 are deleted.

10. Swimming Pool/Spa

Where the subject property includes a swimming pool, spa or pond

- 10.1 The purchaser acknowledges that a certificate of barrier compliance has not been obtained by the vendor and the purchaser shall pay the cost of obtaining the barrier compliance certificate including the cost of, but not limited to, any rectification works to the swimming pool and shall indemnify and keep indemnified the vendor against any claim for damage or loss. This special condition will not merge on settlement.
- 10.2 The purchaser cannot make any requisition, objection or claim for compensation in relation to the state of repair or condition of the swimming pool or the barrier.

General Conditions

Contract signing

1. ELECTRONIC SIGNATURE

- 1.1 In this general condition "electronic signature" means a digital signature or a visual representation of a person's handwritten signature or mark which is placed on a physical or electronic copy of this contract by electronic or mechanical means, and "electronically signed" has a corresponding meaning.
- 1.2 The parties consent to this contract being signed by or on behalf of a party by an electronic signature.
- 1.3 Where this contract is electronically signed by or on behalf of a party, the party warrants and agrees that the electronic signature has been used to identify the person signing and to indicate that the party intends to be bound by the electronic signature.
- 1.4 This contract may be electronically signed in any number of counterparts which together will constitute the one document.
- 1.5 Each party consents to the exchange of counterparts of this contract by delivery by email or such other electronic means as may be agreed in writing.
- 1.6 Each party must upon request promptly deliver a physical counterpart of this contract with the handwritten signature or signatures of the party and all written evidence of the authority of a person signing on their behalf, but a failure to comply with the request does not affect the validity of this contract.

2. LIABILITY OF SIGNATORY

Any signatory for a proprietary limited company purchaser is personally liable for the due performance of the purchaser's obligations as if the signatory were the purchaser in the case of a default by a proprietary limited company purchaser.

3. GUARANTEE

The vendor may require one or more directors of the purchaser to guarantee the purchaser's performance of this contract if the purchaser is a proprietary limited company.

4. NOMINEE

The purchaser may no later than 14 days before the due date for settlement nominate a substitute or additional person to take a transfer of the land, but the named purchaser remains personally liable for the due performance of all the purchase's obligations under this contract.

Title

5. ENCUMBRANCES

- 5.1 The purchaser buys the property subject to:
 - (a) any encumbrance shown in the section 32 statement other than mortgages or caveats; and
 - (b) any reservations, exceptions and conditions in the crown grant; and
 - (c) any lease or tenancy referred to in the particulars of sale.
- 5.2 The purchaser indemnifies the vendor against all obligations under any lease or tenancy that are to be performed by the landlord after settlement.

6. VENDOR WARRANTIES

- 6.1 The vendor warrants that these general conditions 1 to 35 are identical to the general conditions 1 to 35 in the form of contract of sale of land published by the Law Institute of Victoria Limited and the Real Estate Institute of Victoria Pty Ltd in the month and year set out at the foot of this page.
- 6.2 The warranties in general conditions 6.3 and 6.4 replace the purchaser's right to make requisitions and inquiries.
- 6.3 The vendor warrants that the vendor:
- (a) has, or by the due date for settlement will have, the right to sell the land; and
 - (b) is under no legal disability; and
 - (c) is in possession of the land, either personally or through a tenant; and
 - (d) has not previously sold or granted any option to purchase, agreed to lease or granted a pre-emptive right which is current over the land and which gives another party rights which have priority over the interest of the purchaser; and
 - (e) will at settlement be the holder of an unencumbered estate in fee simple in the land; and
 - (f) will at settlement be the unencumbered owner of any improvements, fixtures, fittings and goods sold with the land.
- 6.4 The vendor further warrants that the vendor has no knowledge of any of the following:
- (a) public rights of way over the land;
 - (b) easements over the land;
 - (c) lease or other possessory agreement affecting the land;
 - (d) notice or order directly or indirectly affecting the land which will not be dealt with at settlement, other than the usual rate notices and any land tax notices;
 - (e) legal proceedings which would render the sale of the land void or voidable or capable of being set aside.
- 6.5 The warranties in general conditions 6.3 and 6.4 are subject to any contrary provisions in this contract and disclosures in the section 32 statement.
- 6.6 If sections 137B and 137C of the *Building Act* 1993 apply to this contract, the vendor warrants that:
- (a) all domestic building work carried out in relation to the construction by or on behalf of the vendor of the home was carried out in a proper and workmanlike manner; and
 - (b) all materials used in that domestic building work were good and suitable for the purpose for which they were used and that, unless otherwise stated in the contract, those materials were new; and
 - (c) domestic building work was carried out in accordance with all laws and legal requirements, including, without limiting the generality of this warranty, the *Building Act* 1993 and regulations made under the *Building Act* 1993.
- 6.7 Words and phrases used in general condition 6.6 which are defined in the *Building Act* 1993 have the same meaning in general condition 6.6.

7. IDENTITY OF THE LAND

- 7.1 An omission or mistake in the description of the property or any deficiency in the area, description or measurements of the land does not invalidate the sale.
- 7.2 The purchaser may not:
- (a) make any objection or claim for compensation for any alleged misdescription of the property or any deficiency in its area or measurements; or
 - (b) require the vendor to amend title or pay any cost of amending title.

8. SERVICES

- 8.1 The vendor does not represent that the services are adequate for the purchaser's proposed use of the property and the vendor advises the purchaser to make appropriate inquiries. The condition of the services may change between the day of sale and settlement and the vendor does not promise that the services will be in the same condition at settlement as they were on the day of sale.
- 8.2 The purchaser is responsible for the connection of all services to the property after settlement and the payment of any associated cost.

9. CONSENTS

The vendor must obtain any necessary consent or licence required for the vendor to sell the property. The contract will be at an end and all money paid must be refunded if any necessary consent or licence is not obtained by settlement.

10. TRANSFER & DUTY

- 10.1 The purchaser must prepare and deliver to the vendor at least 7 days before the due date for settlement any paper transfer of land document which is necessary for this transaction. The delivery of the transfer of land document is not acceptance of title.
- 10.2 The vendor must promptly initiate the Duties on Line or other form required by the State Revenue Office in respect of this transaction, and both parties must co-operate to complete it as soon as practicable.

11. RELEASE OF SECURITY INTEREST

- 11.1 This general condition applies if any part of the property is subject to a security interest to which the *Personal Property Securities Act 2009* (Cth) applies.
- 11.2 For the purposes of enabling the purchaser to search the Personal Property Securities Register for any security interests affecting any personal property for which the purchaser may be entitled to a release, statement, approval or correction in accordance with general condition 11.4, the purchaser may request the vendor to provide the vendor's date of birth to the purchaser. The vendor must comply with a request made by the purchaser under this condition if the purchaser makes the request at least 21 days before the due date for settlement.
- 11.3 If the purchaser is given the details of the vendor's date of birth under condition 11.2, the purchaser must
 - (a) only use the vendor's date of birth for the purposes specified in condition 11.2; and
 - (b) keep the date of birth of the vendor secure and confidential.
- 11.4 The vendor must ensure that at or before settlement, the purchaser receives –
 - (a) a release from the secured party releasing the property from the security interest; or
 - (b) a statement in writing in accordance with section 275(1)(b) of the *Personal Property Securities Act 2009* (Cth) setting out that the amount or obligation that is secured is nil at settlement; or
 - (c) a written approval or correction in accordance with section 275(1)(c) of the *Personal Property Securities Act 2009* (Cth) indicating that, on settlement, the personal property included in the contract is not or will not be property in which the security interest is granted.
- 11.5 Subject to general condition 11.6, the vendor is not obliged to ensure that the purchaser receives a release, statement, approval or correction in respect of personal property -
 - (a) that –
 - (i) the purchaser intends to use predominately for personal, domestic or household purposes; and
 - (ii) has a market value of not more than \$5000 or, if a greater amount has been prescribed for the purposes of section 47(1) of the *Personal Property Securities Act 2009* (Cth), not more than that prescribed amount; or
 - (b) that is sold in the ordinary course of the vendor's business of selling personal property of that kind.
- 11.6 The vendor is obliged to ensure that the purchaser receives a release, statement, approval or correction in respect of personal property described in general condition 11.5 if -
 - (a) the personal property is of a kind that may be described by a serial number in the Personal Property Securities Register; or
 - (b) the purchaser has actual or constructive knowledge that the sale constitutes a breach of the security agreement that provides for the security interest.
- 11.7 A release for the purposes of general condition 11.4(a) must be in writing.
- 11.8 A release for the purposes of general condition 11.4(a) must be effective in releasing the goods from the security interest and be in a form which allows the purchaser to take title to the goods free of that security interest.
- 11.9 If the purchaser receives a release under general condition 11.4(a) the purchaser must provide the vendor with a copy of the release at or as soon as practicable after settlement.
- 11.10 In addition to ensuring a release is received under general condition 11.4(a), the vendor must ensure that at or before settlement the purchaser receives a written undertaking from a secured party to register a financing change statement

to reflect that release if the property being released includes goods of a kind that are described by serial number in the Personal Property Securities Register.

- 11.11 The purchaser must advise the vendor of any security interest that is registered on or before the day of sale on the Personal Property Securities Register, which the purchaser reasonably requires to be released, at least 21 days before the due date for settlement.
- 11.12 The vendor may delay settlement until 21 days after the purchaser advises the vendor of the security interests that the purchaser reasonably requires to be released if the purchaser does not provide an advice under general condition 11.11.
- 11.13 If settlement is delayed under general condition 11.12, the purchaser must pay the vendor -
 - (a) interest from the due date for settlement until the date on which settlement occurs or 21 days after the vendor receives the advice, whichever is the earlier; and
 - (b) any reasonable costs incurred by the vendor as a result of the delay -
as though the purchaser was in default.
- 11.14 The vendor is not required to ensure that the purchaser receives a release in respect of the land. This general condition 11.14 applies despite general condition 11.1.
- 11.15 Words and phrases which are defined in the *Personal Property Securities Act 2009* (Cth) have the same meaning in general condition 11 unless the context requires otherwise.

12. BUILDING WARRANTY INSURANCE

The vendor warrants that the vendor will provide at settlement details of any current builder warranty insurance in the vendor's possession relating to the property if requested in writing to do so at least 21 days before settlement.

13. GENERAL LAW LAND

- 13.1 The vendor must complete a conversion of title in accordance with section 14 of the *Transfer of Land Act 1958* before settlement if the land is the subject of a provisional folio under section 23 of that Act.
- 13.2 The remaining provisions of this general condition 13 only apply if any part of the land is not under the operation of the *Transfer of Land Act 1958*.
- 13.3 The vendor is taken to be the holder of an unencumbered estate in fee simple in the land if there is an unbroken chain of title starting at least 30 years before the day of sale proving on the face of the documents the ownership of the entire legal and equitable estate without the aid of other evidence.
- 13.4 The purchaser is entitled to inspect the vendor's chain of title on request at such place in Victoria as the vendor nominates.
- 13.5 The purchaser is taken to have accepted the vendor's title if:
 - (a) 21 days have elapsed since the day of sale; and
 - (b) the purchaser has not reasonably objected to the title or reasonably required the vendor to remedy a defect in the title.
- 13.6 The contract will be at an end if:
 - (a) the vendor gives the purchaser a notice that the vendor is unable or unwilling to satisfy the purchaser's objection or requirement and that the contract will end if the objection or requirement is not withdrawn within 14 days of the giving of the notice; and
 - (b) the objection or requirement is not withdrawn in that time.
- 13.7 If the contract ends in accordance with general condition 13.6, the deposit must be returned to the purchaser and neither party has a claim against the other in damages.
- 13.8 General condition 17.1 [settlement] should be read as if the reference to 'registered proprietor' is a reference to 'owner' in respect of that part of the land which is not under the operation of the *Transfer of Land Act 1958*.

Money

14. DEPOSIT

- 14.1 The purchaser must pay the deposit:

- (a) to the vendor's licensed estate agent; or
 - (b) if there is no estate agent, to the vendor's legal practitioner or conveyancer; or
 - (c) if the vendor directs, into a special purpose account in an authorised deposit-taking institution in Victoria specified by the vendor in the joint names of the purchaser and the vendor.
- 14.2 If the land is sold on an unregistered plan of subdivision, the deposit:
- (a) must not exceed 10% of the price; and
 - (b) must be paid to the vendor's estate agent, legal practitioner or conveyancer and held by the estate agent, legal practitioner or conveyancer on trust for the purchaser until registration of the plan of subdivision.
- 14.3 The deposit must be released to the vendor if:
- (a) the vendor provides particulars, to the satisfaction of the purchaser; that either
 - (i) there are no debts secured against the property; or
 - (ii) if there are any debts, the total amount of those debts together with any amounts to be withheld in accordance with general conditions 24 and 25 does not exceed 80% of the sale price; and
 - (b) at least 28 days have elapsed since the particulars were given to the purchaser under paragraph (a); and
 - (c) all conditions of section 27 of the *Sale of Land Act 1962* have been satisfied.
- 14.4 The stakeholder must pay the deposit and any interest to the party entitled when the deposit is released, the contract is settled, or the contract is ended.
- 14.5 The stakeholder may pay the deposit and any interest into court if it is reasonable to do so.
- 14.6 Where the purchaser is deemed by section 27(7) of the *Sale of Land Act 1962* to have given the deposit release authorisation referred to in section 27(1), the purchaser is also deemed to have accepted title in the absence of any prior express objection to title.
- 14.7 Payment of the deposit may be made or tendered:
- (a) in cash up to \$1,000 or 0.2% of the price, whichever is greater; or
 - (b) by cheque drawn on an authorised deposit-taking institution; or
 - (c) by electronic funds transfer to a recipient having the appropriate facilities for receipt.
- However, unless otherwise agreed:
- (d) payments may not be made by credit card, debit card or any other financial transfer system that allows for any chargeback or funds reversal other than for fraud or mistaken payment, and
 - (e) any financial transfer or similar fees or deductions from the funds transferred, other than any fees charged by the recipient's authorised deposit-taking institution, must be paid by the remitter.
- 14.8 Payment by electronic transfer is made when cleared funds are received in the recipient's bank account.
- 14.9 Before the funds are electronically transferred the intended recipient must be notified in writing and given sufficient particulars to readily identify the relevant transaction.
- 14.10 As soon as the funds have been electronically transferred the intended recipient must be provided with the relevant transaction number or reference details.
- 14.11 For the purposes of this general condition 'authorised deposit-taking institution' means a body corporate for which an authority under section 9(3) of the *Banking Act 1959* (Cth) is in force.

15. DEPOSIT BOND

- 15.1 This general condition only applies if the applicable box in the particulars of sale is checked.
- 15.2 In this general condition "deposit bond" means an irrevocable undertaking to pay on demand an amount equal to the deposit or any unpaid part of the deposit. The issuer and the form of the deposit bond must be satisfactory to the vendor. The deposit bond must have an expiry date at least 45 days after the due date for settlement.
- 15.3 The purchaser may deliver a deposit bond to the vendor's estate agent, legal practitioner or conveyancer within 7 days after the day of sale.
- 15.4 The purchaser may at least 45 days before a current deposit bond expires deliver a replacement deposit bond on the same terms and conditions.
- 15.5 Where a deposit bond is delivered, the purchaser must pay the deposit to the vendor's legal practitioner or conveyancer on the first to occur of:

- (a) settlement;
 - (b) the date that is 45 days before the deposit bond or any replacement deposit bond expires;
 - (c) the date on which this contract ends in accordance with general condition 35.2 [default not remedied] following breach by the purchaser; and
 - (d) the date on which the vendor ends this contract by accepting repudiation of it by the purchaser.
- 15.6 The vendor may claim on the deposit bond without prior notice if the purchaser defaults under this contract or repudiates this contract and the contract is ended. The amount paid by the issuer satisfies the obligations of the purchaser under general condition 15.5 to the extent of the payment.
- 15.7 Nothing in this general condition limits the rights of the vendor if the purchaser defaults under this contract or repudiates this contract, except as provided in general condition 15.6.
- 15.8 This general condition is subject to general condition 14.2 [deposit].

16. BANK GUARANTEE

- 16.1 This general condition only applies if the applicable box in the particulars of sale is checked.
- 16.2 In this general condition:
- (a) "bank guarantee" means an unconditional and irrevocable guarantee or undertaking by a bank in a form satisfactory to the vendor to pay on demand any amount under this contract agreed in writing, and
 - (b) "bank" means an authorised deposit-taking institution under the *Banking Act 1959* (Cth).
- 16.3 The purchaser may deliver a bank guarantee to the vendor's legal practitioner or conveyancer.
- 16.4 The purchaser must pay the amount secured by the bank guarantee to the vendor's legal practitioner or conveyancer on the first to occur of:
- (a) settlement;
 - (b) the date that is 45 days before the bank guarantee expires;
 - (c) the date on which this contract ends in accordance with general condition 35.2 [default not remedied] following breach by the purchaser; and
 - (d) the date on which the vendor ends this contract by accepting repudiation of it by the purchaser.
- 16.5 The vendor must return the bank guarantee document to the purchaser when the purchaser pays the amount secured by the bank guarantee in accordance with general condition 16.4.
- 16.6 The vendor may claim on the bank guarantee without prior notice if the purchaser defaults under this contract or repudiates this contract and the contract is ended. The amount paid by the bank satisfies the obligations of the purchaser under general condition 16.4 to the extent of the payment.
- 16.7 Nothing in this general condition limits the rights of the vendor if the purchaser defaults under this contract or repudiates this contract except as provided in general condition 16.6.
- 16.8 This general condition is subject to general condition 14.2 [deposit].

17. SETTLEMENT

- 17.1 At settlement:
- (a) the purchaser must pay the balance; and
 - (b) the vendor must:
 - (i) do all things necessary to enable the purchaser to become the registered proprietor of the land; and
 - (ii) give either vacant possession or receipt of rents and profits in accordance with the particulars of sale.
- 17.2 Settlement must be conducted between the hours of 10.00 a.m. and 4.00 p.m. unless the parties agree otherwise.
- 17.3 The purchaser must pay all money other than the deposit in accordance with a written direction of the vendor or the vendor's legal practitioner or conveyancer.

18. ELECTRONIC SETTLEMENT

- 18.1 Settlement and lodgment of the instruments necessary to record the purchaser as registered proprietor of the land will be conducted electronically in accordance with the Electronic Conveyancing National Law. This general condition 18 has priority over any other provision of this contract to the extent of any inconsistency.
- 18.2 A party must immediately give written notice if that party reasonably believes that settlement and lodgment can no longer be conducted electronically. Special condition 18 ceases to apply from when such a notice is given.
- 18.3 Each party must:
- be, or engage a representative who is, a subscriber for the purposes of the Electronic Conveyancing National Law,
 - ensure that all other persons for whom that party is responsible and who are associated with this transaction are, or engage, a subscriber for the purposes of the Electronic Conveyancing National Law, and
 - conduct the transaction in accordance with the Electronic Conveyancing National Law.
- 18.4 The vendor must open the electronic workspace ("workspace") as soon as reasonably practicable and nominate a date and time for settlement. The inclusion of a specific date for settlement in a workspace is not of itself a promise to settle on that date or at that time. The workspace is an electronic address for the service of notices and for written communications for the purposes of any electronic transactions legislation.
- 18.5 This general condition 18.5 applies if there is more than one electronic lodgment network operator in respect of the transaction. In this general condition 18.5 "the transaction" means this sale and purchase and any associated transaction involving any of the same subscribers.
- To the extent that any interoperability rules governing the relationship between electronic lodgment network operators do not provide otherwise:
- the electronic lodgment network operator to conduct all the financial and lodgment aspects of the transaction after the workspace locks must be one which is willing and able to conduct such aspects of the transaction in accordance with the instructions of all the subscribers in the workspaces of all the electronic lodgment network operators after the workspace locks;
 - if two or more electronic lodgment network operators meet that description, one may be selected by purchaser's incoming mortgagee having the highest priority but if there is no mortgagee of the purchaser, the vendor must make the selection.
- 18.6 Settlement occurs when the workspace records that:
- there has been an exchange of funds or value between the exchange settlement account or accounts in the Reserve Bank of Australia of the relevant financial institutions or their financial settlement agents in accordance with the instructions of the parties; or
 - if there is no exchange of funds or value, the documents necessary to enable the purchaser to become registered proprietor of the land have been accepted for electronic lodgment
- 18.7 The parties must do everything reasonably necessary to effect settlement:
- electronically on the next business day; or
 - at the option of either party, otherwise than electronically as soon as possible –
- if, after the locking of the workspace at the nominated settlement time, settlement in accordance with special condition 18.6 has not occurred by 4.00 pm, or 6.00 pm if the nominated time for settlement is after 4.00 pm.
- 18.8 Each party must do everything reasonably necessary to assist the other party to trace and identify the recipient of any missing or mistaken payment and to recover the missing or mistaken payment.
- 18.9 The vendor must before settlement:
- deliver any keys, security devices and codes ("keys") to the estate agent named in the contract,
 - direct the estate agent to give the keys to the purchaser or the purchaser's nominee on notification of settlement by the vendor, the vendors subscriber or the electronic lodgment network operator,
 - deliver all other physical documents and items (other than the goods sold by the contract) to which the purchaser is entitled at settlement, and any keys if not delivered to the estate agent, to the vendor's subscriber or, if there is no vendor's subscriber, confirm in writing to the purchaser that the vendor holds those documents, items and keys at the vendor's address set out in the contract, and
- give, or direct its subscriber to give, all those documents and items and any such keys to the purchaser or the purchaser's nominee on notification by the electronic lodgment network operator of settlement.

19. GST

- 19.1 The purchaser does not have to pay the vendor any amount in respect of GST in addition to the price if the particulars of sale specify that the price includes GST (if any).
- 19.2 The purchaser must pay to the vendor any GST payable by the vendor in respect of a taxable supply made under this contract in addition to the price if:
- (a) the particulars of sale specify that GST (if any) must be paid in addition to the price; or
 - (b) GST is payable solely as a result of any action taken or intended to be taken by the purchaser after the day of sale, including a change of use; or
 - (c) the particulars of sale specify that the supply made under this contract is of land on which a 'farming business' is carried on and the supply (or part of it) does not satisfy the requirements of section 38-480 of the GST Act; or
 - (d) the particulars of sale specify that the supply made under this contract is of a going concern and the supply (or a part of it) does not satisfy the requirements of section 38-325 of the GST Act.
- 19.3 The purchaser is not obliged to pay any GST under this contract until a tax invoice has been given to the purchaser.
- 19.4 If the particulars of sale specify that the supply made under this contract is of land on which a 'farming business' is carried on:
- (a) the vendor warrants that the property is land on which a farming business has been carried on for the period of 5 years preceding the date of supply; and
 - (b) the purchaser warrants that the purchaser intends that a farming business will be carried on after settlement on the property.
- 19.5 If the particulars of sale specify that the supply made under this contract is a 'going concern':
- (a) the parties agree that this contract is for the supply of a going concern; and
 - (b) the purchaser warrants that the purchaser is, or prior to settlement will be, registered for GST; and
 - (c) the vendor warrants that the vendor will carry on the going concern until the date of supply.
- 19.6 If the particulars of sale specify that the supply made under this contract is a 'margin scheme' supply, the parties agree that the margin scheme applies to this contract.
- 19.7 In this general condition:
- (a) 'GST Act' means *A New Tax System (Goods and Services Tax) Act 1999* (Cth); and
 - (b) 'GST' includes penalties and interest.

20. LOAN

- 20.1 If the particulars of sale specify that this contract is subject to a loan being approved, this contract is subject to the lender approving the loan on the security of the property by the approval date or any later date allowed by the vendor.
- 20.2 The purchaser may end the contract if the loan is not approved by the approval date, but only if the purchaser:
- (a) immediately applied for the loan; and
 - (b) did everything reasonably required to obtain approval of the loan; and
 - (c) serves written notice ending the contract, together with written evidence of rejection or non-approval of the loan, on the vendor within 2 clear business days after the approval date or any later date allowed by the vendor; and
 - (d) is not in default under any other condition of this contract when the notice is given.
- 20.3 All money must be immediately refunded to the purchaser if the contract is ended.

21. BUILDING REPORT

- 21.1 This general condition only applies if the applicable box in the particulars of sales is checked.
- 21.2 The purchaser may end this contract within 14 days from the days of sale if the purchaser:
- (a) obtains a written report from a registered building practitioner or architect which discloses a current defect in a structure on the land and designates it as a major building defect;
 - (b) gives the vendor a copy of the report and a written notice ending this contract; and
 - (c) is not in then in default.

- 21.3 All money paid must be immediately refunded to the purchaser if the contract ends in accordance with this general condition.
- 21.4 A notice under this general condition may be served on the vendor's legal practitioner, conveyancer or estate agent even if the estate agent's authority has formally expired at the time of service.
- 21.5 The registered building practitioner may inspect the property at any reasonable time for the purpose of preparing the report.

22. PEST REPORT

- 22.1 This general condition only applies if the applicable box in the particulars of sale is checked.
- 22.2 The purchaser may end this contract within 14 days from the day of sale if the purchaser:
 - (a) obtains a written report from a pest control operator licensed under Victorian law which discloses a current pest infestation on the land and designates it as a major infestation affecting the structure of a building on the land;
 - (b) gives the vendor a copy of the report and a written notice ending this contract; and
 - (c) is not then in default.
- 22.3 All money paid must be immediately refunded to the purchaser if the contract ends in accordance with this general condition.
- 22.4 A notice under this general condition may be served on the vendor's legal practitioner, conveyancer or estate agent even if the estate agent's authority has formally expired at the time of service.
- 22.5 The pest control operator may inspect the property at any reasonable time for the purpose of preparing the report.

23. ADJUSTMENTS

- 23.1 All periodic outgoings payable by the vendor, and any rent and other income received in respect of the property must be apportioned between the parties on the settlement date and any adjustment paid and received as appropriate.
- 23.2 The periodic outgoings and rent and other income must be apportioned on the following basis:
 - (a) the vendor is liable for the periodic outgoings and entitled to the rent and other income up to and including the day of settlement; and
 - (b) the land is treated as the only land of which the vendor is owner (as defined in the *Land Tax Act 2005*); and
 - (c) the vendor is taken to own the land as a resident Australian beneficial owner; and
 - (d) any personal statutory benefit available to each party is disregarded in calculating apportionment.
- 23.3 The purchaser must provide copies of all certificates and other information used to calculate the adjustments under general condition 23, if requested by the vendor.

24. FOREIGN RESIDENT CAPITAL GAINS WITHHOLDING

- 24.1 Words defined or used in Subdivision 14-D of Schedule 1 to the *Taxation Administration Act 1953* (Cth) have the same meaning in this general condition unless the context requires otherwise.
- 24.2 Every vendor under this contract is a foreign resident for the purposes of this general condition unless the vendor gives the purchaser a clearance certificate issued by the Commissioner under section 14-220 (1) of Schedule 1 to the *Taxation Administration Act 1953* (Cth). The specified period in the clearance certificate must include the actual date of settlement.
- 24.3 The remaining provisions of this general condition 24 only apply if the purchaser is required to pay the Commissioner an amount in accordance with section 14-200(3) or section 14-235 of Schedule 1 to the *Taxation Administration Act 1953* (Cth) ("the amount") because one or more of the vendors is a foreign resident, the property has or will have a market value not less than the amount set out in section 14-215 of the legislation just after the transaction, and the transaction is not excluded under section 14-215(1) of the legislation.
- 24.4 The amount is to be deducted from the vendor's entitlement to the contract consideration. The vendor must pay to the purchaser at settlement such part of the amount as is represented by non-monetary consideration.
- 24.5 The purchaser must:
 - (a) engage a legal practitioner or conveyancer ("representative") to conduct all legal aspects of settlement, including the performance of the purchaser's obligations under the legislation and this general condition; and
 - (b) ensure that the representative does so.

- 24.6 The terms of the representative's engagement are taken to include instructions to have regard to the vendor's interests and instructions that the representative must:
- (a) pay, or ensure payment of, the amount to the Commissioner in the manner required by the Commissioner and as soon as reasonably and practicably possible, from moneys under the control or direction of the representative in accordance with this general condition if the sale of the property settles;
 - (b) promptly provide the vendor with proof of payment; and
 - (c) otherwise comply, or ensure compliance with, this general condition;
- despite:
- (d) any contrary instructions, other than from both the purchaser and the vendor; and
 - (e) any other provision in this contract to the contrary.
- 24.7 The representative is taken to have complied with the requirements in special condition 24.6 if:
- (a) the settlement is conducted through an electronic lodgement network; and
 - (b) the amount is included in the settlement statement requiring payment to the Commissioner in respect of this transaction.
- 24.8 Any clearance certificate or document evidencing variation of the amount in accordance with section 14-235(2) of Schedule 1 to the *Taxation Administration Act 1953* (Cth) must be given to the purchaser at least 5 business days before the due date for settlement.
- 24.9 The vendor must provide the purchaser with such information as the purchaser requires to comply with the purchaser's obligation to pay the amount in accordance with section 14-200 of Schedule 1 to the *Taxation Administration Act 1953* (Cth). The information must be provided within 5 business days of request by the purchaser. The vendor warrants that the information the vendor provides is true and correct.
- 24.10 The purchaser is responsible for any penalties or interest payable to the Commissioner on account of late payment of the amount.

25. GST WITHHOLDING

- 25.1 Words and expressions defined or used in Subdivision 14-E of Schedule 1 to the *Taxation Administration Act 1953* (Cth) or in *A New Tax System (Goods and Services Tax) Act 1999* (Cth) have the same meaning in this general condition unless the context requires otherwise. Words and expressions first used in this general condition and shown in italics and marked with an asterisk are defined or described in at least one of those Acts.
- 25.2 The purchaser must notify the vendor in writing of the name of the recipient of the *supply for the purposes of section 14-255 of Schedule 1 to the *Taxation Administration Act 1953* (Cth) at least 21 days before the due date for settlement unless the recipient is the purchaser named in the contract.
- 25.3 The vendor must at least 14 days before the due date for settlement provide the purchaser and any person nominated by the purchaser under general condition 4 with GST withholding notice in accordance with section 14-255 of Schedule 1 to the *Taxation Administration Act 1953* (Cth), and must provide all information required by the purchaser or any person so nominated to confirm the accuracy of the notice.
- 25.4 The remaining provisions of this general condition 25 apply if the purchaser is or may be required to pay the Commissioner an *amount in accordance with section 14-250 of Schedule 1 to the *Taxation Administration Act 1953* (Cth) because the property is *new residential premise or *potential residential land in either case falling within the parameters of that section, and also if the sale attracts the operation of section 14-255 of the legislation. Nothing in this general condition 25 is to be taken as relieving the vendor from compliance with section 14-255.
- 25.5 The amount is to be deducted from the vendor's entitlement to the contract *consideration and is then taken to be paid to the vendor, whether or not the vendor provides the purchaser with a GST withholding notice in accordance with section 14-255 of Schedule 1 to the *Taxation Administration Act 1953* (Cth). The vendor must pay to the purchaser at settlement such part of the amount as is represented by non-monetary consideration.
- 25.6 The purchaser must:
- (a) engage a legal practitioner or conveyancer ("representative") to conduct all the legal aspects of settlement, including the performance of the purchaser's obligations under the legislation and this general condition; and
 - (b) ensure that the representative does so.
- 25.7 The terms of the representative's engagement are taken to include instructions to have regard to the vendor's interests relating to the payment of the amount to the Commissioner and instructions that the representative must:
- (a) pay, or ensure payment of, the amount to the Commissioner in the manner required by the Commissioner and as soon as reasonably and practicably possible, from moneys under the control or direction of the representative in accordance with this general condition on settlement of the sale of the property;

- (b) promptly provide the vendor with evidence of payment, including any notification or other document provided by the purchaser to the Commissioner relating to payment; and
- (c) otherwise comply, or ensure compliance, with this general condition;

despite:

- (d) any contrary instructions, other than from both the purchaser and the vendor; and
- (e) any other provision in this contract to the contrary.

25.8 The representative is taken to have complied with the requirements of general condition 25.7 if:

- (a) settlement is conducted through the electronic lodgement network; and
- (b) the amount is included in the settlement statement requiring payment to the Commissioner in respect of this transaction.

25.9 The purchaser may at settlement give the vendor a bank cheque for the amount in accordance with section 16-30 (3) of Schedule 1 to the *Taxation Administration Act 1953* (Cth), but only if:

- (a) so agreed by the vendor in writing; and
- (b) the settlement is not conducted through an electronic lodgement network.

However, if the purchaser gives the bank cheque in accordance with this general condition 25.9, the vendor must:

- (c) immediately after settlement provide the bank cheque to the Commissioner to pay the amount in relation to the supply; and
- (d) give the purchaser a receipt for the bank cheque which identifies the transaction and includes particulars of the bank cheque, at the same time the purchaser gives the vendor the bank cheque.

25.10 A party must provide the other party with such information as the other party requires to:

- (a) decide if an amount is required to be paid or the quantum of it, or
- (b) comply with the purchaser's obligation to pay the amount,

in accordance with section 14-250 of Schedule 1 to the *Taxation Administration Act 1953* (Cth). The information must be provided within 5 business days of a written request. The party providing the information warrants that it is true and correct.

25.11 The vendor warrants that:

- (a) at settlement, the property is not new residential premises or potential residential land in either case falling within the parameters of section 14-250 of Schedule 1 to the *Taxation Administration Act 1953* (Cth) if the vendor gives the purchaser a written notice under section 14-255 to the effect that the purchaser will not be required to make a payment under section 14-250 in respect of the supply, or fails to give a written notice as required by and within the time specified in section 14-255; and
- (b) the amount described in a written notice given by the vendor to the purchaser under section 14-255 of Schedule 1 to the *Taxation Administration Act 1953* (Cth) is the correct amount required to be paid under section 14-250 of the legislation.

25.12 The purchaser is responsible for any penalties or interest payable to the Commissioner on account of non-payment or late payment of the amount, except to the extent that:

- (a) the penalties or interest arise from any failure on the part of the vendor, including breach of a warranty in general condition 25.11; or
- (b) the purchaser's reasonable belief that the property is neither new residential premises nor potential residential land requiring the purchaser to pay an amount to the Commissioner in accordance with section 14-250 (1) of Schedule 1 to the *Taxation Administration Act 1953* (Cth)

The vendor is responsible for any penalties or interest payable to the Commissioner on account of non-payment or late payment of the amount if either exception applies.

Transactional

26. TIME & CO OPERATION

26.1 Time is of the essence of this contract.

- 26.2 Time is extended until the next business day if the time for performing any action falls on a day which is not a business day.
- 26.3 Each party must do all things reasonably necessary to enable this contract to proceed to settlement, and must act in a prompt and efficient manner.
- 26.4 Any unfulfilled obligation will not merge on settlement.

27. SERVICE

- 27.1 Any document required to be served by or on any party may be served by or on the legal practitioner or conveyancer for that party.
- 27.2 A cooling off notice under section 31 of the *Sale of Land Act 1962* or a notice under general condition 20 [loan approval], 21 [building report] or 22 [pest report] may be served on the vendor's legal practitioner, conveyancer or estate agent even if the estate agent's authority has formally expired at the time of service.
- 27.3 A document is sufficiently served:
- (a) personally; or
 - (b) by pre-paid post; or
 - (c) in any manner authorised by law or by the Supreme Court for service of documents, including any manner authorised for service on or by a legal practitioner; whether or not the person serving or receiving the document is a legal practitioner, or
 - (d) by email.
- 27.4 Any document properly sent by:
- (a) express post is taken to have been served on the next business day after posting, unless proved otherwise;
 - (b) priority post is taken to have been served on the fourth business day after posting, unless proved otherwise;
 - (c) regular post is taken to have been served on the sixth business day after posting, unless proved otherwise;
 - (d) email is taken to have been served at the time of receipt within the meaning of section 13A of the *Electronic Transactions (Victoria) Act 2000*.
- 27.5 In this contract 'document' includes 'demand' and 'notice', 'serve' includes 'give' and 'served' and 'service' have corresponding meanings.

28. NOTICES

- 28.1 The vendor is responsible for any notice, order, demand or levy imposing liability on the property that is issued or made before the day of sale, and does not relate to periodic outgoings.
- 28.2 The purchaser is responsible for any notice, order, demand or levy imposing liability on the property that is issued or made on or after the day of sale that does not relate to periodic outgoings.
- 28.3 The purchaser may enter the property to comply with that responsibility where action is required before settlement.

29. INSPECTION

The purchaser and/or another person authorised by the purchaser may inspect the property at any reasonable time during the 7 days preceding and including the settlement day.

30. TERMS CONTRACT

- 30.1 If this is a 'terms contract' as defined in the *Sale of Land Act 1962*:
- (a) any mortgage affecting the land sold must be discharged as to that land before the purchaser becomes entitled to possession or to the receipt of rents and profits unless the vendor satisfies section 29M of the *Sale of Land Act 1962*; and
 - (b) the deposit and all other money payable under the contract (other than any money payable in excess of the amount required to so discharge the mortgage) must be paid to a legal practitioner or conveyancer or a licensed estate agent to be applied in or towards discharging the mortgage.
- 30.2 While any money remains owing each of the following applies:

- (a) the purchaser must maintain full damage and destruction insurance of the property and public risk insurance noting all parties having an insurable interest with an insurer approved in writing by the vendor;
- (b) the purchaser must deliver copies of the signed insurance application forms, the policies and the insurance receipts to the vendor not less than 10 days before taking possession of the property or becoming entitled to receipt of the rents and profits;
- (c) the purchaser must deliver copies of any amendments to the policies and the insurance receipts on each amendment or renewal as evidence of the status of the policies from time to time;
- (d) the vendor may pay any renewal premiums or take out the insurance if the purchaser fails to meet these obligations;
- (e) insurance costs paid by the vendor under paragraph (d) must be refunded by the purchaser on demand without affecting the vendor's other rights under this contract;
- (f) the purchaser must maintain and operate the property in good repair (fair wear and tear excepted) and keep the property safe, lawful, structurally sound, weatherproof and free from contaminations and dangerous substances;
- (g) the property must not be altered in any way without the written consent of the vendor which must not be unreasonably refused or delayed;
- (h) the purchaser must observe all obligations that affect owners or occupiers of land;
- (i) the vendor and/or other person authorised by the vendor may enter the property at any reasonable time to inspect it on giving 7 days written notice, but not more than twice in a year.

31. LOSS OR DAMAGE BEFORE SETTLEMENT

- 31.1 The vendor carries the risk of loss or damage to the property until settlement.
- 31.2 The vendor must deliver the property to the purchaser at settlement in the same condition it was in on the day of sale, except for fair wear and tear.
- 31.3 The purchaser must not delay settlement because one or more of the goods is not in the condition required by general condition 31.2, but may claim compensation from the vendor after settlement.
- 31.4 The purchaser may nominate an amount not exceeding \$5,000 to be held by a stakeholder to be appointed by the parties if the property is not in the condition required by general condition 31.2 at settlement.
- 31.5 The nominated amount may be deducted from the amount due to the vendor at settlement and paid to the stakeholder, but only if the purchaser also pays an amount equal to the nominated amount to the stakeholder.
- 31.6 The stakeholder must pay the amounts referred to in general condition 31.5 in accordance with the determination of the dispute, including any order for payment of the costs of the resolution of the dispute.

32. BREACH

A party who breaches this contract must pay to the other party on demand:

- (a) compensation for any reasonably foreseeable loss to the other party resulting from the breach; and
- (b) any interest due under this contract as a result of the breach.

Default

33. INTEREST

Interest at a rate of 2% per annum plus the rate for the time being fixed by section 2 of the *Penalty Interest Rates Act 1983* is payable at settlement on any money owing under the contract during the period of default, without affecting any other rights of the offended party.

34. DEFAULT NOTICE

- 34.1 A party is not entitled to exercise any rights arising from the other party's default, other than the right to receive interest and the right to sue for money owing, until the other party is given and fails to comply with a written default notice.
- 34.2 The default notice must:
 - (a) specify the particulars of the default; and

- (b) state that it is the offended party's intention to exercise the rights arising from the default unless, within 14 days of the notice being given-
 - (i) the default is remedied; and
 - (ii) the reasonable costs incurred as a result of the default and any interest payable are paid.

35. DEFAULT NOT REMEDIED

- 35.1 All unpaid money under the contract becomes immediately payable to the vendor if the default has been made by the purchaser and is not remedied and the costs and interest are not paid.
 - 35.2 The contract immediately ends if:
 - (a) the default notice also states that unless the default is remedied and the reasonable costs and interest are paid, the contract will be ended in accordance with this general condition; and
 - (b) the default is not remedied and the reasonable costs and interest are not paid by the end of the period of the default notice.
 - 35.3 If the contract ends by a default notice given by the purchaser:
 - (a) the purchaser must be repaid any money paid under the contract and be paid any interest and reasonable costs payable under the contract; and
 - (b) all those amounts are a charge on the land until payment; and
 - (c) the purchaser may also recover any loss otherwise recoverable.
 - 35.4 If the contract ends by a default notice given by the vendor:
 - (a) the deposit up to 10% of the price is forfeited to the vendor as the vendor's absolute property, whether the deposit has been paid or not; and
 - (b) the vendor is entitled to possession of the property; and
 - (c) in addition to any other remedy, the vendor may within one year of the contract ending either:
 - (i) retain the property and sue for damages for breach of contract; or
 - (ii) resell the property in any manner and recover any deficiency in the price on the resale and any resulting expenses by way of liquidated damages; and
 - (d) the vendor may retain any part of the price paid until the vendor's damages have been determined and may apply that money towards those damages; and
 - (e) any determination of the vendor's damages must take into account the amount forfeited to the vendor.
 - 35.5 The ending of the contract does not affect the rights of the offended party as a consequence of the default.
-

GUARANTEE and INDEMNITY

I/We,
of

and.....
of

being the **Sole Director / Directors** of
of (called the "Guarantors") IN

CONSIDERATION of the Vendor selling to the Purchaser at our request the Land described in this Contract of Sale for the price and upon the terms and conditions contained therein **DO** for ourselves and our respective executors and administrators **JOINTLY AND SEVERALLY COVENANT** with the said Vendor and their assigns that if at any time default shall be made in payment of the Deposit Money or residue of Purchase Money or interest or any other moneys payable by the Purchaser to the Vendor under this Contract or in the performance or observance of any term or condition of this Contract to be performed or observed by the Purchaser I/we will immediately on demand by the Vendor pay to the Vendor the whole of the Deposit Money, residue of Purchase Money, interest or other moneys which shall then be due and payable to the Vendor and indemnify and agree to keep the Vendor indemnified against all loss of Deposit Money, residue of Purchase Money, interest and other moneys payable under the within Contract and all losses, costs, charges and expenses whatsoever which the Vendor may incur by reason of any default on the part of the Purchaser. This Guarantee shall be a continuing Guarantee and Indemnity and shall not be released by: -

- (f) any neglect or forbearance on the part of the Vendor in enforcing payment of any of the moneys payable under the within Contract;
- (g) the performance or observance of any of the agreements, obligations or conditions under the within Contract;
- (h) by time given to the Purchaser for any such payment performance or observance;
- (i) by reason of the Vendor assigning his, her or their rights under the said Contract; and
- (j) by any other thing which under the law relating to sureties would but for this provision have the effect of releasing me/us, my/our executors or administrators.

IN WITNESS whereof the parties hereto have set their hands and seals

this day of 2025

SIGNED by the said)

Print Name:)

.....

.....

Director (Sign)

in the presence of:)

Witness:)

INFORMATION ONLY

Vendor GST Withholding Notice

Pursuant to Section 14-255 Schedule 1 Taxation Administration Act 1953 (Cwlth)

To:

From: Suman Kunwar and Nabina Adhikari, 16 Nicastro Avenue, Wollert VIC 3750

Property Address: 16 Nicastro Avenue, Wollert VIC 3750

Lot: 545 Plan of subdivision: 807895D

The Purchaser is not required to make a payment under Section 14-250 of Schedule 1 of the Taxation Administration Act 1953 (Cwlth) in relation to the supply of the above property

Dated: 18/03/2025

Signed for an on behalf of the Vendor: *Your Dream Home Conveyancing PTY LTD*

Vendor Statement

The vendor makes this statement in respect of the land in accordance with section 32 of the *Sale of Land Act 1962*.

This statement must be signed by the vendor and given to the purchaser before the purchaser signs the contract.
The vendor may sign by electronic signature.

The purchaser acknowledges being given this statement signed by the vendor with the attached documents before the purchaser signed any contract.

Land	16 NICASTRO AVENUE, WOLLERT VIC 3750
-------------	--------------------------------------

Vendor's name	Suman Kunwar	Date	/ /
Vendor's signature	<small>Signed by:</small> <i>Suman Kunwar</i> 21/2/2025 <small>294D57ABE96D440...</small>		
Vendor's name	Nabina Adhikari	Date	/ /
Vendor's signature	<small>Signed by:</small> <i>Nabina Adhikari</i> 21/2/2025 <small>B987A568DA35452...</small>		

Purchaser's name		Date	/ /
Purchaser's signature			
Purchaser's name		Date	/ /
Purchaser's signature			

1. FINANCIAL MATTERS

1.1 Particulars of any Rates, Taxes, Charges or Other Similar Outgoings (and any interest on them)

(a) Their total does not exceed: \$6,000.00

1.2 Particulars of any Charge (whether registered or not) imposed by or under any Act to secure an amount due under that Act, including the amount owing under the charge

\$0.00	To	
--------	----	--

Other particulars (including dates and times of payments):

1.3 Terms Contract

This section 1.3 only applies if this vendor statement is in respect of a terms contract where the purchaser is obliged to make 2 or more payments (other than a deposit or final payment) to the vendor after the execution of the contract and before the purchaser is entitled to a conveyance or transfer of the land.

Not Applicable

1.4 Sale Subject to Mortgage

This section 1.4 only applies if this vendor statement is in respect of a contract which provides that any mortgage (whether registered or unregistered), is NOT to be discharged before the purchaser becomes entitled to possession or receipts of rents and profits.

Not Applicable

1.5 Commercial and Industrial Property Tax Reform Act 2024 (Vic) (CIPT Act)

(a) The Australian Valuation Property Classification Code (within the meaning of the CIPT Act) most recently allocated to the land is set out in the attached Municipal rates notice or property clearance certificate or is as follows	AVPC No.
(b) Is the land tax reform scheme land within the meaning of the CIPT Act?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
(c) If the land is tax reform scheme land within the meaning of the CIPT Act, the entry date within the meaning of the CIPT Act is set out in the attached Municipal rates notice or property clearance certificate or is as follows	Date: OR <input checked="" type="checkbox"/> Not applicable

2. INSURANCE

2.1 Damage and Destruction

This section 2.1 only applies if this vendor statement is in respect of a contract which does NOT provide for the land to remain at the risk of the vendor until the purchaser becomes entitled to possession or receipt of rents and profits.

Not Applicable

2.2 Owner Builder

This section 2.2 only applies where there is a residence on the land that was constructed by an owner-builder within the preceding 6 years and section 137B of the Building Act 1993 applies to the residence.

Not Applicable

3. LAND USE

3.1 Easements, Covenants or Other Similar Restrictions

(a) A description of any easement, covenant or other similar restriction affecting the land (whether registered or unregistered):

Is in the attached copies of title document/s

(b) Particulars of any existing failure to comply with that easement, covenant or other similar restriction are:

Not Applicable

3.2 Road Access

There is NO access to the property by road if the square box is marked with an 'X'

3.3 Designated Bushfire Prone Area

The land is in a designated bushfire prone area within the meaning of section 192A of the *Building Act* 1993 if the square box is marked with an 'X'

3.4 Planning Scheme

Attached is a certificate with the required specified information.

4. NOTICES

4.1 Notice, Order, Declaration, Report or Recommendation

Particulars of any notice, order, declaration, report or recommendation of a public authority or government department or approved proposal directly and currently affecting the land, being a notice, order, declaration, report, recommendation or approved proposal of which the vendor might reasonably be expected to have knowledge:

Not Applicable

4.2 Agricultural Chemicals

There are NO notices, property management plans, reports or orders in respect of the land issued by a government department or public authority in relation to livestock disease or contamination by agricultural chemicals affecting the ongoing use of the land for agricultural purposes. However, if this is not the case, the details of any such notices, property management plans, reports or orders, are as follows:

NIL

4.3 Compulsory Acquisition

The particulars of any notices of intention to acquire that have been served under section 6 of the *Land Acquisition and Compensation Act* 1986 are as follows:

NIL

5. BUILDING PERMITS

Particulars of any building permit issued under the *Building Act* 1993 in the preceding 7 years (required only where there is a residence on the land):

Are contained in the attached certificate

6. OWNERS CORPORATION

This section 6 only applies if the land is affected by an owners corporation within the meaning of the *Owners Corporations Act* 2006.

Not Applicable

7. GROWTH AREAS INFRASTRUCTURE CONTRIBUTION ("GAIC")

Words and expressions in this section 7 have the same meaning as in Part 9B of the *Planning and Environment Act* 1987.

7.1 Work-in-Kind Agreement

This section 7.1 only applies if the land is subject to a work-in-kind agreement.

(a) The land is NOT to be transferred under the agreement unless the square box is marked with an 'X'

(b) The land is NOT land on which works are to be carried out under the agreement (other than Crown

land) unless the square box is marked with an 'X'

- (c) The land is NOT land in respect of which a GAIC is imposed unless the square box is marked with an 'X'

7.2 GAIC Recording

This section 7.2 only applies if there is a GAIC recording.

Any of the following certificates or notices must be attached if there is a GAIC recording.

The accompanying boxes marked with an 'X' indicate that such a certificate or notice that is attached:

- (a) Any certificate of release from liability to pay a GAIC
- (b) Any certificate of deferral of the liability to pay the whole or part of a GAIC
- (c) Any certificate of exemption from liability to pay a GAIC
- (d) Any certificate of staged payment approval
- (e) Any certificate of no GAIC liability
- (f) Any notice providing evidence of the grant of a reduction of the whole or part of the liability for a GAIC or an exemption from that liability
- (g) A GAIC certificate issued under Part 9B of the Planning and Environment Act 1987 must be attached if there is no certificate or notice issued under any of sub-sections 7.2 (a) to (f) above

8. SERVICES

The services which are marked with an 'X' in the accompanying square box are NOT connected to the land:

Electricity supply <input type="checkbox"/>	Gas supply <input type="checkbox"/>	Water supply <input type="checkbox"/>	Sewerage <input type="checkbox"/>	Telephone services <input checked="" type="checkbox"/>
---	-------------------------------------	---------------------------------------	-----------------------------------	--

9. TITLE

Attached are copies of the following documents:

- 9.1 (a) Registered Title

A Register Search Statement and the document, or part of a document, referred to as the 'diagram location' in that statement which identifies the land and its location.

10. SUBDIVISION

10.1 Unregistered Subdivision

This section 10.1 only applies if the land is subject to a subdivision which is not registered.

Not Applicable

10.2 Staged Subdivision

This section 10.2 only applies if the land is part of a staged subdivision within the meaning of section 37 of the *Subdivision Act 1988*.

- (a) Attached is a copy of the plan for the first stage if the land is in the second or subsequent stage.
- (b) The requirements in a statement of compliance relating to the stage in which the land is included that have Not been complied With are As follows:
NIL
- (c) The proposals relating to subsequent stages that are known to the vendor are as follows:
NIL
- (d) The contents of any permit under the Planning and Environment Act 1987 authorising the staged subdivision are:

NIL

10.3 Further Plan of Subdivision

This section 10.3 only applies if the land is subject to a subdivision in respect of which a further plan within the meaning of the *Subdivision Act 1988* is proposed.

Not Applicable

11. DISCLOSURE OF ENERGY INFORMATION

(Disclosure of this information is not required under section 32 of the Sale of Land Act 1962 but may be included in this vendor statement for convenience.)

Details of any energy efficiency information required to be disclosed regarding a disclosure affected building or disclosure area affected area of a building as defined by the *Building Energy Efficiency Disclosure Act 2010* (Cth)

- (a) to be a building or part of a building used or capable of being used as an office for administrative, clerical, professional or similar based activities including any support facilities; and
- (b) which has a net lettable area of at least 1000m²; (but does not include a building under a strata title system or if an occupancy permit was issued less than 2 years before the relevant date):

Not Applicable

12. DUE DILIGENCE CHECKLIST

(The Sale of Land Act 1962 provides that the vendor or the vendor's licensed estate agent must make a prescribed due diligence checklist available to purchasers before offering land for sale that is vacant residential land or land on which there is a residence. The due diligence checklist is NOT required to be provided with, or attached to, this vendor statement but the checklist may be attached as a matter of convenience.)

Is attached

13. ATTACHMENTS

(Any certificates, documents and other attachments may be annexed to this section 13)

(Additional information may be added to this section 13 where there is insufficient space in any of the earlier sections)

(Attached is an "Additional Vendor Statement" if section 1.3 (Terms Contract) or section 1.4 (Sale Subject to Mortgage) applies)

Due diligence checklist

What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](http://consumer.vic.gov.au/duediligencechecklist) (consumer.vic.gov.au/duediligencechecklist).

Urban living

Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

Growth areas

Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

Flood and fire risk

Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

Rural properties

Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

Soil and groundwater contamination

Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

(04/10/2016)

Land boundaries

Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

Planning controls

Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

Safety

Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

Building permits

Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

Utilities and essential services

Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

Buyers' rights

Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12170 FOLIO 793

Security no : 124122964881Y
Produced 19/03/2025 01:37 PM

LAND DESCRIPTION

Lot 545 on Plan of Subdivision 807895D.
PARENT TITLE Volume 12163 Folio 588
Created by instrument PS807895D 04/12/2019

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
SUMAN KUNWAR
NABINA ADHIKARI both of 16 NICASTRO AVENUE WOLLERT VIC 3750
AX126292K 07/08/2023

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY640277D 28/11/2024
AUSTRALIA AND NEW ZEALAND BANKING GROUP LTD

COVENANT PS807895D 04/12/2019

COVENANT AT162607R 16/04/2020

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS807895D FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AY640276F (E)	DISCHARGE OF MORTGAGE	Registered	28/11/2024
AY640277D (E)	MORTGAGE	Registered	28/11/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 16 NICASTRO AVENUE WOLLERT VIC 3750

ADMINISTRATIVE NOTICES

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Effective from 28/11/2024

DOCUMENT END

Imaged Document Cover Sheet


The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	PS807895D
Number of Pages (excluding this cover sheet)	11
Document Assembled	19/03/2025 13:37

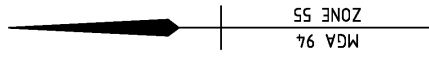
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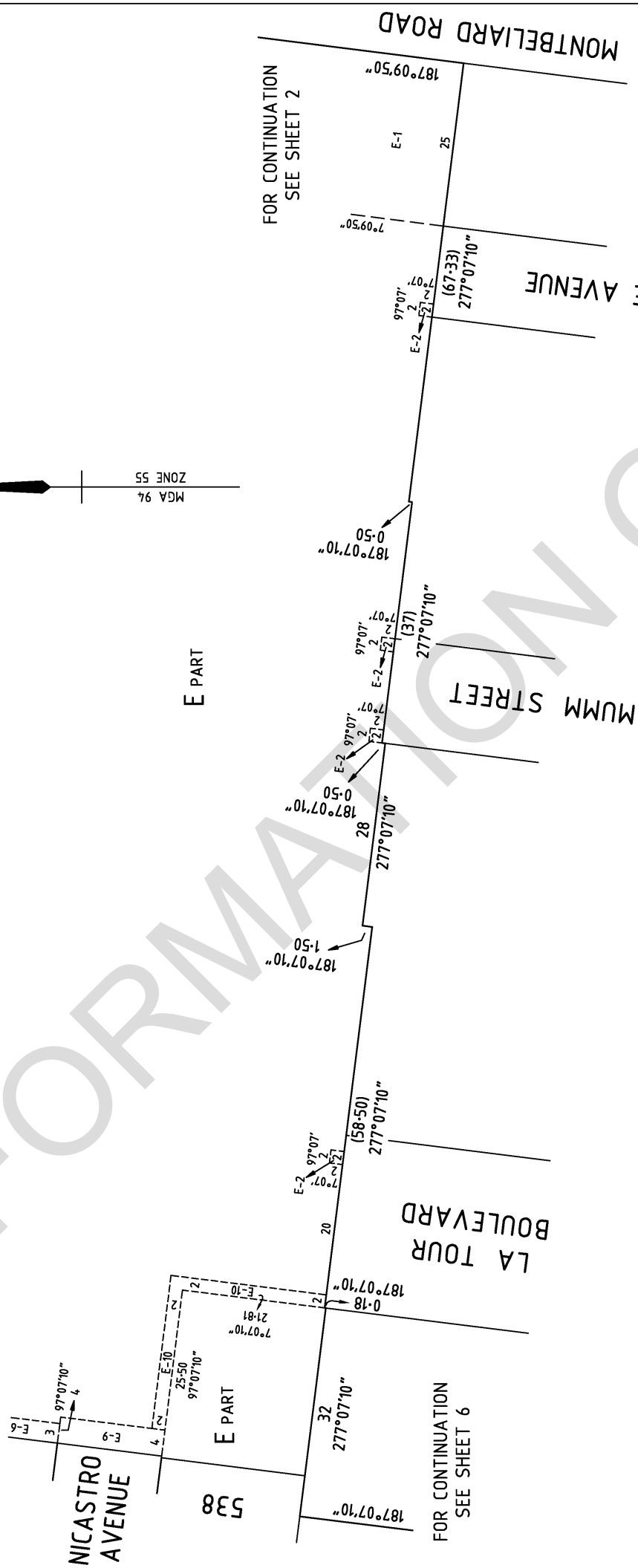
The document is invalid if this cover sheet is removed or altered.

PLAN OF SUBDIVISION			EDITION 1	PS 807895D		
LOCATION OF LAND PARISH: WOLLERT TOWNSHIP: SECTION: 17 CROWN PORTION: 1 (PART) TITLE REFERENCE: VOL. 12163 FOL. 588 LAST PLAN REFERENCE: PS 807884J LOT D POSTAL ADDRESS: 290D CRAIGIEBURN ROAD (AT TIME OF SUBDIVISION) WOLLERT 3750 MGA94 CO-ORDINATES: E 323 250 ZONE 55 (AT APPROX CENTRE OF LAND IN PLAN) N 5 836 600			Council Name: Whittlesea City Council Council Reference Number: 609605 Planning Permit Reference: 716603 SPEAR Reference Number: S109983E Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 14/11/2018 Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Courtney Sheridan Turner for Whittlesea City Council on 26/11/2019 Statement of Compliance issued: 27/11/2019 Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance			
VESTING OF ROADS AND OR RESERVES			NOTATIONS			
IDENTIFIER	COUNCIL/BODY/PERSON		RESTRICTIONS ARE TO BE CREATED UPON REGISTRATION OF THIS PLAN ---- SEE SHEETS 7 TO 11. OTHER PURPOSE OF PLAN: PART OF SEWERAGE EASEMENT E-2 CREATED IN PS 807884J AFFECTING ROAD R-1 ON THIS PLAN IS TO BE REMOVED UPON REGISTRATION OF THIS PLAN. GROUND FOR EASEMENT REMOVAL: BY AGREEMENT OF THE RELEVANT AUTHORITIES VIDE SECTION 6(1)(k)(iii) OF THE SUBDIVISION ACT 1988 LOT E COMPRISES 2 PARTS.			
ROADS R-1 RESERVE No.1 RESERVE No.2	WHITTLESEA CITY COUNCIL WHITTLESEA CITY COUNCIL AUSNET ELECTRICITY SERVICES PTY LTD					
NOTATIONS			RESTRICTIONS ARE TO BE CREATED UPON REGISTRATION OF THIS PLAN ---- SEE SHEETS 7 TO 11. OTHER PURPOSE OF PLAN: PART OF SEWERAGE EASEMENT E-2 CREATED IN PS 807884J AFFECTING ROAD R-1 ON THIS PLAN IS TO BE REMOVED UPON REGISTRATION OF THIS PLAN. GROUND FOR EASEMENT REMOVAL: BY AGREEMENT OF THE RELEVANT AUTHORITIES VIDE SECTION 6(1)(k)(iii) OF THE SUBDIVISION ACT 1988 LOT E COMPRISES 2 PARTS.			
DEPTH LIMITATION: DOES NOT APPLY						
STAGING: THIS IS NOT A STAGED SUBDIVISION. PLANNING PERMIT No. LOTS 1 TO 500 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. SURVEY: THIS PLAN IS BASED ON SURVEY IN BP 3249 THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARK No(s) 126, 47, 21 IN PROCLAIMED SURVEY AREA No.74						
EASEMENT INFORMATION						
LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)						
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF		
E-1	SUPPLY OF GAS AND RIGHTS IN CONNECTION THEREWITH	35	G225018	VOL.5219 FOL.723 (GAS & FUEL CORPORATION VICTORIA)		
E-1	SUPPLY OF GAS AND RIGHTS IN CONNECTION THEREWITH	35	PS 749772R	APA VTS Australia		
E-3	SEWERAGE	SEE DIAG.	PS 749772R	YARRA VALLEY WATER CORPORATION		
E-2,E-4	SEWERAGE	SEE DIAG.	PS 807884J	YARRA VALLEY WATER CORPORATION		
E-4, E-11	DRAINAGE	SEE DIAG.	PS 807884J	WHITTLESEA CITY COUNCIL		
E-5,E-6,E-9,E-10	SEWERAGE	SEE DIAG.	THIS PLAN	YARRA VALLEY WATER CORPORATION		
E-6,E-7,E-9	DRAINAGE	SEE DIAG.	THIS PLAN	WHITTLESEA CITY COUNCIL		
E-8	WATER SUPPLY	SEE DIAG.	PS 749772R	YARRA VALLEY WATER CORPORATION		
E-9	WATER SUPPLY	SEE DIAG.	THIS PLAN	YARRA VALLEY WATER CORPORATION		
E-9	GAS SUPPLY	SEE DIAG.	THIS PLAN-SEC 146 OF GAS INDUSTRY ACT 2001	AUSTRALIAN GAS NETWORKS (VIC) PTY LTD		
 LICENSED LAND SURVEYORS & ENGINEERS CALIBRE CONSULTING (MELB) PTY LTD Level 2, 55 Southbank Boulevard Southbank VIC 3008 T 03 9203 8000 F 03 9203 9099 www.calibreconsulting.com		ARRAMONT Stage 5	DEVELOPMENT AREA: 3.293ha	NO.OF LOTS: 61 + E	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 11 SHEETS
Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (R), 26/11/2019, SPEAR Ref: S109983E			PLAN REGISTERED TIME: 6.29pm DATE: 4/12/2019 A.R.T. Assistant Registrar of Titles			
REF: 15-004370/5		VERSION: R		RM 01.07.19		

PS 807895D



FOR CONTINUATION
SEE SHEET 6



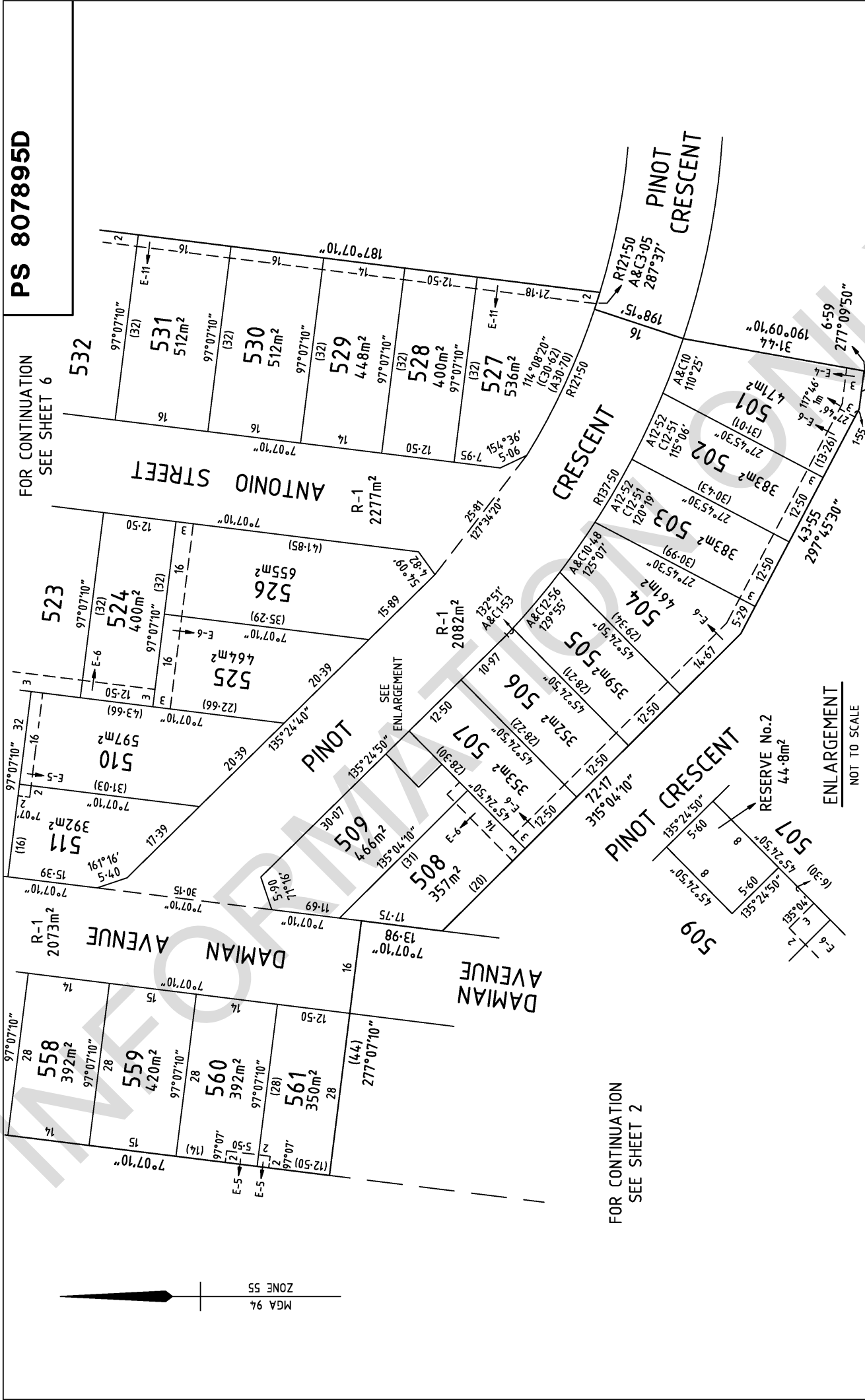
FOR CONTINUATION
SEE SHEET 2

FOR CONTINUATION
SEE SHEET 6

<p>LICENSED LAND SURVEYORS & ENGINEERS CALIBRE CONSULTING (WELB) PTY LTD Level 2, 55 Southbank Boulevard Southbank VIC 3000 T 03 9203 9000 F 03 9203 9099 www.calibreconsulting.com</p>		<p>SCALE 1:600</p>	<p>LENGTHS ARE IN METRES</p> <p>0 6 12 18 24 30</p>	<p>ORIGINAL SHEET SIZE: A3</p>	<p>SHEET 4 OF 11 SHEETS</p>
<p>REF: 15-004-370/5 VERSION: R RM 23.07.19</p>		<p>Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (R), 26/11/2019, SPEAR Ref: S109983E</p>			
<p>Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (R), 26/11/2019, SPEAR Ref: S109983E</p>		<p>Digitally signed by: Whittlesea City Council, 26/11/2019, SPEAR Ref: S109983E</p>			

PS 807895D

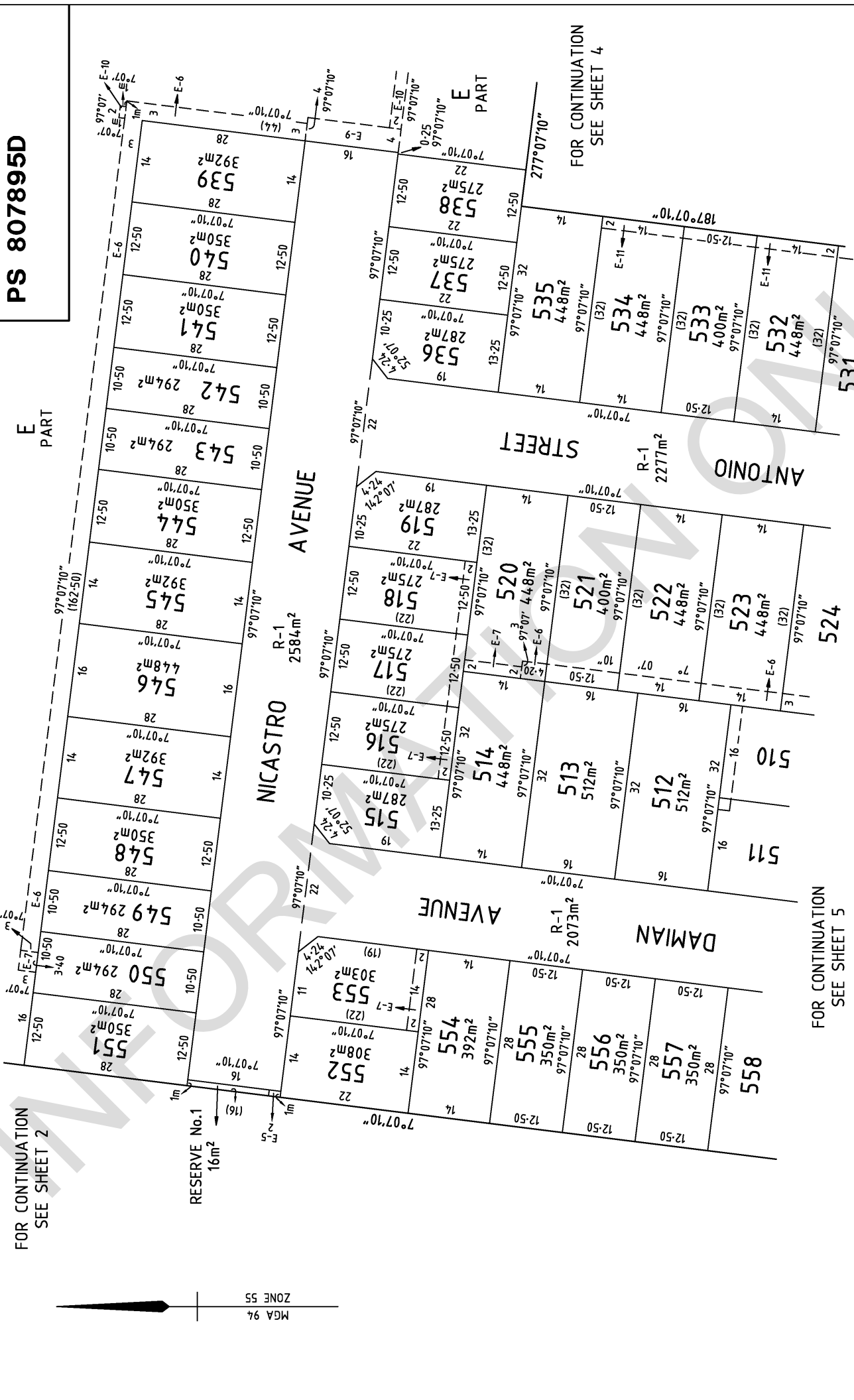
FOR CONTINUATION
SEE SHEET 6



FOR CONTINUATION
SEE SHEET 2

ENLARGEMENT
NOT TO SCALE

<p>ORIGINAL SHEET SIZE: A3</p>	<p>SHEET 5 OF 11 SHEETS</p>
<p>SCALE 1:600</p> <p>LENGTHS ARE IN METRES</p>	<p>Digitally signed by: Whittlesea City Council, 26/11/2019, SPEAR Ref: S109983E</p>
<p>Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (R), 26/11/2019, SPEAR Ref: S109983E</p>	
<p>LICENSED LAND SURVEYORS & ENGINEERS CALIBRE CONSULTING (MELB) PTY LTD Level 2, 55 Southbank Boulevard Southbank VIC 3008 T 03 9203 9000 F 03 9203 9099 www.calibreconsulting.co</p> <p>REF: 15-004370/5 VERSION: R RM 01.07.19</p>	



PS 807895D

FOR CONTINUATION SEE SHEET 2

E PART

E PART

FOR CONTINUATION SEE SHEET 4

FOR CONTINUATION SEE SHEET 5

FOR CONTINUATION SEE SHEET 6 OF 11 SHEETS

SCALE 1:600

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3

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Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (R), 26/11/2019, SPEAR Ref: S109983E

REF: 15-004370/5 VERSION: R RM 23.07.19

LICENSED LAND SURVEYORS & ENGINEERS CALIBRE CONSULTING (MELB) PTY LTD Level 2, 55 Southbank Boulevard Southbank VIC 3008 T 03 9203 9000 F 03 9203 9099 www.calibreconsulting.co

calibre CONSULTING

PS 807895D

CREATION OF RESTRICTION No.1

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

LAND TO BE BURDENED: LOTS 501 TO 514, 520 TO 535, 539 TO 541, 544 TO 548 AND 551 TO 561 (ALL INCLUSIVE)

LAND TO BE BENEFITED: LOTS 501 TO 561 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY LOT ON THIS PLAN TO WHICH THE FOLLOWING RESTRICTIONS APPLY SHALL NOT:

1. BUILD OR CAUSE TO BE BUILT OR ALLOW TO BE BUILT OR ALLOW TO REMAIN A DWELLING OR ANY OTHER IMPROVEMENTS, OR CARRY OUT CAUSE TO BE CARRIED OUT OR ALLOW TO BE CARRIED OUT ANY BUILDING OR CONSTRUCTION WORKS ON THE LOT UNLESS:
 - (A) COPIES OF BUILDING PLANS, ELEVATIONS, ROOF PLAN, SITE PLAN (INCORPORATING SETBACK FROM ALL BOUNDARIES, BUILDING ENVELOPE, EXISTING CONTOUR, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS, AND LANDSCAPING) AND SCHEDULE OF EXTERNAL COLOURS AND MATERIALS ("PLANS") HAVE BEEN SUBMITTED TO THE ARRAMONT ASSESSMENT PANEL CARE OF EVOLVE DEVELOPMENT PTY LTD, SUITE B, 1 ALBERT ROAD MELBOURNE 3004 OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE ARRAMONT ASSESSMENT PANEL FROM TIME TO TIME;
 - (B) THE PLANS COMPLY WITH THE DESIGN GUIDELINES, A COPY OF WHICH CAN BE OBTAINED FROM THE WEBSITE AT www.aramont.com.au AND
 - (C) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAS GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS;


2. AT ANY TIME ERECT, CONSTRUCT, BUILD OR CAUSE TO BE ERECTED, CONSTRUCTED OR BUILT ON A LOT:
 - (A) ANY BUILDING OTHER THAN ONE PRIVATE DWELLING WITH THE USUAL OUTBUILDINGS.
 - (B) ANY BUILDING WITH THE SAME FRONT FACADE TO THAT OF AN EXISTING PRIVATE DWELLING WITHIN 5 HOUSE LOTS, AND OPPOSITE THE PRIVATE DWELLING AND WITHIN 5 HOUSE LOTS, REGARDLESS OF STREET INTERSECTIONS.
 - (C) ANY PRIVATE DWELLING WITH A TOTAL FLOOR AREA (EXCLUDING ANY VERANDAH, BALCONY OR GARAGE) OF LESS THAN:
 - (i) 120m² IN THE CASE OF A LOT HAVING AN AREA BETWEEN 300m² AND 450m².
 - (ii) 150m² IN THE CASE OF A LOT HAVING AN AREA BETWEEN 451m² AND 600m².
 - (iii) 180m² IN THE CASE OF A LOT HAVING AN AREA GREATER THAN 601m².
 - (D) ANY PRIVATE DWELLING (INCLUDING GARAGE) OF WHICH LESS THAN THIRTY PERCENT (30%) OF THE EXTERNAL WALLS (EXCLUDING WINDOWS) IS CONSTRUCTED OF BRICK, BRICK VENEER, MASONRY, MASONRY VENEER OR OTHER APPROVED TEXTURE COATED MATERIAL.
 - (E) ANY PRIVATE DWELLING (INCLUDING GARAGE) UPON WHICH FASCIA BOARD'S TRIM AND EXPOSED METALWORK IS NOT COLOUR CO-ORDINATED WITH THE DWELLING HOUSE, UNLESS APPROVED BY THE DESIGN ASSESSMENT PANEL.
 - (F) ANY PRIVATE DWELLING (INCLUDING GARAGE) WITH UNPAINTED AND/OR UNTREATED METALWORK, UNLESS APPROVED BY THE DESIGN ASSESSMENT PANEL.
 - (G) ANY PRIVATE DWELLING (INCLUDING GARAGE) WITH REFLECTIVE GLAZING AND/OR TINTED GLASS, UNLESS APPROVED BY THE DESIGN ASSESSMENT PANEL.
 - (H) ANY PRIVATE DWELLING (INCLUDING GARAGE OR CARPORT) WITH A ROOF OF OTHER THAN MASONRY, TERRACOTTA ROOF TILES OR OTHER NON REFLECTIVE MATERIALS.
 - (I) ANY PRIVATE DWELLING THAT DOES NOT ALLOW FOR LOCK UP CAR ACCOMMODATION FOR AT LEAST ONE VEHICLE.
 - (J) ANY OPEN CARPORTS.
 - (K) ANY GARAGE WHICH IS CONSTRUCTED OF MATERIALS OTHER THAN MATERIALS OF THE SAME TYPE AND FINISH AS THE PRIVATE DWELLING ON A LOT.
 - (L) ANY GARAGE WITH ROLLER DOORS OR METAL TRAY DECK DOORS.

3. AT ANY TIME CONSTRUCT OR BUILD A DRIVEWAY OF ANY MATERIAL OTHER THAN COLOURED CONCRETE, PAVERS OR CONCRETE WITH EXPOSED AGGREGATE OR STAMPED OR STENCILED SURFACING IN NEUTRAL COLOURED TONES.

4. AT ANY TIME CONSTRUCT OR BUILD A DRIVEWAY WITHIN 500mm OF A SIDE BOUNDARY.

5. AT ANY TIME ALLOW FEATURES TO EXIST OTHER THAN SCREENING PLANTS, BETWEEN A DRIVEWAY AND A SIDE BOUNDARY, RESTRICTED TO THE CLOSEST SIDE BOUNDARY.

FOR CONTINUATION SEE SHEET 8

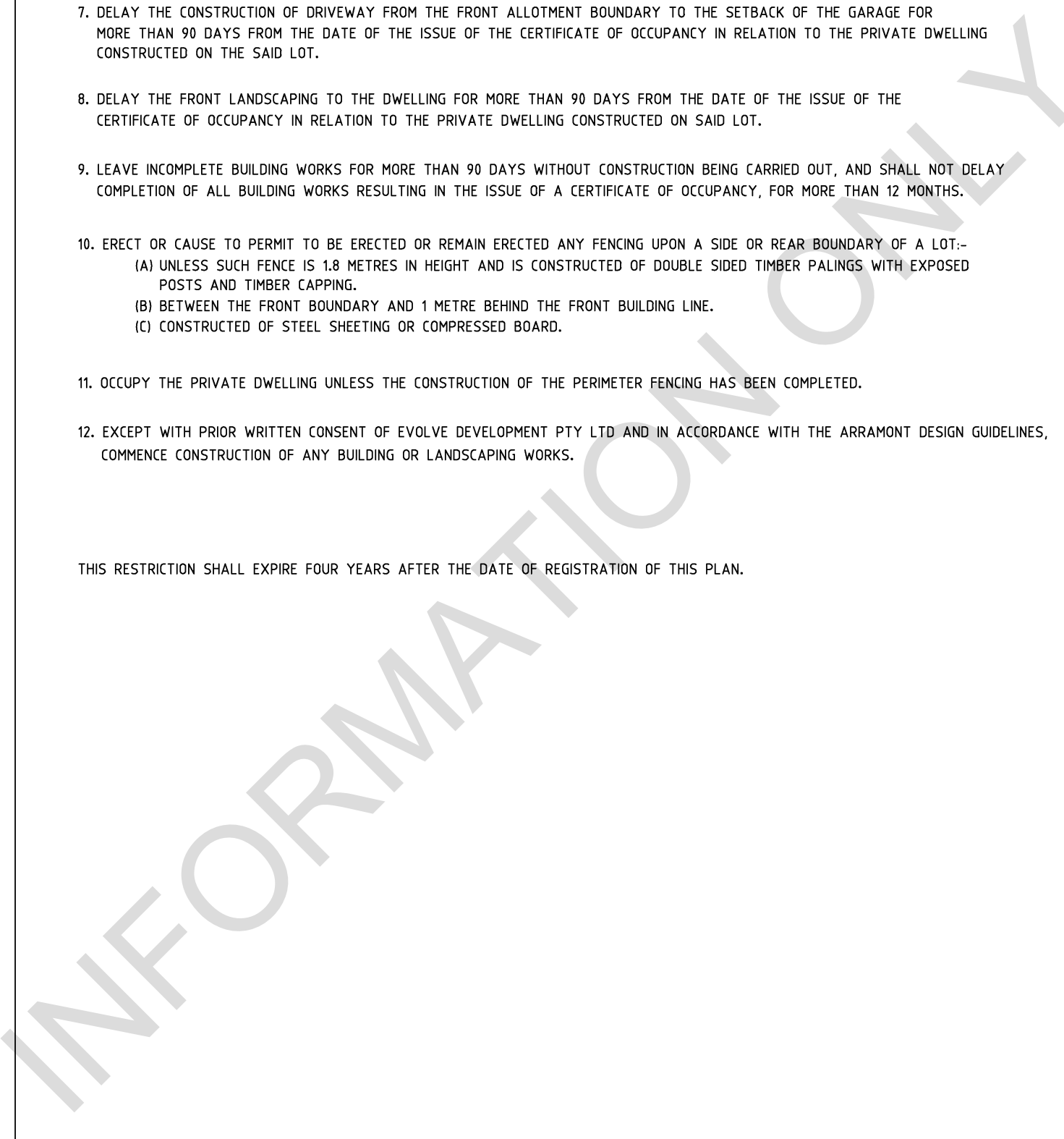
 <p>LICENSED LAND SURVEYORS & ENGINEERS CALIBRE CONSULTING (MELB) PTY LTD Level 2, 55 Southbank Boulevard Southbank VIC 3006 T 03 9203 9000 F 03 9203 9099 www.calibreconsulting.co</p>	<p>Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (R), 26/11/2019, SPEAR Ref: S109983E</p>	<p>ORIGINAL SHEET SIZE: A3</p>	<p>SHEET 7 OF 11 SHEETS</p> <p>Digitally signed by: Whittlesea City Council, 26/11/2019, SPEAR Ref: S109983E</p>
<p>REF: 15-004370/5 VERSION: R PG 18.5.17</p>			


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CREATION OF RESTRICTION No.1 (CONTINUED)

- 6. DAMAGE EXISTING DRIVEWAYS, CROSSOVERS AND FOOTPATHS DURING THE CONSTRUCTION OF DRIVEWAYS.
- 7. DELAY THE CONSTRUCTION OF DRIVEWAY FROM THE FRONT ALLOTMENT BOUNDARY TO THE SETBACK OF THE GARAGE FOR MORE THAN 90 DAYS FROM THE DATE OF THE ISSUE OF THE CERTIFICATE OF OCCUPANCY IN RELATION TO THE PRIVATE DWELLING CONSTRUCTED ON THE SAID LOT.
- 8. DELAY THE FRONT LANDSCAPING TO THE DWELLING FOR MORE THAN 90 DAYS FROM THE DATE OF THE ISSUE OF THE CERTIFICATE OF OCCUPANCY IN RELATION TO THE PRIVATE DWELLING CONSTRUCTED ON SAID LOT.
- 9. LEAVE INCOMPLETE BUILDING WORKS FOR MORE THAN 90 DAYS WITHOUT CONSTRUCTION BEING CARRIED OUT, AND SHALL NOT DELAY COMPLETION OF ALL BUILDING WORKS RESULTING IN THE ISSUE OF A CERTIFICATE OF OCCUPANCY, FOR MORE THAN 12 MONTHS.
- 10. ERECT OR CAUSE TO PERMIT TO BE ERECTED OR REMAIN ERECTED ANY FENCING UPON A SIDE OR REAR BOUNDARY OF A LOT:-
 - (A) UNLESS SUCH FENCE IS 1.8 METRES IN HEIGHT AND IS CONSTRUCTED OF DOUBLE SIDED TIMBER PALINGS WITH EXPOSED POSTS AND TIMBER CAPPING.
 - (B) BETWEEN THE FRONT BOUNDARY AND 1 METRE BEHIND THE FRONT BUILDING LINE.
 - (C) CONSTRUCTED OF STEEL SHEETING OR COMPRESSED BOARD.
- 11. OCCUPY THE PRIVATE DWELLING UNLESS THE CONSTRUCTION OF THE PERIMETER FENCING HAS BEEN COMPLETED.
- 12. EXCEPT WITH PRIOR WRITTEN CONSENT OF EVOLVE DEVELOPMENT PTY LTD AND IN ACCORDANCE WITH THE ARRAMONT DESIGN GUIDELINES, COMMENCE CONSTRUCTION OF ANY BUILDING OR LANDSCAPING WORKS.

THIS RESTRICTION SHALL EXPIRE FOUR YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.



 <p>LICENSED LAND SURVEYORS & ENGINEERS CALIBRE CONSULTING (MELB) PTY LTD Level 2, 55 Southbank Boulevard Southbank VIC 3008 T 03 9203 9000 F 03 9203 9099 www.calibreconsulting.co</p>		ORIGINAL SHEET SIZE: A3	SHEET 8 OF 11 SHEETS
REF: 15-004370/5 VERSION: R RM 23.07.19	Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (R), 26/11/2019, SPEAR Ref: S109983E	Digitally signed by: Whittlesea City Council, 26/11/2019, SPEAR Ref: S109983E	

PS 807895D

CREATION OF RESTRICTION No.2

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

LAND TO BE BURDENED: LOTS 501 TO 514, 520 TO 535 AND 539 TO 541, 544 TO 548 AND 551 TO 561 (ALL INCLUSIVE)

LAND TO BE BENEFITED: LOTS 501 TO 561 (BOTH INCLUSIVE)

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT AND MUST NOT PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO:

1. BUILD ANY DWELLING OTHER THAN WITHIN THE APPROVED BUILDING ENVELOPE SHOWN ON THE SCHEDULE ON SHEETS 10 AND 11 ON THIS PLAN, UNLESS OTHERWISE APPROVED IN WRITING BY THE RESPONSIBLE AUTHORITY.
THIS COVENANT SHALL CEASE TO HAVE EFFECT AFTER A PERIOD OF 10 YEARS FROM THE DATE OF REGISTRATION.
2. SHALL NOT CONSTRUCT OR ALLOW TO CONSTRUCT ANY MORE THAN ONE DWELLING PER LOT.
UNLESS OTHERWISE APPROVED IN WRITING BY THE RESPONSIBLE AUTHORITY.
3. (A) CONSTRUCT THE SIDE WALL OF THE FIRST LEVEL OF ANY DWELLING ON A CORNER LOT LESS THAN 900mm FROM THE GROUND LEVEL WALL THAT FACES A SIDE STREET, OR WITH LESS THAN 30% GLAZING FOR THE AREA OF THE WALL AND THE REMAINDER OF THE WALL MUST BE CONSTRUCTED IN CONTRASTING MATERIAL FINISHES.

(B) CONSTRUCT ANY GARAGE ON A BURDENED LOT LESS THAN 5 METRES FROM THE ROAD ALIGNMENT AT THE FRONT OF THE LOT
(C) DEVELOP ANY LOTS WITH A WIDTH OF 10 METRES OR LESS AT THE LOT FRONTAGE WITH ANY GARAGE OTHER THAN A SINGLE GARAGE WHERE ACCESS IS PROPOSED FROM THE LOT FRONTAGE.

CREATION OF RESTRICTION No.3

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

LAND TO BE BURDENED: LOTS 515 TO 519, 536 TO 538, 542 TO 543 AND 549 TO 550 (ALL INCLUSIVE)

LAND TO BE BENEFITED: LOTS 501 TO 561 (BOTH INCLUSIVE)

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT AND MUST NOT PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO:

1. DEVELOP THE LAND UNLESS THE PLANS COMPLY WITH THE DESIGN GUIDELINES, A COPY OF WHICH CAN BE OBTAINED FROM THE WEBSITE AT www.arramont.com.au
RESTRICTION 3(1) WILL CEASE TO HAVE EFFECT AFTER THE ISSUE OF OCCUPANCY FOR THE WHOLE OF THE LOT.
2. THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN OF SUBDIVISION MUST NOT BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT ANY BUILDING OR STRUCTURE THAT HAS NOT BEEN CONSTRUCTED IN ACCORDANCE WITH THE 'SMALL LOT HOUSING CODE (TYPE B)' UNLESS IN ACCORDANCE WITH A PLANNING PERMIT GRANTED TO CONSTRUCT A DWELLING ON THE LOT.

CREATION OF RESTRICTION No.4

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS CREATED

LAND TO BE BURDENED: LOTS 501 TO 561 (BOTH INCLUSIVE)


LAND TO BE BENEFITED: LOTS 501 TO 561 (BOTH INCLUSIVE)

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT AND MUST NOT PERMIT ANY OTHER PERSON UNDER ITS CONTROL OR DIRECTION TO:

- (A) CONSTRUCT ANY DWELLING ON A LOT PRESENTING SIDEAGE DIRECTLY ADJOINING ANY FORM OF OPEN SPACE, UNLESS:
 - (i) THE DEVELOPMENT CONSISTS OF A DOUBLE STOREY DWELLING;
 - (ii) THE DEVELOPMENT INCLUDES PASSIVE SURVEILLANCE FEATURES SUCH AS LARGE WINDOWS AND/OR BALCONIES AT THE FIRST STOREY LEVEL OVERLOOKING THE ADJOINING OPEN SPACE;
 - (iii) ANY FENCING OF THE FRONT YARD ADJOINING THE OPEN SPACE IS FEATURE-STYLE, WITH MINIMUM 25% TRANSPARENCY AND HAS A MAXIMUM HEIGHT OF 1.5 METRES
- (B) CONSTRUCT ANY DWELLING OR COMMERCIAL BUILDING ON ANY LOT UNLESS THE BUILDING INCORPORATES DUAL PLUMBING FOR THE USE OF RECYCLED WATER IN TOILET FLUSHING AND GARDEN WATERING.

GARDEN AREA REQUIREMENTS

- (C) CONSTRUCT ANY DWELLING ON ANY LOT UNLESS IT INCLUDES AN AREA ON THE LOT WHICH MEETS THE 'GARDEN AREA' REQUIREMENTS AS OUTLINED IN CLAUSE 32.08-4 OF THE WHITTLESEA PLANNING SCHEME.

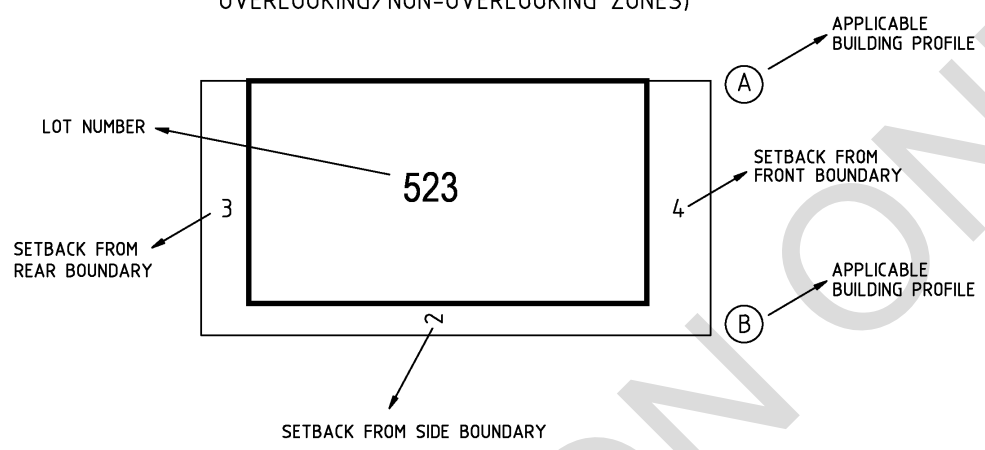
 <p>LICENSED LAND SURVEYORS & ENGINEERS CALIBRE CONSULTING (MELB) PTY LTD Level 2, 55 Southbank Boulevard Southbank VIC 3008 T 03 9203 9000 F 03 9203 9099 www.calibreconsulting.com</p>	<p>Digitally signed by: Zois Aravanis, Licensed Surveyor, Surveyor's Plan Version (R), 26/11/2019, SPEAR Ref: S109983E</p>	<p>ORIGINAL SHEET SIZE: A3</p> <p>Digitally signed by: Whittlesea City Council, 26/11/2019, SPEAR Ref: S109983E</p>	<p>SHEET 9 OF 11 SHEETS</p>
<p>REF: 15-004370/5 VERSION: R RM 21.11.19</p>			

PS 807895D

BUILDING ENVELOPE SCHEDULE

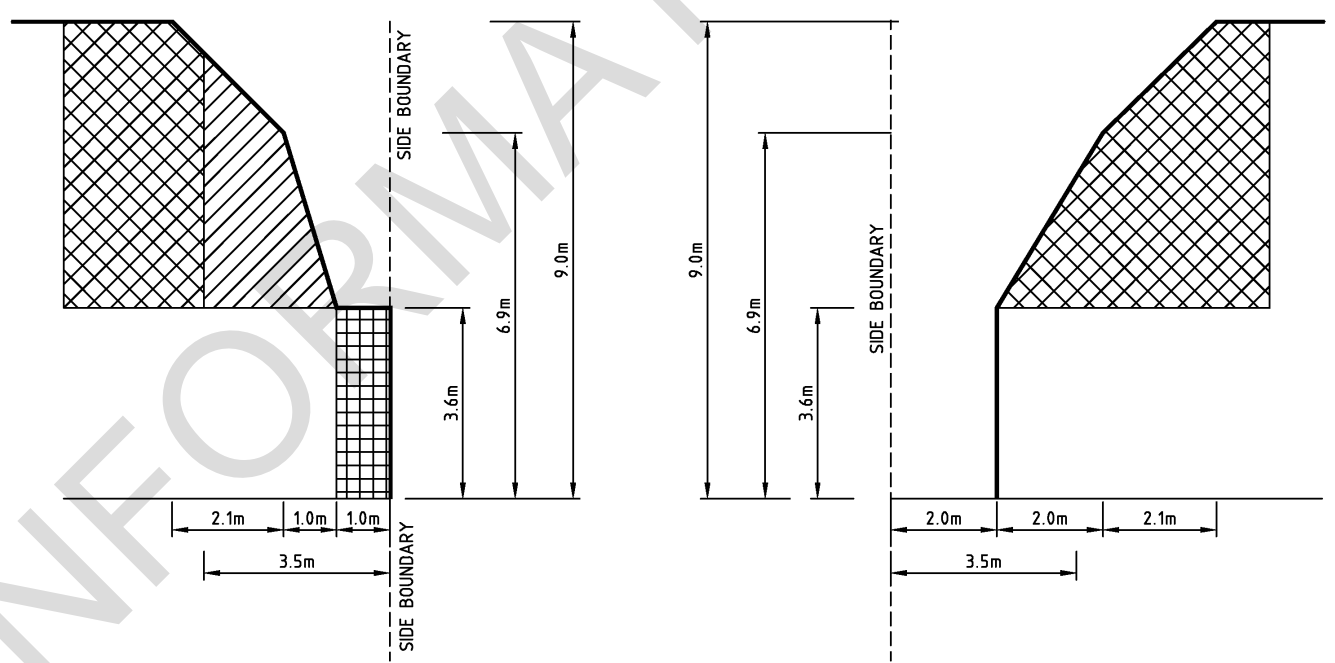
THE BUILDING ENVELOPES ARE SHOWN ENCLOSED WITHIN CONTINUOUS THICK LINES




DOUBLE STOREY BUILDING ENVELOPE
(REFER TO APPLICABLE BUILDING PROFILE FOR
OVERLOOKING/NON-OVERLOOKING ZONES)



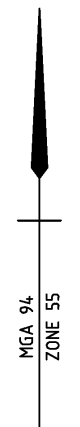
(A) BUILDING PROFILE 'A'

(B) BUILDING PROFILE 'B'



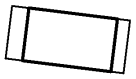
	OVERLOOKING ZONE HABITABLE ROOM WINDOWS/RAISED OPEN SPACES ARE A SOURCE OF OVERLOOKING.		NON OVERLOOKING ZONE HABITABLE ROOM WINDOWS/RAISED OPEN SPACES ARE NOT A SOURCE OF OVERLOOKING.
	BUILDING TO BOUNDARY ZONE WALL ON BOUNDARY PERMISSIBLE TO A MAXIMUM LENGTH OF 20m.		

PS 807895D



NOTES:

1. THE BUILDING CAN BE BUILT ON EITHER SIDE BOUNDARY WHERE NOTED AS "0 or 1" ON THIS DIAGRAM BUT MUST MAINTAIN A MINIMUM 1m SETBACK TO THE OPPOSITE BOUNDARY.
2. THE PROVISIONS OF PART 5 OF THE BUILDING REGULATIONS 2018 (CURRENT) APPLY; AND
3. EASEMENT NOTATION – WHERE A PROFILE WHEN APPLIED COVERS AN EASEMENT, THE PORTION OF THE PROFILE WITHIN THE EASEMENT CANNOT BE CONSIDERED FOR APPROVAL/BUILT UPON. THIS MAY VARY ONLY IN THE CIRCUMSTANCES WHERE BUILDINGS ON THE EASEMENT RECEIVES PRIOR WRITTEN CONSENT BY THE RELEVANT SERVICE AUTHORITY.



BUILDING ENVELOPES (SHOWN ENCLOSED WITHIN CONTINUOUS THICK LINES)
 514 LOT NUMBER
 4 SETBACK FROM BOUNDARY

BUILDING ENVELOPE SCHEDULE DIAGRAM

LICENSED LAND SURVEYORS & ENGINEERS
 CALIBRE CONSULTING (MELB) PTY LTD
 Level 2, 55 Southbank Boulevard
 Southbank VIC 3008
 T 03 9203 9000
 F 03 9203 9099
 www.calibreconsulting.co

REF: **15-004370/5** VERSION: **R** RM 26.7.19

SCALE 1:800

LENGTHS ARE IN METRES

Digitally signed by: Zois Aravanis, Licensed Surveyor,
 Surveyor's Plan Version (R),
 26/11/2019, SPEAR Ref: S109983E

ORIGINAL SHEET SIZE: A3

SHEET 11 OF 11 SHEETS

Digitally signed by:
 Whittlesea City Council,
 26/11/2019,
 SPEAR Ref: S109983E



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Mortgage Form version 1.5

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 19/03/2025 01:37:27 PM

Status	Registered	Dealing Number	AY640277D
Date and Time Lodged	28/11/2024 10:36:02 AM		

Lodger Details

Lodger Code	16165A
Name	AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Address	
Lodger Box	
Phone	
Email	
Reference	801953704

MORTGAGE

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest being mortgaged

FEE SIMPLE

Land Title Reference

12170/793

Mortgagor

Given Name(s)	NABINA
Family Name	ADHIKARI
Given Name(s)	SUMAN
Family Name	KUNWAR

Mortgagee

Name	AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
ACN	005357522
Australian Credit Licence	234527
Address	
Property Name	ANZ CENTRE
Floor Type	LEVEL



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Mortgage Form version 1.5

Floor Number	9
Street Number	833
Street Name	COLLINS
Street Type	STREET
Locality	DOCKLANDS
State	VIC
Postcode	3008

The mortgagor mortgages the estate and/or interest in land specified in this mortgage to the mortgagee as security for the debt or liability described in the terms and conditions set out or referred to in this mortgage, and covenants with the mortgagee to comply with those terms and conditions.

Terms and Conditions of this Mortgage

(a) Document Reference	AA9660
(b) Additional terms and conditions	NIL

Mortgagee Execution

1. The Certifier has retained the evidence supporting this Registry Instrument or Document.
2. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.
3. The Certifier, or the Certifier is reasonably satisfied that the mortgagee it represents,:
 - (a) has taken reasonable steps to verify the identity of the mortgagor or his, her or its administrator or attorney; and
 - (b) holds a mortgage granted by the mortgagor on the same terms as this Registry Instrument or Document.

Executed on behalf of	AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Signer Name	SAMAR SALEEM
Signer Organisation	AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Signer Role	AUTHORISED SIGNATORY
Execution Date	14 NOVEMBER 2024

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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Produced 19/03/2025 01:37:29 PM

Status	Registered	Dealing Number	AT162607R
Date and Time Lodged	16/04/2020 03:46:03 PM		

Lodger Details

Lodger Code	17223H
Name	MADDOCKS
Address	
Lodger Box	
Phone	
Email	
Reference	

TRANSFER

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

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Land Title Reference

12170/793

Transferor(s)

Given Name(s)	ANGELA
Family Name	DIDONATO
Given Name(s)	ANGELO
Family Name	STELLA
Given Name(s)	ENIO
Family Name	DIDONATO
Given Name(s)	RAFFAELA
Family Name	STELLA

Estate and/or Interest being transferred

Fee Simple

Consideration

\$AUD 272000.00



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Transferee(s)

Tenancy (inc. share)	Sole Proprietor
Given Name(s)	CAHILL ANTONIO
Family Name	DI DONATO
Address	
Street Number	507
Street Name	GLENFERRIE
Street Type	ROAD
Locality	HAWTHRON
State	VIC
Postcode	3122

Covenants

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restrictive covenant with the intent that the burden of the restrictive covenant runs with and binds the burdened land and the benefit of the restrictive covenant is annexed to and runs with the benefited land.

Burdened land	the Land
Benefited land	MCP: AA3765
Restrictive covenant	MCP: AA3765
Expiry Date	

Duty Transaction ID

4798041

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	ENIO DIDONATO ANGELA DIDONATO ANGELO STELLA RAFFAELA STELLA
Signer Name	NICHOLAS FRANCOIS HOLUIGUE
Signer Organisation	MADDOCKS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	16 APRIL 2020



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	CAHILL ANTONIO DI DONATO
Signer Name	BETTINA GERALDINE SHEERAN
Signer Organisation	MADDOCKS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	16 APRIL 2020

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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Produced 19/03/2025 01:37:27 PM

Status	Registered	Dealing Number	AX126292K
Date and Time Lodged	07/08/2023 02:10:30 PM		

Lodger Details

Lodger Code	15940N
Name	COMMONWEALTH BANK OF AUSTRALIA
Address	
Lodger Box	
Phone	
Email	
Reference	

TRANSFER

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Land Title Reference

12170/793

Transferor(s)

Given Name(s)	CAHILL ANTONIO
Family Name	DI DONATO

Estate and/or Interest being transferred

Fee Simple

Consideration

\$AUD 405000.00

Transferee(s)

Tenancy (inc. share)	Joint Tenants
Given Name(s)	SUMAN
Family Name	KUNWAR
Address	
Street Number	16
Street Name	NICASTRO
Street Type	AVENUE



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Locality WOLLERT
State VIC
Postcode 3750

Given Name(s) NABINA
Family Name ADHIKARI
Address
Street Number 16
Street Name NICASTRO
Street Type AVENUE
Locality WOLLERT
State VIC
Postcode 3750

Duty Transaction ID

5764070

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	SUMAN KUNWAR NABINA ADHIKARI
Signer Name	PRAVAT PAUDEL
Signer Organisation	YOUR DREAM HOME CONVEYANCING PTY LTD
Signer Role	LICENSED CONVEYANCER
Execution Date	07 AUGUST 2023

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CAHILL ANTONIO DI DONATO
Signer Name	CRAIG HOSKING
Signer Organisation	HOSKING LAWYERS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	03 AUGUST 2023



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

INFORMATION ONLY



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 19/03/2025 01:37:27 PM

Status	Registered	Dealing Number	AY640276F
Date and Time Lodged	28/11/2024 10:36:02 AM		

Lodger Details

Lodger Code	16165A
Name	AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Address	
Lodger Box	
Phone	
Email	
Reference	

DISCHARGE OF MORTGAGE OR CHARGE

Jurisdiction	VICTORIA
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Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Land Title Reference

12170/793

Mortgagee or Annuitant

Name	COMMONWEALTH BANK OF AUSTRALIA
ACN	123123124
Australian credit licence	234945

Mortgage or Charge Number

AX126293H

The mortgagee or annuitant discharges the land described from the moneys or annuity secured by the mortgage(s) or charge(s) specified.



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Execution

1. The Certifier has retained the evidence supporting this Registry Instrument or Document.
2. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	COMMONWEALTH BANK OF AUSTRALIA
Signer Name	JAZUED AHMED
Signer Organisation	COMMONWEALTH BANK OF AUSTRALIA
Signer Role	AUTHORISED SIGNATORY
Execution Date	27 NOVEMBER 2024

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

Domestic Building Insurance

Certificate of Insurance

Suman Kunwar, Nabina Adhikari

1 Lyndren St
WODONGA
VIC 3690

Policy Number:

C833030

Policy Inception Date:

23/10/2023

Builder Account Number:

007268

A contract of insurance complying with the Ministerial Order for Domestic Building Insurance issued under Section 135 of the Building Act 1993 (Vic) (Domestic Building Insurance) has been issued by the insurer Victorian Managed Insurance Authority a Statutory Corporation established under the Victorian Managed Insurance Authority Act 1996 (Vic), in respect of the domestic building work described below.

Policy Schedule Details

Domestic Building Work: **C01: New Single Dwelling Construction**

At the property: **16 Nicastro Ave WOLLERT VIC 3750 Australia**

Carried out by the builder: **ORBIT HOMES AUSTRALIA PTY LTD**

Builder ACN: **080735771**

! If the builder's name and/or its ABN/ACN listed above does not exactly match with the information on the domestic building contract, please contact the VMIA. If these details are incorrect, the domestic building work will not be covered.

For the building owner(s): **Suman Kunwar, Nabina Adhikari**

Pursuant to a domestic building contract dated: **19/10/2023**

For the contract price of: **\$ 373,141.00**

Type of Cover: **Cover is only provided if ORBIT HOMES AUSTRALIA PTY LTD has died, becomes insolvent or has disappeared or fails to comply with a Tribunal or Court Order ***

The maximum policy limit for claims made under this policy is: **\$300,000 all inclusive of costs and expenses ***

The maximum policy limit for non-completion claims made under this policy is: **20% of the contract price limited to the maximum policy limit for all claims under the policy***

PLEASE CHECK

If the information on this certificate does not match what's on your domestic building contract, please contact the VMIA immediately on 1300 363 424 or email dbi@vmia.vic.gov.au

IMPORTANT

This certificate must be read in conjunction with the policy terms and conditions and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the period of cover.

* The cover and policy limits described in this certificate are only a summary of the cover and limits and must be read in conjunction with, and are subject to the terms, conditions, limitations and exclusions contained in the policy terms and conditions.

Period of Cover

Cover commences on the earlier of the date of the domestic building contract or date of building permit for the domestic building work and concludes:

- Two years from completion of the domestic building work or termination of the domestic building contract for non structural defects*
- Six years from completion of the domestic building work or termination of the domestic building contract for structural defects*

Subject to the Building Act 1993, and the Ministerial Order and the conditions of the insurance contract, cover will be provided to the building owner named in the domestic building contract and to the successors in title to the building owner in relation to the domestic building work undertaken by the Builder.

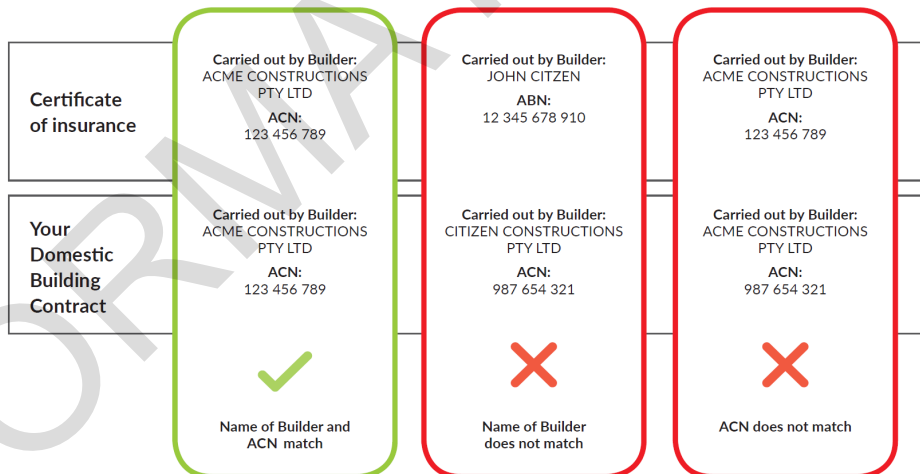
Issued by Victorian Managed Insurance Authority (VMIA)

Domestic Building Insurance Premium and Statutory Costs

Base DBI Premium:	\$1,727.00
GST:	\$172.70
Stamp Duty:	\$189.97
Total:	\$2,089.67

If the information on the certificate does not match exactly what is on your domestic building contract, please contact VMIA on 1300 363 424

Below are some example of what to look for



These documents contain important policy information. After reading them carefully, they should be kept in a safe place for future reference.

Your most recent 'Insurance Certificate', Product Disclosure Statement and Supplementary Product Disclosure Statement (if applicable) form your Insurance Contract.

What you need to do now

- **Please check the details**

Please review all pages of your policy documents carefully. In particular, you need to check all the information in the 'Insurance Certificate' and 'Your Declarations'.

- **Let us know if any of this information has changed, is incomplete or inaccurate**

It's an important part of your policy obligations (as per the Product Disclosure Statement) to let us know, as soon as practicable, if any information in these policy documents, including your previous answers to our questions, is incomplete or inaccurate.

What you need to know

We're committed to helping our customers

The Insurer is a signatory to the General Insurance Code of Practice (Code). The Code commits the Insurer to, among other things, provide a high standard of customer service and a fair and effective complaints process. General insurers' compliance with the Code is monitored and enforced by an independent body called the Code Governance Committee (CGC).

How to read these documents

We've included icons to make it easier for you to read the documents.

- | | | | |
|--|---------------------------------------|---|------------------------------|
|  | Important Information |  | What you are covered for |
|  | Check the information you've provided |  | What you are not covered for |



This is the information we have on our records. Please ensure the information is complete and accurate and what your home and contents is insured for meets your current insurance cover needs.

Policy number - 120903731 01 ⓘ

Policyholder(s) **Suman Kunwar**
 Period of insurance
 Start date **11 November 2024 12:00am AEST**
 Expiry date **10 November 2025 11:59pm AEST**
 Insured address **16 Nicastro Avenue, Wollert VIC 3750**

Contact details ⓘ

Contact number(s) **0452 519 181**
 Postal address **1 Lyndren Street, Wodonga VIC 3690**
 Email address **kunwarsuman50@gmail.com**

Excess(es) on claims ⓘ

Home basic excess **\$1,000**
 Contents basic excess **\$750**
 Your basic excess will apply to any Legal Liability claim

Additional excesses

These excesses apply in addition to your basic excess:

Earthquake or tsunami excess **\$500**
 Unoccupancy excess **\$1,000**

Cover summary ⓘ

Home cover **Insured for \$450,000**
 Contents cover **Insured for \$20,000**

Optional cover

Motor Burnout **Not included**
 Flood **Not included**

Important note: This policy does NOT cover Flood

Accidental Damage **Not included**

Home cover options

Sum Insured Safeguard **Not included**

Contents cover options

Specified Contents **Not included**
 Unspecified Personal Effects **Not included**
 Specified Personal Effects **Not included**
 Commercial Storage **Not included**

Legal Liability

Limit of liability **\$20 million**

Mortgagee

Commonwealth Bank of Australia

Product issuer

Auto & General Insurance Company Limited
 ABN 42 111 586 353
 AFS Licence No 285571


Managing agent

Auto & General Services Pty Ltd
 AFS Licence No 241411

Chat with us online today at
www.budgetdirect.com.au/chat
 Customer Services Phone **1800 182 310**
 Claims Phone **1800 069 336**

Your Premium

16 Nicastro Avenue, Wollert, VIC 3750

Your premium		Refer to 'Your pay plan' section for your payment schedule				
Description	Amount	Emergency Services Levy	GST*	Stamp Duty	Total	
Home premium	\$646.53	\$0.00	\$64.65	\$71.12	\$782.30	
Contents premium	\$202.55	\$0.00	\$20.26	\$22.28	\$245.09	
Instalment processing fee	\$79.20	\$0.00	\$7.92	\$0.00	\$87.12	
Total premium[^]					\$1,114.51	

*In accordance with the GST law relating to insurance premiums, the GST amount may be less than 10% of the total amount payable.

[^]The 'Total premium' figure represents the annual premium for your home and contents based on the current details. If changes are made to the policy during the period of insurance the 'Total premium' shown here may differ from the total amount you pay. 'Your pay plan' details what you have already paid to us and any amount yet to be paid, but will not show any amounts that we have not charged or not refunded.

Your Declarations

16 Nicastro Avenue, Wollert, VIC 3750

This is the information we have on our records. Please check that this information, including your previous answers to our questions, is complete and accurate, and contact us if any details need to be added or changed. This is an important part of your policy obligations.

Policyholder(s) ?

The policyholder(s) are

Name **Suman Kunwar**

Date of birth **19/06/1995**

About the policyholder(s) and household members

Have you held insurance for this address in the last seven days?

No

Has any policy holder or household member ever been convicted of a criminal offence? You don't have to tell us about convictions the law allows you not to disclose.

No

In the last 5 years has any policy holder or household member had an insurance company cancel or refuse to renew insurance?

No

In the last 5 years has any policy holder or household member had any thefts or burglaries or made any insurance claims for home and/or contents including personal effects?

No

About your home ?

The home

What type of property is the home?

Freestanding house

Is the home elevated by at least 1m above ground all the way around the property?

Not elevated

What year was the home built?

2024

Is the home part of a Body Corporate or Strata Title complex?

No

What is the main building material of the exterior walls?

Brick veneer

What is the main construction material of the roof?

Cement tiles

Is the home structurally sound, well maintained, in good condition and watertight?

Yes

Occupancy of the home

How is the home occupied?

Owner yet to occupy

When did you move to this address?

Not living at address yet

Will the home be unoccupied during the term of the policy?

Yes

What date will the home be occupied?

10 January 2025

How many unrelated people live in the home?

0

Security – external doors and accessible windows

Are all external doors of the home including sliding, bi-fold or French doors secured with any combination of the following?

Yes

- double-keyed deadlocks
- patio bolts/key-operated sliding door locks
- triple-locked security doors

Are all windows of the home that are on the ground or first floor level secured with any combination of the following?

Yes

- key-operated window locks
- security screens/bars/grilles

Is the home fitted with a security alarm?

No

Home-based business

Is any part of the property used as a business premises, or for buying, selling or storing business products, services or equipment?

No

Construction, alterations, renovation or demolition

Is the home being constructed, or undergoing renovation, alteration, extension or being demolished?

No

Your Pay Plan

Your payment schedule !

This table shows the status of payments and the payment arrangements to the Direct Debit Request (DDR), credit card payment authority or PayPal agreement that you authorised to AGS (User ID: 142038) either over the telephone or the internet. If your payments are made by Direct Debit please also refer to the DDR Service Agreement.

For privacy and security reasons we encrypt part of your credit card or account number.

Date (on or after)	Amount (inc. GST)	GST	Account	Status
20/11/2024	\$93.27	\$7.91	BSB 062184 Acct ****4289	To be lodged
20/12/2024	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/01/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/02/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/03/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/04/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/05/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/06/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/07/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/08/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/09/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged
20/10/2025	\$92.84	\$7.72	BSB 062184 Acct ****4289	To be lodged

Premium changes of \$1 or less

When a change is made to your policy that results in an additional premium or refund of \$1 or less:

- If you pay annually, it will not be charged or refunded to your nominated account.
- If you pay by instalment, we will adjust any remaining instalment(s) to account for the amount owing or to be refunded. If the final instalment has already been paid, it will not be charged or refunded to your nominated account.



northpoint building surveyors P/L

ACN 119 709 116

SURVEYORS, CONSULTANTS & INSPECTORS

Application Number: 202315971

FORM 2

Regulation 37(1)
Building Act 1993
Building Regulations 2018

BUILDING PERMIT

Building Permit No. BS-U 20159/8242684327383 05 February 2024

Issued to

Agent of Owner

Orbit Homes

ACN / ARBN

Postal Address

286 Mt Alexander Road ascot vale

Postcode **3032**

Email

permitsadmin@orbithomes.com.au

Address for serving or giving of documents:

286 Mt Alexander Road ascot vale

Postcode **3032**

Contact Person

Telephone **9377 0000**

Ownership Details (if person issued with permit is not the owner)

Owner

Sumar Kunwar

ACN / ARBN

Postal Address

1 Lyndren Street Wodonga

Postcode **3690**

Email

kunwarsuman50@gmail.com

Contact Person

Sumar Kunwar

Telephone

Ownership Details (if person issued with permit is not the owner)

Owner

Nabina Adhikari

ACN / ARBN

Postal Address

1 Lyndren Street Wodonga

Postcode **3690**

Email

adhikarinabina3@gmail.com

Contact Person

Nabina Adhikari

Telephone

Property Details [include title details as and if applicable]

Number **16**

Street/Road **Nicastro Avenue**

Suburb **Wollert**

Postcode **3750**

Lot/s **545**

LP/PS **PS807895D**

Volume **12170**

Folio **793**

Crown allotment

Section No

Parish

County

Municipal District **Whittlesea City Council**

Builder

Name **Orbit Homes Aust**
Address **286 Mt Alexander Rd Ascot Vale 3032**
*ACN/*ARBN:

Telephone **9377 0067**

*Building practitioner registration no: **DB-U1349**

This builder is specified under section 24B of the **Building Act 1993** for the building work to be carried out under this permit

Details of Building Practitioners and Architects

a) To be engaged in the building work

Name	Category/class	Registration Number
Craig Millson	Builder	DB-U1349

(b) Who were engaged to prepare documents forming part of the application for this permit

Name	Category/class	Registration Number
Louis Tantri	Civil Engineer	PE0001629

Details of Domestic Building Work Insurance

The issuer or provider of the required insurance policy is: VMIA
Insurance policy number : C833030
Insurance policy date : 23/10/2023

Details of Relevant Planning Permit

Planning Permit No: N/A

Date of grant of Planning Permit: N/A

Nature of Building Work

Description: **Construction of a Detached Dwelling and Garage**
Storeys contains: **1**
Rise in storeys:
Effective height:
Type of construction: **Construction of a Detached Dwelling and Garage**
Version of BCA applicable to permit: **2022**
Stage of Building Work Permitted:
Cost of Building Work: **\$373,141.00**
Total floor area of new building work in m2: **235**

Building classification

Part of Building: **Dwelling**

BCA Classification: **1a(a)**

Part of Building: **Garage**

BCA Classification: **10a**

Performance Solution

A performance solution was used to determine compliance with the following performance requirements of the BCA that relate to the building to which this permit applies:

Relevant performance requirement	Details of performance solution
H4P1 - Wet Areas	Class 1a - Wet Area Construction - Bath Installation Water Stop for Bath without Showers
H2P2 - Weatherproofing, H2P3 - Rising Damp	Class 1a and 10a - Damp Proof Course/ Flashing Setback Distance from Face of Mortar used in Masonry Veneer Wall Construction - Max 20mm
H2P1 - Rainwater Management, H2P2 - Weatherproofing, H2P3 - Rising Damp	Class 1a and 10a - Garage Floor Level with Dwelling Floor
H2P1 - Rainwater Management, H2P2 - Weatherproofing, H2P3 - Rising Damp	Class 1a and 10a Dwellings - Roofer Alfresco (Outdoor Living Areas) and Front Porch Entry Height of Damp Proof Course above Adjoining Paving

Protection Work

Protection work is not required in relation to the building work proposed in this permit.

Inspection Requirements

The mandatory inspection notification stages are:

BORED PIERS
PRE-SLAB
STEEL REINFORCEMENT
FRAMEWORK
FINAL INSPECTION

Occupation or User of Building: An occupancy permit is required prior to the occupation or use of this building.

If an occupancy permit is required, the permit is required for the of the building in relation to which the building work is carried out.

Commencement and Completion

This building work must commence by 05 February 2025

If the building work to which this building permit applies is not commenced by this date, this building permit will lapse unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

This building work must be completed by 05 February 2026

If the building work to which this building permit applies is not completed by this date this building permit will lapse, unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

Conditions

This permit is subject to the following conditions

1. Any building work done pursuant to this Building Permit shall comply with the Building Act 1993, the Building Regulations and the Building Code of Australia (as amended) and with any conditions or requirements imposed in accordance with the Act and/or regulations.
2. This Building Permit confirms that if the proposed building works is constructed in accordance with the permit, the works will comply or substantially comply with the regulation and the BCA a appropriate.
3. This Building Permit is not evidence of compliance, acceptance or otherwise with any implied warranty under the Domestic Building Contracts Act (DBC Act) and/or any other contractual agreement, or otherwise between owner and builder relative to quality, workmanship, product adequacy, reliability or functionality of the building work. It is recommended that the owner engage or appoint appropriate building practitioners to confirm acceptance or otherwise, compliance with the DBC Act and other associated and relevant legislation.
4. Before building work is commenced any additional permits, licenses and/or consents must be obtained under other relevant Acts, regulations and / or Council by Laws etc.
5. The building work carried out under this Building Permit must be in accordance with the relevant Planning Permit. This Building Permit is not evidence of compliance with any requirements of any relevant Planning Scheme or Permit other than to confirm consistency as required by Section 24(1)(d) of the Act.
6. The building work must be carried out strictly in conformity with the endorsed plans and specifications, one copy of which must be kept on site and made available for inspection while the work is in progress in accordance with the regulations.
7. There must be no unauthorized encroachment of any part of the building work beyond the building alignment, title, or allotment boundary.
8. In the case of an owner builder pursuant to Section 137B of the Building Act 1993 an owner builder must not sell his or her building unless within six months before entering into the contract of sale he or she has obtained from a prescribed building practitioner and given to the purchaser a report containing such matters on the building as are required by the Minister by notice published in the Government Gazette.
9. The person who is in charge of the carrying out of building work must ensure that the registration numbers and contact details of the builder and building surveyor, the number of the relevant Building Permit and the date of issue is

- displayed in accordance with the regulations.
10. The person in charge of the carrying out of the building work on an allotment must take all reasonable steps to ensure that a copy of this permit and one set of any approved plans, specifications and documents are available for inspection at the allotment while the building work is in progress.
 11. For a Building Permit to Demolish, the person who is in charge of demolition work must ensure that the Demolition Permit is displayed on the allotment specified in accordance with the regulations.
 12. An owner of a building or land for which a Building Permit has been issued must notify the Relevant Building Surveyor (RBS) with 14 days of any change of name or address of the owner or building in accordance with the regulations. The penalty for non-compliance is 10 penalty units.
 13. In accordance with section 33(1) of the Building Act 1993, the person that is named as the builder in a building permit issued for building work must ensure the relevant building surveyor is notified without delay of the completion of each mandatory notification stage of that work.
 14. The building work must be carried out in accordance with the building permit, endorsed plans, specifications, other documents and/or suitable equivalent to the satisfaction of the building inspector and/or the relevant building surveyor. Any changes on site must be documented and approval by the building surveyor prior to inspection.
 15. All wet areas are required to comply with Part 3.8.1 of the NCC/BCA & AS 3740. Be aware that the NCC/BCA & AS 3740 includes but is not limited to works that include unenclosed showers and unenclosed showers over the bath that will require a floor waste to the floor of that room, with the floor graded to the floor waste.
 16. Surface drainage must be considered in the construction of this dwelling in accordance with Clause 5.6.3 of AS2870-2011. Surface drainage must be controlled from the start of construction and must be completed by the finish of construction prior to an occupancy permit being issued.
 17. There must be no unauthorised encroachment of any part of the building work beyond the title boundary of the property.
 18. Prior to booking a frame inspection, the builder must provide floor joist and floor beam computations, certification and layouts satisfactory to the relevant building surveyor.
 19. Prior to booking a frame inspection, the builder must provide roof truss computations, certification and layouts satisfactory to the relevant building surveyor.
 20. Sanitary Compartments- The door must open outward or be removable from the outside, or have 1.2m clear distance between the closet pan & doorway.
 21. Prior to or with an application for an occupancy permit, the builder must provide a certificate of compliance satisfactory to the relevant building surveyor indicating that the glass has been installed in accordance with the endorsed drawings and specifications and AS1288 Set-2006 Glass in buildings Set or AS2047-2014 Windows and external glazed doors in buildings, and if the property is in a designated bushfire-prone area, AS3959- 2009 Construction of buildings in bushfire-prone areas, in respect of all glazing, including balustrading, doors, windows and screens.
 22. Prior to or with an application for an occupancy permit, the builder must provide plumbing compliance certificates satisfactory to the relevant building surveyor for all applicable plumbing work as follows: roof plumbing, sanitary plumbing, drainage (below ground sewer), drainage (below ground stormwater), cold water plumbing, hot water plumbing, gasfitting.
 23. Prior to or with an application for an occupancy permit, the builder must provide a certificate of electrical safety satisfactory to the relevant building surveyor for prescribed electrical installations or non-prescribed electrical installations, as applicable.
 24. Prior to or with an application for an occupancy permit, the builder must provide an energy rating certificate or statement satisfactory to the relevant building surveyor verifying that all requirements of the energy rating measures have been installed in accordance with the endorsed documents and the Building Code of Australia and a plumbing compliance certificate satisfactory to the relevant building surveyor for the installation of the solar hot water system.
 25. The owner is to be responsible to ensure that the works comply with any covenant or Section 173 agreements on title.
 26. This Building Permit only allows for all Mandatory Inspections. Any additional inspections will be charged at a rate of \$165.00 each.
 27. Construction of the dwelling to be in compliance with NCC 2019 Clause 3.8.7.3 - flow rate and discharge from exhaust system, and NCC 2019 Clause 3.8.7.4 - Ventilation of roof spaces.
 28. As required by the Building Regulation 319(1)(h), this is a determination that this building permit has been issued with regards to the alternative solution prepared by Stuart McClennan in regards to Alternative Solution P2.2.1-Surface Water, P2.2.2-Weatherproofing, P2.2.3-Dampness
 29. Note: Required by Regulation 41 a sign detailing the building practitioners registration numbers and contact details of both builder and building surveyor, the building permit number and the date of issue of the building permit must be displayed on site.

30. The relevant building surveyor may cause any building work to be demolished, opened or cut into or tested if this is reasonably required to facilitate the carrying out of an inspection for the purposes of this Act or the regulations.
31. The relevant building surveyor may cause building work for which a permit has been issued to be inspected at any time whether or not a mandatory notification stage has been completed.
32. A person who is carrying out building work for which a permit has been issued must stop carrying out that work or any part of that work on completion of a mandatory notification stage if directed to do so by the relevant building surveyor.
\$1000.00 Fine
33. A person who is in charge of the carrying out of building work for which a permit has been issued must notify the relevant building surveyor without delay after completion of each mandatory notification stage of that work. Possible
\$1000.00 Fine
34. ALL INSPECTIONS MUST BE BOOKED WITH THIS OFFICE 24 HOURS IN ADVANCE. PLEASE BE AWARE THAT NO SAME DAY INSPECTIONS WILL BE PERMITTED.
35. The dwelling is required to comply with the 6 star energy report. A letter is required at occupancy permit stage stating that all aspects the 6 star report have been complied with throughout

Relevant Building Surveyor

Name: **Vito Munafa**

Address: **Suite 1, 1-3 Albert Street, Blackburn, VIC, 3130**

Email: **adminnorth@northpointbs.com.au**

Building practitioner registration no.: **BS-U 20159**

Municipal district: **Whittlesea City Council**

Permit no.: **BS-U 20159/8242684327383**

Date of issue of permit: **05 February 2024**



NOTE: ALL PAVING TO BE 200mm OFF BOUNDARY UNLESS OTHERWISE NOTED. PAVING ADJACENT TO HOUSE TO BE SET DOWN 170mm FROM FFL UNLESS OTHERWISE NOTED.

PROPOSED DRIVEWAY GRADIENT IS 1 : 11.38

☒ DENOTES METER BOX (& GAS METER WHEN IN SAME LOCATION).
▲ DENOTES GAS METER WHEN IN SEPARATE LOCATION.

NOTE: STORMWATER SHOWN INDICATIVE ONLY & IS SUBJECT TO CHANGE ON SITE.

NOTE: ANY RETAINING WALLS SHOWN ON OR NEAR THE BOUNDARIES ARE TO BE CONSTRUCTED COMPLETELY WITHIN THE SUBJECT PROPERTY INCLUDING ALL ASSOCIATED FOOTINGS AND AG DRAINS

NOTE: ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE - 2022".

NOTE: RECYCLED WATER TO BE CONNECTED TO 2n° EXTERNAL TAPS (1n° @ THE HOUSE & 1n° @ THE METER), 1n° WASHING MACHINE STOP AND ALL TOILET CISTERNS AS PER RELEVANT GUIDELINES.

NOTE: PRE PROVISIONING FOR FIBRE TO THE PREMISES REQUIRED, REFER TO THE ELECTRICAL PLAN FOR FUTHER INFORMATION.

NOTE: REPORT AND CONSENT ARE REQUIRED FOR PORCH ENCROACHMENT HEIGHT OF MORE THAN 3.6M ABOVE NATURAL GROUND LEVEL, REFER TO REG 74

Northpoint Building Surveyors
APPROVED DOCUMENT
Works must comply with the
Building Act 1993 & Building Regulations 2018
24 HOURS NOTICE REQUIRED FOR INSPECTIONS

SITE INFORMATION

BUILDING PAD CUT/SCRAPE LEVEL: RL 100.000 APPROX.
HOUSE FFL: RL 100.385
GARAGE FFL: RL 100.385
PORCH FFL: RL 100.195
O.LIVING FFL: RL 100.195

WHEN RETAINING WALLS ARE INDICATED ON THE PLANS AN AG DRAIN MUST BE PLACED TO THE REAR OF THE WALL AND SILT PITS TO BE PROVIDED TO EITHER END OF WALL FOR CONNECTION TO LPOD.

SOIL REPORT INFORMATION

	HOLE 1	HOLE 2	HOLE 3
FILL DETECTED:	YES	YES	YES
DEPTH:	300	300	300
COMPACTION REPORTED RECEIVED:	NO		
ROCK:	YES	YES	YES
DEPTH OF ROCK:	500	500	700
REFUSAL:	YES	YES	YES

SEWER DETAILS

SIZE: 150 PVC-NP
DEPTH: 2.02m
OFFSET: 1.80m

LOT AREAS:-

SITE:	392.00m ²	
BUILDING COVERAGE:	235.10m ²	59.97%
GARDEN AREA:	125.90m ²	32.12%
PERMEABILITY:	125.90m ²	32.12%

PAVING:-

DRIVEWAY & PATH:	29.00m ²
PORCH:	6.10m ²
OUTDOOR LIVING:	10.69m ²
L'DRY PATH:	N/Am ²
CROSSOVER:	N/Am ²
TOTAL:	45.79m ²

	EXPOSED AGG. CONCRETE
	CUT BATTER
	FILL BATTER
	SLEEPER RET. WALL
	WATER MARKER & RUN IN
	GAS MARKER & RUN IN
	GRATE DRAIN

NICASTRO AVENUE

TBM TOP OF ELECTRICITY PIT RL 100.00m

LETTER BOX BY OTHERS AFTER HANDOVER.

LPD LOCATION T.B.C ON SITE

INDICATIVE G/W TAPPING LOCATION T.B.C BY WATER AUTHORITY / CONSTRUCTION PRIOR TO START

STORMWATER DETAILS

SIZE: 300Ø
DEPTH: TBA
OFFSET: TBA



AMM	TYPE	DATE	SIGN
05	ENERGY ADDED	11.10.23	MCV
06	H & C LAYOUT ADDED	12.10.23	MCV
07	DAKB ADDED	08.11.23	MCV
08	PCV001 ADDED	13.11.23	MCV
09	H & C AMENDMENTS	14.11.23	MCV
10	RESITING GARAGE BOUNDARY	20.11.23	MCV
11	ENGINEERING ADDED	22.11.23	MCV
12	PERMIT RFI ADDED	08.12.23	MCV
13	FINALS CHECK	19.01.24	NTR

CONTRACT DRAWINGS	DATE
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE FOR: SUMAN KUNWAR NABINA ADHIKARI
AT: LOT 545 NICASTRO AVENUE, WOLLERT - VIC 3750
MEL REF: .
PERMIT N°: . JOB N°: 16913

Orbit HOMES
ORBIT HOMES AUSTRALIA PTY. LTD.
286 MT ALEXANDER ROAD ASCOT VALE. 3032
TEL: (03) 9377 0000 FAX: (03) 9375 4632
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SITE PLAN

TERMITES	NO
BUSHFIRE	LOW
FLOODING	NO
CORROSIVE	XXX
TOWN PLANNING	XXX

NORTH

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 200	SHEET No: 1 / 17
DESIGN	CAULFIELD 26A
ELEVATION	KOBE
SPECIFICATION PREMIUM 2023	REVISION 13

NOTE: LANDSCAPE IS SHOWN INDICATIVE AND IS SUBJECT TO CHANGE PENDING ANY SITE CONSTRAINTS.

NOTE: LANDSCAPING TO BE PROVIDED BY OTHERS IN FULL ACCORDANCE WITH THE DESIGN GUIDELINES.

TREE NAME	TOTAL
(AC) ACACIA DEALBEATA	1

SHRUB NAME	TOTAL
(AA) ACACIA ACINACIA	8
(AP) ACACIA PARADOXA	8



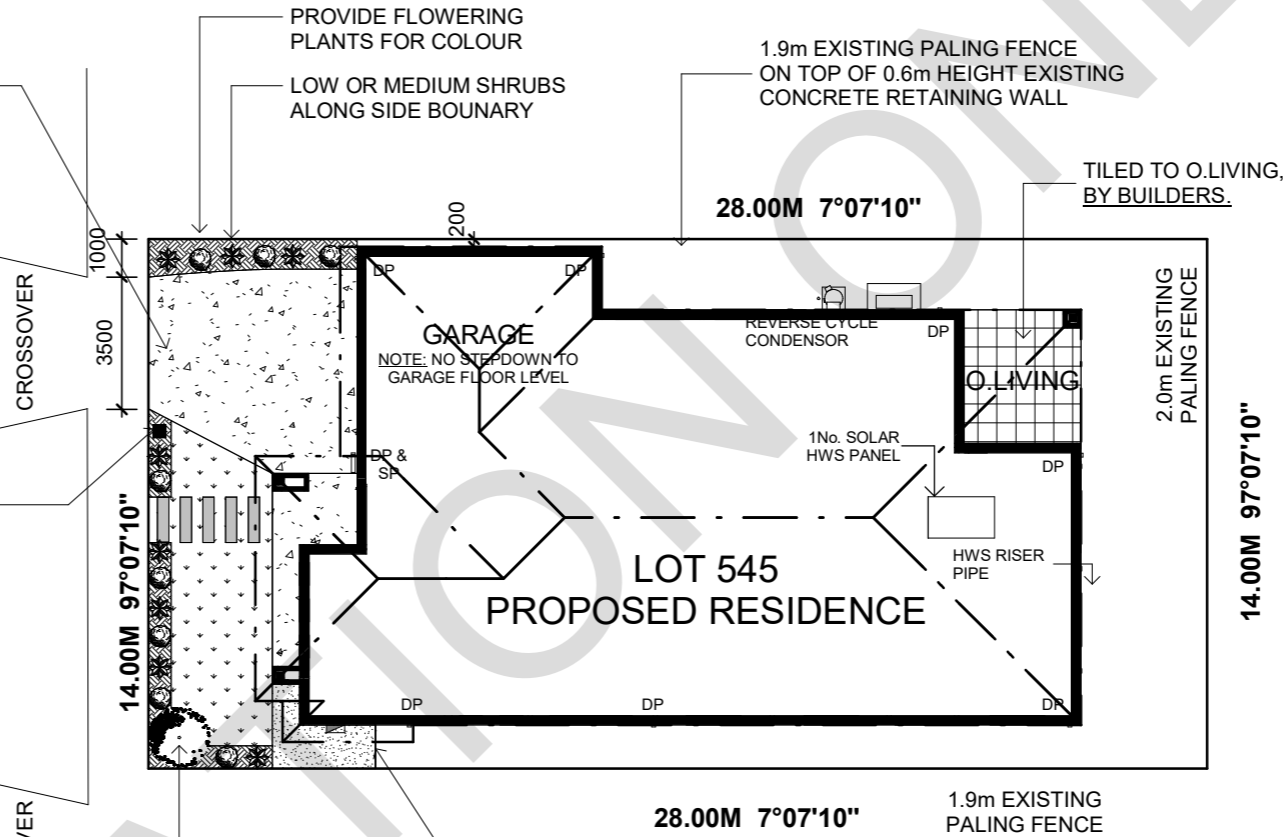
POLY-TEK KEY LARGO LETTERBOX

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EXPOSED AGG. CONCRETE PAVING TO PORCH, DRIVEWAY AND PATH BY OTHERS AFTER HANDOVER.

AUBERT AVENUE

LETTER BOX BY OTHERS AFTER HANDOVER.



A SEMI-MATURE CANOPY TREE (GREATER THAN 2.5 METRES IN HEIGHT)

1.8M HIGH FENCING ABOVE THE NATURAL GROUND LEVEL, MUST BE CONSTRUCTED OF TIMBER, WITH TIMBER CAPPING AND EXPOSED POSTS AND DOUBLE-SIDED PALING TO FENCE RETURN, BY OTHERS AFTER HANDOVER.

LANDSCAPING INCLUSIONS		
FRONT LANDSCAPING	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS
REAR LANDSCAPING	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS
PAVING	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS
FENCING	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS
LETTERBOX	<input checked="" type="checkbox"/> BY OTHERS	<input type="checkbox"/> BY BUILDERS

LEGEND	DESCRIPTION	TOTAL AREA m ²
	EXPOSED AGG. CONCRETE	35.10m ²
	TILED	10.69m ²
	PLANTED GARDEN BED	10.88m ²
	TURF	19.33m ²
	TOPPING	4.45m ²



AMM	TYPE	DATE	SIGN
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13	FINALS CHECK	19.01.24	NTR

* NOTE DO NOT SCALE THESE DRAWINGS *

CONTRACT DRAWINGS	
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE
 FOR: SUMAN KUNWAR
 NABINA ADHIKARI
 AT: LOT 545 NICASTRO AVENUE,
 WOLLERT - VIC 3750
 MEL REF: .
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LANDSCAPE PLAN

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 200	SHEET No: 2 / 17
DESIGN CAULFIELD 26A	
ELEVATION KOBE	
SPECIFICATION PREMIUM 2023	REVISION 13

FLOORPLAN

DIMENSIONS ARE SHOWN TO TIMBER FRAME ONLY AND DO NOT ALLOW FOR PLASTER BOARD SHEETING OR OTHER SUCH FINISHES.

BH DENOTES BULKHEAD OVER OPENINGS. BULKHEADS ARE TO BE 200mm DEEP.

MASONRY CONTROL JOINTS TO BE AS PER ENGINEERS DESIGN

DENOTES METER BOX, TELEPHONE & GAS METER (IF REQUIRED)

DENOTES INSULATION IN WALL BETWEEN GARAGE & HOUSE. WALL TO HAVE PLASTERBOARD BOTH SIDES.

INSULATION REQUIREMENTS TO BE AS PER PLANS & TO BE READ IN CONJUNCTION WITH ENERGY REPORT

INDICATES LOCATION OF SMOKE ALARMS. SMOKE ALARMS TO BE INTERCONNECTED AND INSTALLED IN ACCORDANCE WITH NCC 2022 PART H3D6 AND A.S. 3786 - 2014.

DENOTES CONDUIT UNDER SLAB FOR POWER, WATER OR BOTH TO ISLAND BENCH. TO RUN ADJACENT TO SINK WASTE.

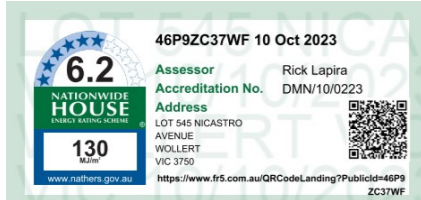
DENOTES HOT WATER SERVICE SOLAR PANEL LOCATION ON ROOF. NUMBER OF SYMBOLS REFERS TO NUMBER OF PANELS REQUIRED. IF SOLAR PANEL REQUIRED, LOCATION IS NOMINAL ONLY. INSTALLERS TO LOCATE AND TO COMPLY WITH MANUFACTURERS REQUIREMENTS AND AS/NZS 3500-PLUMBING AND DRAINAGE

565x565mm PERSONAL ACCESS OPENING TO BE LOCATED AS PER PLAN & TO SUIT TRUSS SETOUT. LOCATION IS INDICATIVE ONLY AND IS TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION WITH PLACEMENT OF DUCTED HEATING UNIT.

RA INDICATES HEATING SYSTEM RETURN AIR VENT

DENOTES THE WINDOW & DOOR NUMBER, AND SHEET NUMBER FOR WINDOW & DOOR SCHEDULE. SCHEDULE NOMINATES WINDOW SIZES AND HEAD HEIGHTS

DENOTES THE DETAIL NUMBER & SHEET NUMBER FOR DETAILS REFERENCED IN THE DRAWING SET.



ALL NOTES ARE TO BE READ IN CONJUNCTION WITH NOTES ON PLANS. WHERE THERE IS A DISCREPANCY BETWEEN THESE NOTES & NOTES ON THE PLAN, THE PLAN SHALL TAKE PRECEDENCE.

CHECK AND VERIFY ALL MEASUREMENTS, DIMENSIONS & INTENT PRIOR TO CONSTRUCTION OR FABRICATION.

DO NOT SCALE DRAWINGS, FIGURED DIMENSIONS ARE TO TAKE PRECEDENCE OVER ALL.

ALL WORK MUST COMPLY WITH THE BUILDING CODE OF AUSTRALIA & ALL OTHER RELEVANT BY LAWS AND AUTHORITIES.

SKIRTINGS ARE 67x12 SINGLE BEVEL MDF SKIRTING BOARD UNLESS OTHERWISE NOTED IN SPECS.

ARCHITRAVES ARE 42x12 SINGLE BEVEL MDF SKIRTING BOARD UNLESS OTHERWISE NOTED IN SPECS.

WINDOWS ADJACENT TO BATHS SHOWING A DASHED SILL LINE ARE TO BE SET AT HOB HEIGHT WITH NO BOTTOM REVEAL & BE SQUARE SET UNLESS NOMINATED OTHERWISE. REFER TO DETAILS ON PLAN.

ENSUITE WINDOWS THAT ARE OVER VANITY ARE TO BE SET AT BENCH HEIGHT WITH NO BOTTOM REVEAL & SQUARE SET. VANITY TOP IS TO RUN INTO WINDOW. REFER DETAILS ON PLANS.

KITCHEN WINDOWS OVER BENCHTOPS ARE TO BE SET AT BENCH LEVEL WITH NO BOTTOM REVEAL. BENCHTOP IS TO RUN INTO WINDOW. REFER DETAILS ON PLANS.

DOORS TO SANITARY COMPARTMENTS MUST BE HINGED WITH LIFT OFF HINGES UNLESS THE DISTANCE FROM DOOR ARCH TO CLOSET PAN IS 1200mm OR GREATER, TO ALLOW THE DOOR TO BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT.

WALLS BEHIND WET AREA VESSELS (e.g. BATHS & BASINS) MUST BE PROVIDED WITH IMPERVIOUS SURFACE FOR A HEIGHT OF 150mm MIN. WALLS TO SHOWER COMPARTMENTS TO BE PROVIDED WITH IMPERVIOUS SURFACE TO A HEIGHT OF 1800mm MIN. ABOVE SHOWER BASE.

FOR GARAGE BEAM LOCATION & CONNECTIONS REFER DETAILS OR ENGINEERING AS APPLICABLE.

GARAGE DOORS ARE SECTIONAL PANELS UNLESS OTHERWISE SPECIFIED. WIDTH AS NOMINATED ON PLAN.

BRICK PIERS TO PORCHES & PORTICOS REQUIRE A 90x90mm TREATED PINE POST TO CENTRE POSITION AS SHOWN ON PLAN.

DOORS TO ROBES ARE VINYL SLIDING UNLESS OTHERWISE NOMINATED. NUMBER OF DOOR LEAFS AS INDICATED. FOR ROBE & LINEN DETAILS REFER DETAILS ON PLANS.

FRONT WATER TAP TO BE LOCATED AT METER UNLESS OTHERWISE NOTED.

PROVIDE LANDINGS TO EXTERNAL DOORS HAVING A MINIMUM SIZE OF THE WIDTH OF THE DOOR WHERE FALL FROM DWELLING EXCEEDS 230mm.

REFER TO SITEPLAN FOR WHETHER TERMITE TREATMENT IS REQUIRED.

GAS METER TO BE LOCATED 500mm MINIMUM FROM THE ELECTRICAL EARTH STAKE.

WHERE OUTDOOR LIVING IS AT REAR OF GARAGE, A 1N" BRICK DEEPER REBATE IS REQUIRED FOR 2000mm FROM BACK OF GARAGE WALL.

OPENABLE WINDOWS WITH A FALL GREATER THAN 1m FROM THE FINISHED FLOOR LEVEL (APPLICABLE TO FIRST FLOOR WINDOWS) TO HAVE A RESTRICTED OPENING OF MAX 125mm.

WHEN 600mm EAVES ARE NOMINATED TO BRICK VENEER WALLS, TRUSS PITCHING POINT TO BE CANTILEVERED 150mm.

STAIR CONSTRUCTION TO CONSIST OF RISERS OF 190mm MAX. AND GOINGS OF 240mm MIN. ALL BALUSTRADING TO STAIRS TO BE 865mm MIN. ABOVE STAIR NOSING AND 1000mm MIN. ABOVE LANDINGS. BALUSTRADES TO BE SPACED AT 125mm MAX.

STAIRS TO HAVE A SURFACE OR NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN P3 AS LISTED IN NCC TABLE 11.2.4 WHEN TESTED IN ACCORDANCE WITH AS4586.

ALL STAIRWAY, BARRIER AND HANDRAIL CONSTRUCTION IS TO BE INSTALLED AND COMPLETED IN ACCORDANCE WITH NCC 2022 VOLUME 2 PARTS 11.2 - STAIRWAY AND RAMP CONSTRUCTION AND 11.3 - BARRIERS AND HANDRAILS.

THE BUILDER RESERVES THE RIGHT TO MAKE MINOR ALTERATIONS TO FLOOR LEVELS, WINDOW POSITIONS, SITE EXCAVATION, HEATING DUCTS DURING CONSTRUCTION IN THE INTEREST OF PRODUCT IMPROVEMENT.

CLEARANCE IS TO BE MAINTAINED BETWEEN TOP OF CEILING BATTS AND UNDERSIDE OF ROOF COVER. WHERE CEILING BATTS AND ROOF COVER MAKE CONTACT A LAYER OF SISALATION IS TO BE PROVIDED TO THE AFFECTED AREA TO ELIMINATE MOISTURE TRANSFER

NO PART OF FOOTING OR WALL TO ENCROACH BOUNDARY LINE.

ALL SECTIONS OF THE SPECIFICATION & DRAWING SHALL BE TAKEN IN CONJUNCTION & ANY PROVISIONS OR CLAUSES IN ANY ONE SECTION SHALL BE TAKEN AS REFERRING TO ALL OTHER SECTIONS. IF SUCH PROVISIONS AND CLAUSES ARE IN ANY WAY APPLICABLE.

WHERE AN ITEM IS USUAL OR NECESSARY OR IS REASONABLE OR PROPERLY INFERRED IN THE TYPE OF WORK GENERALISED IN THIS SPECIFICATION BUT NOT SPECIFICALLY MENTIONED, IT SHALL BE DEEMED TO BE INCLUDED IN THE SPECIFICATION.

UNDER NO CIRCUMSTANCES IS ANYTHING (INCLUDING BASKETBALL HOOPS) TO BE FIXED TO WALLS ABOVE ANY BRICKWORK OPENINGS (e.g. WINDOWS AND GARAGE DOOR)

BALCONIES

BALCONY WATERPROOFING IN ACCORDANCE WITH AS4654

ELEVATIONS

ANY RENDER FINISH SUBSEQUENTLY APPLIED TO THE SURFACE, SHALL NOT BE ALLOWED TO BRIDGE A DAMP PROOF COURSE, OR MAKE INEFFECTIVE ANY OTHER MOISTURE PROTECTION MEASURES. DAMP PROOF COURSE TO BE CUT HORIZONTALLY THROUGH THE RENDER.

ELECTRICAL

SLIDE OUT RANGEHOOD SGPO TO BE MOUNTED IN CUPBOARD ABOVE.

CANOPY RANGEHOOD SGPO TO BE MOUNTED AS PER MANUFACTURERS RECOMMENDATIONS.

OVEN ISOLATOR SWITCH IS TO BE INCORPORATED IN CLOSET DGPO IF REQUIRED.

COOKTOP SGPO TO BE PLACED IN ADJACENT CUPBOARD.

DISHWASHER SGPO TO BE PLACED IN ADJACENT CUPBOARD.

PROVIDE SGPO TO MICROWAVE SPACE.

BATHROOM DGPO TO BE MOUNTED ON PLASTERBOARD WALL BETWEEN VANITY & SHOWER. ENSUITE DGPO TO BE MOUNTED ON WALL TO SIDE OF VANITY ABOVE TILING.

GENERAL ROOM GPOs, TV & TELEPHONE OUTLETS TO BE MOUNTED 300mm ABOVE FFL.

REFRIGERATOR SGPO TO BE @ 1500mm ABOVE FFL.

MASTER BEDROOM DGPOs TO BE 300mm ABOVE FFL & APPROX. 1000mm FROM CENTRE OF WALL.

LIGHT SWITCHES TO BE @ 1050mm ABOVE FFL.

ALL MEASUREMENTS ARE TO CENTRELINE OF SWITCH PLATE.

EXTERNAL FLOODLIGHTS TO BE MOUNTED 50mm BELOW THE FASCIA UNLESS OTHERWISE NOTED.

INTERNALS

VANITY DEPTHS TO BE 560mm UNLESS OTHERWISE NOTED.

AUSTRALIAN STANDARDS DOCUMENT

AS 1288 - 2021 "GLASS IN BUILDINGS - SELECTION AND INSTALLATION"

ALL GLAZING TO DOORS & WINDOWS ARE TO FULLY COMPLY IN ACCORDANCE WITH AS 1288 - 2021 SPECS

AS 1562 PART 1 - 2018 METAL COLOURBOND "DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING"

AS/NZS 1562 PART 2 - 1999 CORRUGATED FIBRE-REINFORCED CEMENT "DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING"

AS/NZS 1562 PART 3 - 1996 "PLASTICS "DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING"

AS 2049 - 2002 "ROOF TILES"

AS 2050 - 2018 "INSTALLATION OF ROOF TILES"

AS/NZS 2904 - 1995 "DAMP-PROOF COURSES AND FLASHINGS"

AS/NZS 3500 "PLUMBING AND DRAINAGE" PART 3 - 2021 "STORM WATER DRAINAGE"

AS 3600 - 2018 "CONCRETE STRUCTURES"

AS 3660 "TERMITE MANAGEMENT" PART 1 - 2014 "NEW BUILDING WORK" PART 3 - 2014 "ASSESSMENT CRITERIA FOR TERMITE MANAGEMENT SYSTEMS"

AS 3700 - 2018 "MASONRY STRUCTURES"

AS 3470 - 2021 "WATERPROOFING OF DOMESTIC WET AREAS"

AS 3786 - 2014 "SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION"

AS 3786 - 2014 "SMOKE ALARMS"

AS 3959 - 2018 "CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS"

AS 4586 - 2013 "SLIP RESISTANCE CLASSIFICATION OF NEW PEDESTRIAN SURFACE MATERIALS"

AS/NZS 4859 - "MATERIALS FOR THE THERMAL INSULATION OF BUILDINGS"

PART 1 - 2018 "GENERAL CRITERIA AND TECHNICAL PROVISIONS"

PART 2 - 2018 "DESIGN"

WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH NCC CLAUSE 10.1 AND AS 3740 ALL GLASS TO COMPLY WITH A.S. 1288 - 2021 ALL TIMBER TO COMPLY WITH A.S. 1684.2 - 2021. ALL MASONRY TO COMPLY WITH A.S. 3700 - 2018. AND A.S. 4773.2 - 2015.

AS PER CLAUSE 10.8.1 OF NCC 2022 A Pliable BUILDING MEMBRANE TO BE INSTALLED THAT COMPLIES WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2 AND MUST NE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8.

AS PER CLAUSE 10.8.2 OF NCC 2022 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 10.8.3.

WET AREAS TO BE PROVIDED WITH ADDITIONAL NOGGINGS AS PER LIVEABLE HOUSING DESIGN STANDARDS PART 6 2022, REFER TO LOCATION DETAILS

HEATING AND COOLING DUCTWORK

a) HEATING AND COOLING DUCTWORK AND FITTINGS MUST-

- (i) ACHIEVE THE R-VALUE IN TABLE 13.7.3; AND
- (ii) BE SEALED AGAINST AIR LOSS -
- (A) BY CLOSING ALL OPENINGS IN THE SURFACE, JOINTS AND SEAMS OF DUCTWORK WITH ADHESIVES, MASTICS, SEALANTS OR GASKETS IN ACCORDANCE WITH AS 4254 FOR A CLASS C SEAL; OR
- (B) FOR FLEXIBLE DUCTWORK, WITH A DRAW BAND IN CONJUNCTION WITH A SEALANT OR ADHESIVE TAPE.
- b) DUCT INSULATION MUST -
- (i) ABUT ADJOINING DUCT INSULATION TO FORM A CONTINUOUS BARRIER; AND
- (ii) BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN AT FLANGES AND SUPPORTS; AND
- (iii) WHERE LOCATED OUTSIDE THE BUILDING, UNDER A SUSPENDED FLOOR, IN AN ATTACHED CLASS 10A BUILDING OR IN A ROOF SPACE -
- (A) BE PROTECTED BY AN OUTER SLEEVE OF PROTECTIVE SHEETING TO PREVENT THE INSULATION BECOMING DAMP; AND
- (B) HAVE THE OUTER PROTECTIVE SLEEVE SEALED WITH ADHESIVE TAPE NOT LESS THAN 48MM WIDE CREATING AN AIRTIGHT AND WATERPROOF SEAL.
- c) THE REQUIREMENTS OF (a) DO NOT APPLY TO HEATING AND COOLING DUCTWORK AND FITTINGS LOCATED WITHIN THE INSULATED BUILDING ENVELOPE INCLUDING A SERVICE RISER WITHIN THE CONDITIONED SPACE, INTERNAL FLOORS BETWEEN STORIES AND THE LIKE.

TABLE 13.7.3 HEATING AND COOLING DUCTWORK AND FITTINGS - MINIMUM MATERIAL R-VALUE
ELECTRIC RESISTANCE SPACE HEATING
AN ELECTRIC SPACE HEATING SYSTEM THAT SERVES MORE THAN ONE ROOM MUST HAVE -
(a) SEPARATE ISOLATING SWITCHES FOR EACH ROOM; AND
(b) A SEPARATE TEMPERATURE CONTROLLER AND TIME SWITCH FOR EACH GROUP OF ROOMS WITH COMMON HEATING NEEDS; AND
(c) POWER LOADS OF NOT MORE THAN 110 W/m² FOR LIVING AREAS AND 150 W/m² FOR BATHROOMS.
ARTIFICIAL LIGHTING
(a) THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF ARTIFICIAL LIGHTING, EXCLUDING HEATERS THAT EMIT LIGHT, MUST NOT EXCEED -
(i) IN A CLASS 1 BUILDING 5W/m²; AND
(ii) ON A VERANDAH OR BALCONY ATTACHED TO A CLASS 1 BUILDING, 4 W/m²; AND
(iii) IN A CLASS 10 BUILDING, 3W/m²; AND
THE LAMP POWER DENSITY IS A WHOLE HOUSE CALCULATION BASED ON AN OVERALL SQUARE METERAGE AND NOT ROOM BY ROOM OR AREA BY AREA METERAGE.
CALCULATION EXCLUSIONS INCLUDE:
(i) BATHROOM HEAT LAMPS,
(ii) A LIGHT POINT WITHIN A CEILING SPACE,
(iii) EXTERNAL SECURITY LIGHTING.

Ductwork element	Minimum material R-Value for ductwork and fittings in each climate zone					
	heating-only system or cooling only system including an evaporative cooling system			combined heating and refrigerated cooling system		
	1,2,3,4,5,6 and 7	8	1,3,4,6 and 7	2 and 5	8	
Ductwork	1	1.5	1.5 (see note)	1	1.5	
Fittings	0.4					
NOTE: The minimum material R-Value required for ductwork may be reduced by 0.5 for combined heating and refrigerated cooling systems in climate						
(a)	under a suspended floor with an enclosed perimeter; or					
(b)	in a roof space that has insulation of not less than R0.5 directly beneath the roofing					

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13	FINALS CHECK	19.01.24	NTR

* NOTE DO NOT SCALE THESE DRAWINGS *

CONTRACT DRAWINGS	
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE FOR: SUMAN KUNWAR NABINA ADHIKARI AT: LOT 545 NICASTRO AVENUE, WOLLERT - VIC 3750 MEL REF: . PERMIT N°: . JOB N°: 16913

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GENERAL NOTES

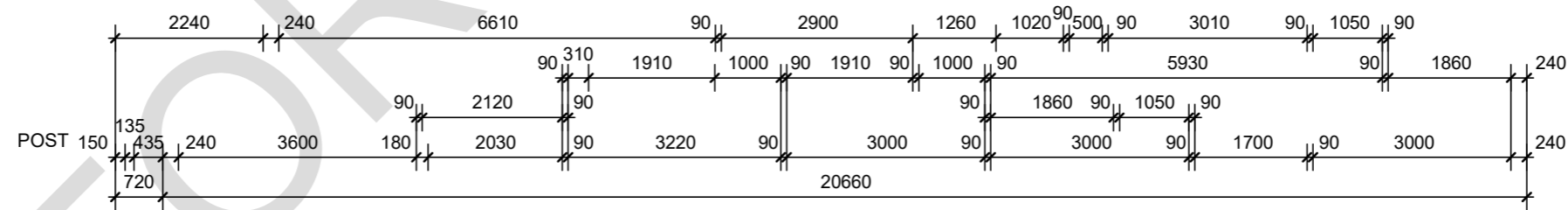
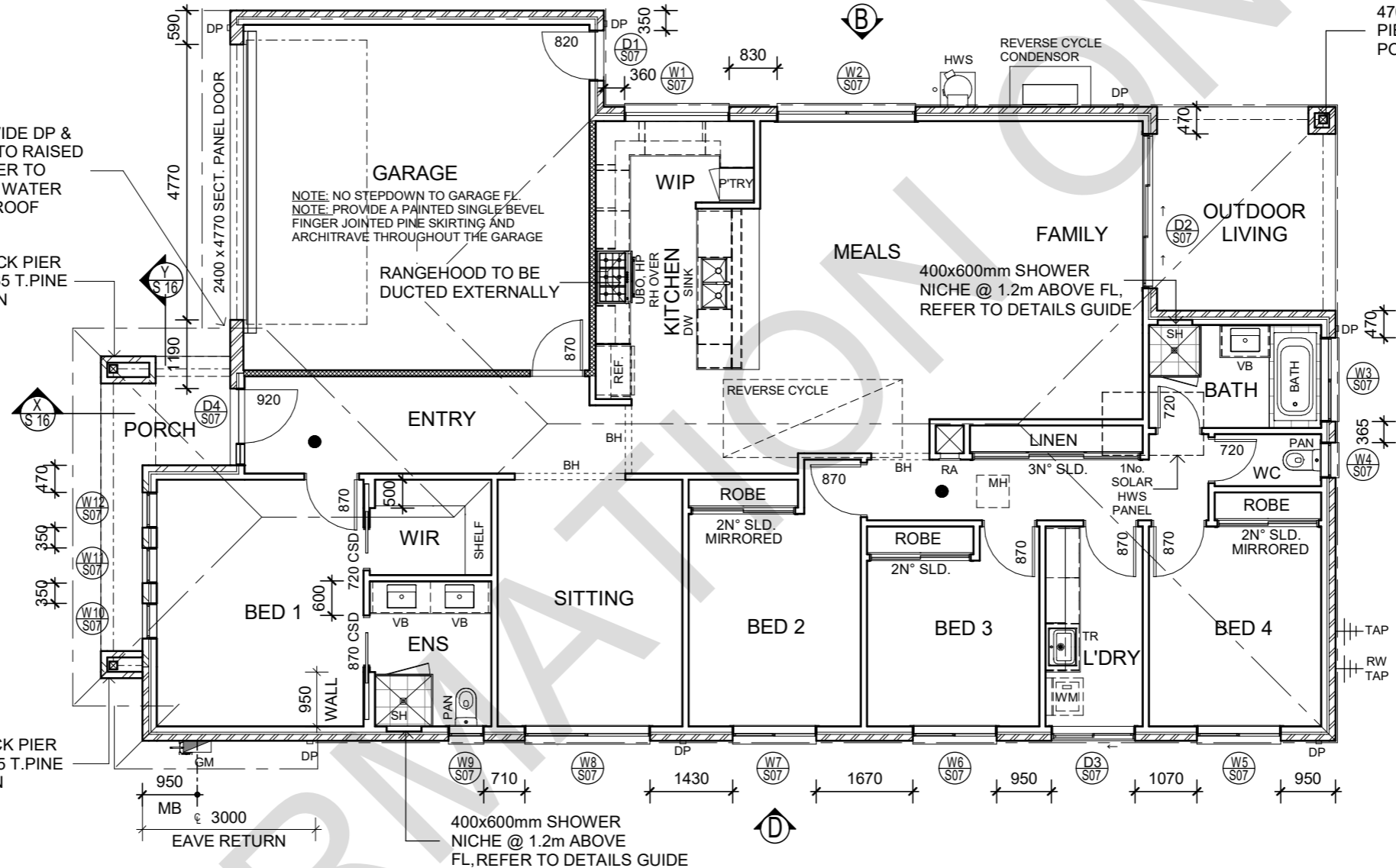
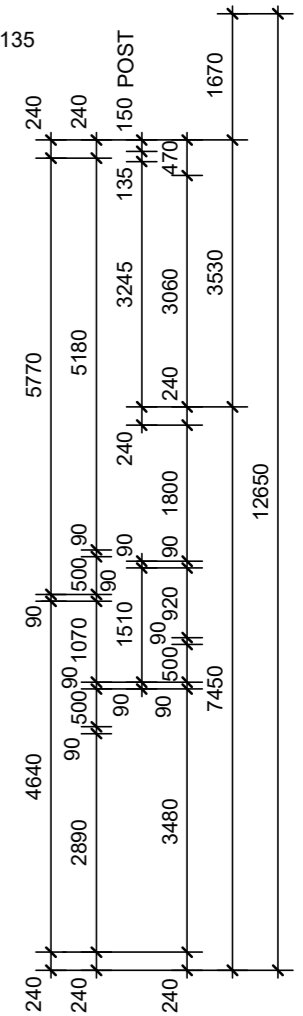
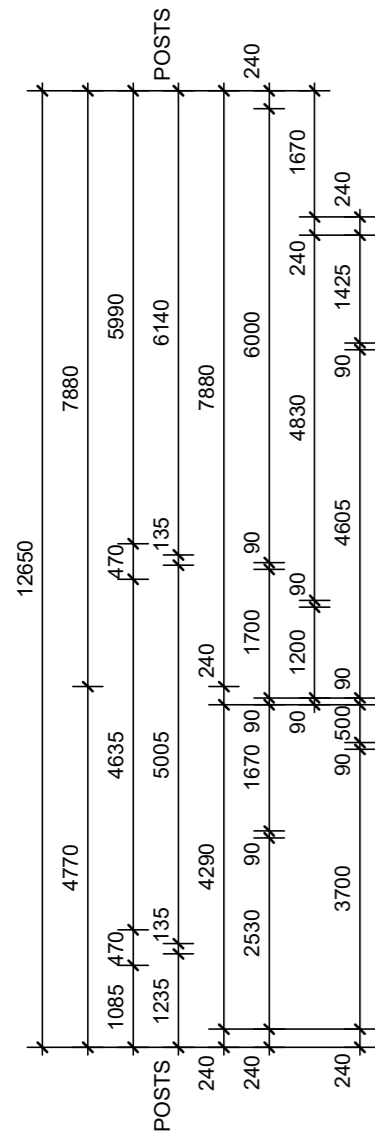
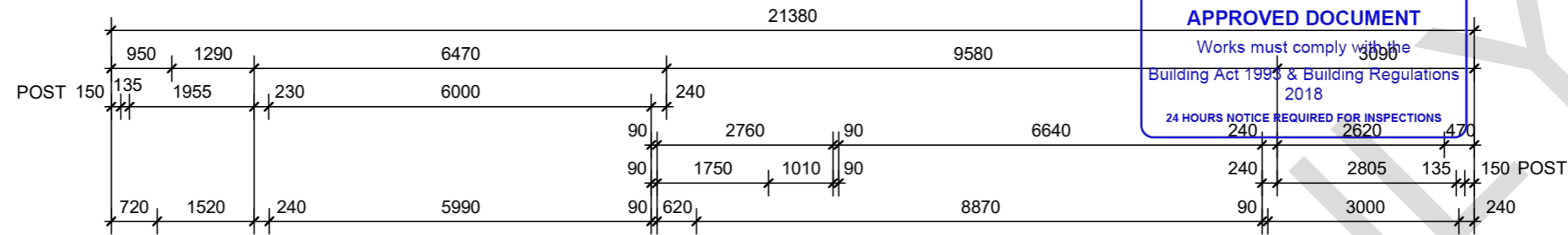
DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: N/A	SHEET No: 3 / 17
DESIGN CAULFIELD 26A	
ELEVATION KOBE	
SPECIFICATION PREMIUM 2023	REVISION 13

NOTE: REFER TO ENGINEERING FOR MASONRY CONTROL JOINT DESIGN

NOTE: LINTEL AND BRACING DESIGN BY OTHERS - DETAILS AND COMPUTATIONS TO BE PROVIDED TO BUILDING SURVEYOR PRIOR TO FRAME INSPECTION

Northpoint Building Surveyors
APPROVED DOCUMENT
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NOTE: RECYCLED WATER TO BE CONNECTED TO 2N° EXTERNAL TAPS (1N° @ THE HOUSE & 1N° @ THE METER), 1N° WASHING MACHINE STOP AND ALL TOILET CISTERNS AS PER RELEVANT GUIDELINES.



NOTE: PROVIDE DP & SPREADER TO RAISED ROOF GUTTER TO EXPEL RAIN WATER TO LOWER ROOF

470x950 BRICK PIER WITH 135x135 T.PINE POST WITHIN

470x720 BRICK PIER WITH 135x135 T.PINE POST WITHIN

GARAGE
 NOTE: NO STEPDOWN TO GARAGE FL.
 NOTE: PROVIDE A PAINTED SINGLE BEVEL FINGER JOINTED PINE SKIRTING AND ARCHITRAVE THROUGHOUT THE GARAGE

RANGEHOOD TO BE DUCTED EXTERNALLY

MEALS
 400x600mm SHOWER NICHE @ 1.2m ABOVE FL. REFER TO DETAILS GUIDE

400x600mm SHOWER NICHE @ 1.2m ABOVE FL. REFER TO DETAILS GUIDE

NOTE: WALL MOUNTED EXTERNAL GARDEN TAPS TO BE @600mm ABOVE THE FFL UNLESS NOTED OTHERWISE



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08	PCV001 ADDED	13.11.23	MCV
09	H & C AMENDMENTS	14.11.23	MCV
10	RESITING GARAGE BOUNDARY	20.11.23	MCV
11	ENGINEERING ADDED	22.11.23	MCV
12	PERMIT RFI ADDED	08.12.23	MCV
13	FINALS CHECK	19.01.24	NTR

CONTRACT DRAWINGS	DATE
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE FOR: SUMAN KUNWAR NABINA ADHIKARI
AT: LOT 545 NICASTRO AVENUE, WOLLERT - VIC 3750
MEL REF: .
PERMIT N°: . **JOB N°: 16913**

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FLOOR PLAN AREAS	
GROUND FLOOR	178.03 m²
GARAGE	39.28 m²
PORCH	6.89 m²
O. LIVING	10.91 m²
TOTAL	235.10 m²

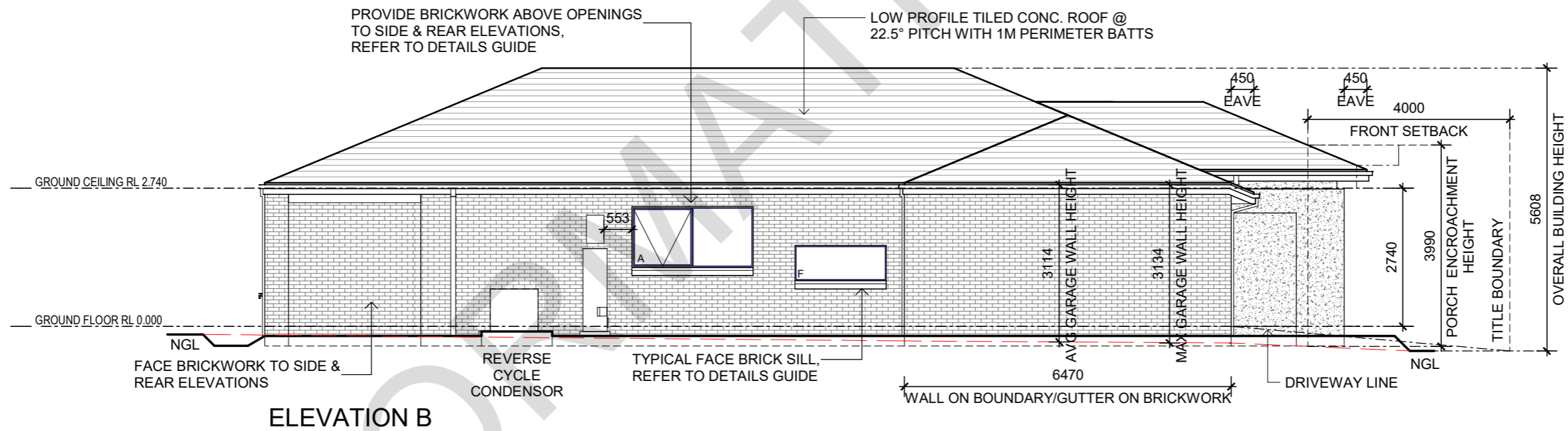
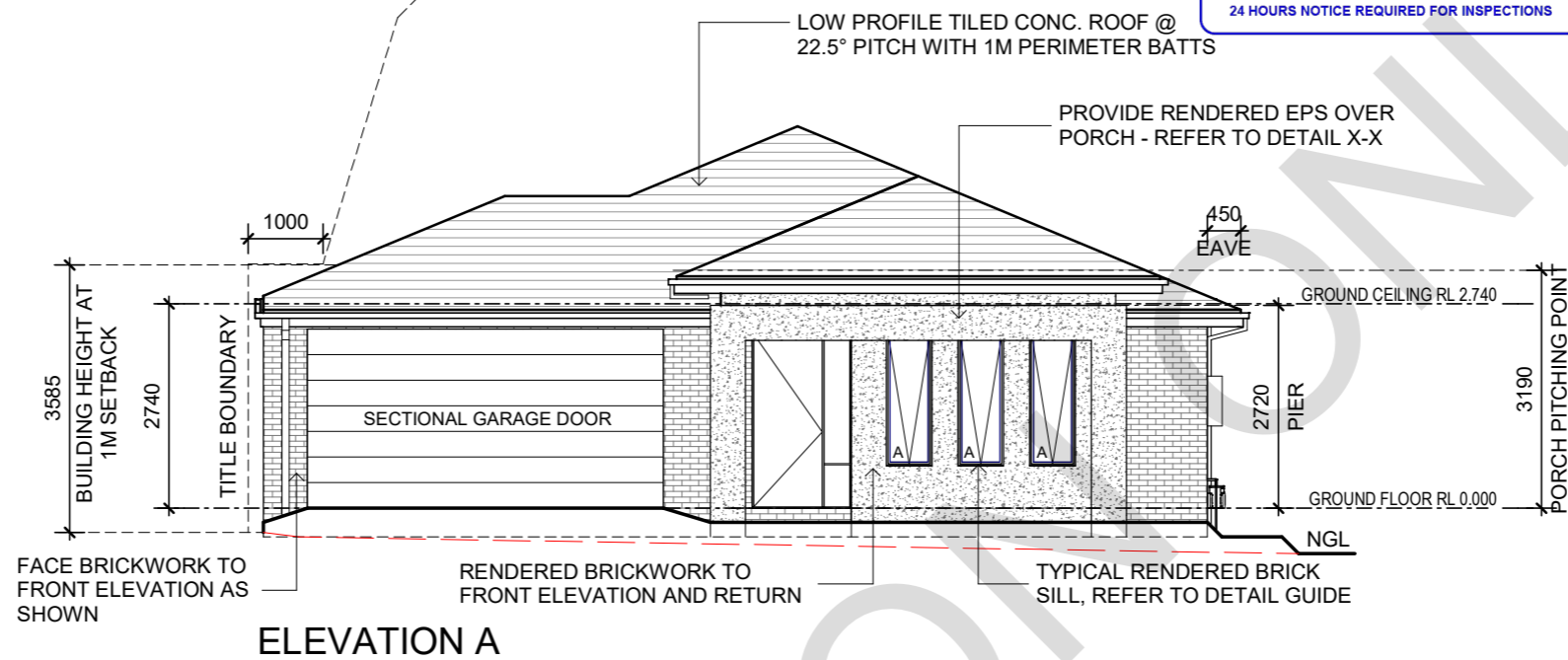
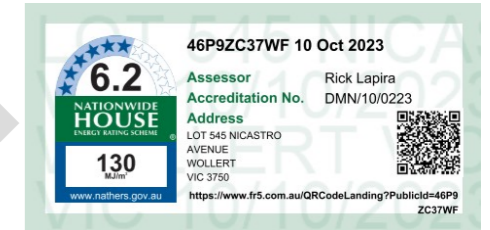
DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 100	SHEET No: 4 / 17
DESIGN CAULFIELD 26A	
ELEVATION KOBE	
SPECIFICATION PREMIUM 2023	REVISION 13

NOTE: ALL EXHAUST FANS TO BE DUCTED EXTERNALLY AS PER CLAUSE 10.8.2 OF NCC 2022. ROOF COWLS TO BE INSTALLED AND LOCATED AT INSTALLERS DISCRETION. COWLS NOT TO BE INSTALLED IN FRONT PORTION OF HOUSE.

FRONT ELEVATION MATERIALS TABLE AND PERCENTAGE

MATERIAL	AREA	PERCENTAGE
RENDERED MATERIALS	10.53M ²	62.49%
FACE BRICKWORK	6.32M ²	37.51%
TOTAL	16.85M ²	100%

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CONTRACT DRAWINGS	DATE
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE
 FOR: SUMAN KUNWAR
 NABINA ADHIKARI
 AT: LOT 545 NICASTRO AVENUE,
 WOLLERT - VIC 3750
 MEL REF: .
 PERMIT N°: .

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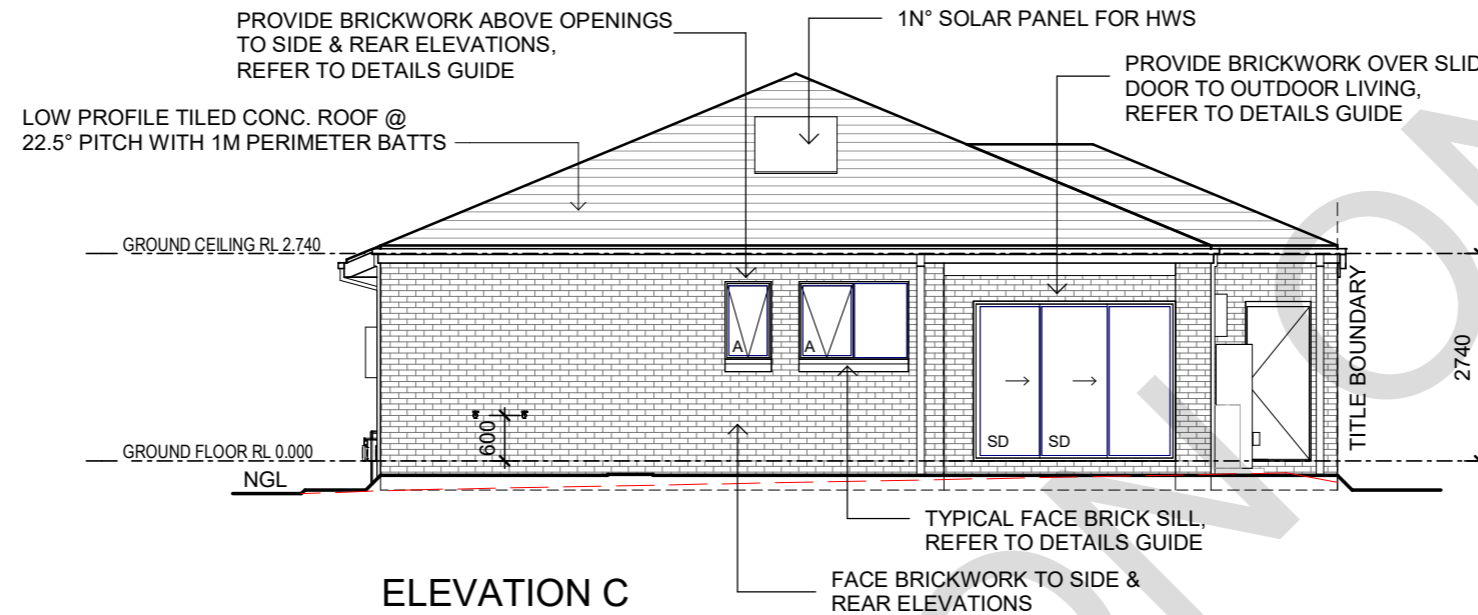
ELEVATIONS

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 100	SHEET No: 5 / 17
DESIGN	CAULFIELD 26A
ELEVATION	KOBE
SPECIFICATION PREMIUM 2023	REVISION 13

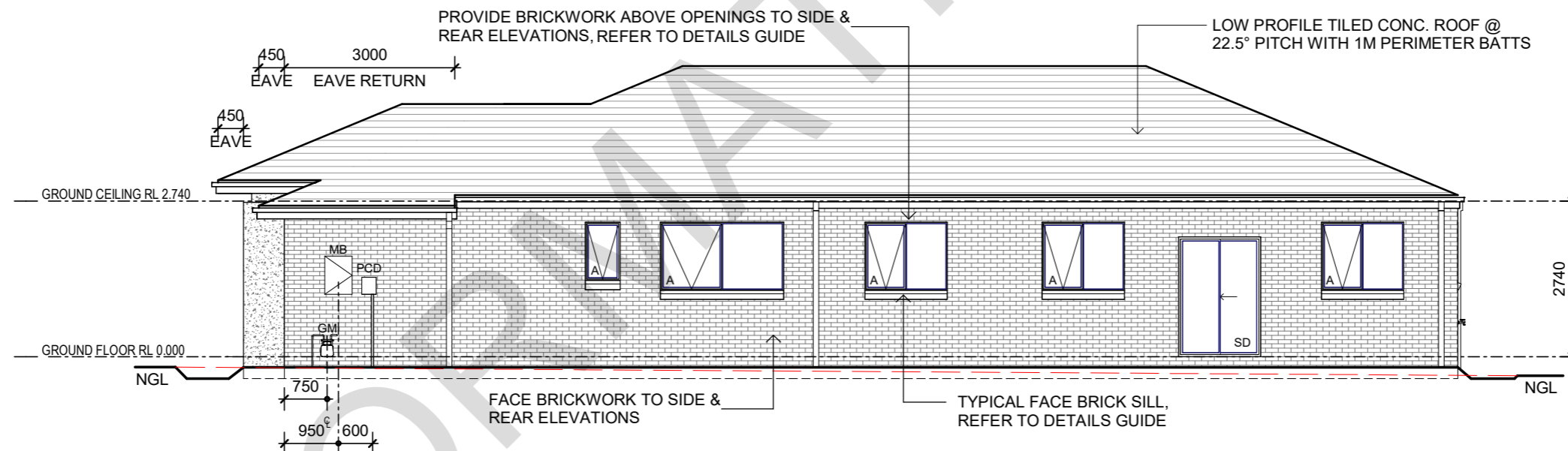
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46P9ZC37WF 10 Oct 2023
 Assessor Rick Lapira
 Accreditation No. DMN/10/0223
 Address LOT 545 NICASTRO AVENUE WOLLERT VIC 3750
 6.2
 NATIONALWIDE HOUSE ENERGY RATING SCHEME
 130
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ELEVATION C



ELEVATION D

AMM	TYPE	DATE	SIGN
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ELEVATIONS

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 100	SHEET No: 6 / 17
DESIGN	CAULFIELD 26A
ELEVATION	KOBE
SPECIFICATION PREMIUM 2023	REVISION 13

WINDOW SCHEDULE

W N°	HEIGHT	WIDTH	HEAD HT.	O/A DOOR & REVEAL DEPTH	GLAZING	D.GLAZE REQ.	RESTRICTED OPENING	COMMENTS
1	700	1810	1605	163mm	CLEAR	YES	N/A	FIXED - NO BOTTOM REVEAL IN LINE & PLASTER REVEAL - BOUTIQUE WINDOW
2	1200	2398	2370	163mm	CLEAR	YES	NO	AWNING SASH
3	1027	1450	2370	163mm	CLEAR	YES	YES	AWNING SASH
4	1027	610	2370	163mm	CLEAR	YES	NO	AWNING SASH
5	1200	1450	2370	163mm	CLEAR	YES	NO	AWNING SASH
6	1200	1450	2370	163mm	CLEAR	YES	NO	AWNING SASH
7	1200	1450	2370	163mm	CLEAR	YES	NO	AWNING SASH
8	1200	2170	2370	163mm	CLEAR	YES	NO	AWNING SASH
9	1027	610	2370	163mm	CLEAR	YES	NO	AWNING SASH
10	1800	610	2370	163mm	CLEAR	YES	NO	AWNING SASH - ARMADALE STYLE
11	1800	610	2370	163mm	CLEAR	YES	NO	AWNING SASH - ARMADALE STYLE
12	1800	610	2370	163mm	CLEAR	YES	NO	AWNING SASH - ARMADALE STYLE

EXTERNAL DOOR SCHEDULE

D N°	HEIGHT	WIDTH	GLAZING	D. GLAZE REQ.	RESTRICTED OPENING	COMMENTS
1	2105	865	N/A	N/A	N/A	TIMBER FRAME TO SUIT 820 DOOR
2	2110	2673	CLEAR	NO	N/A	LEFT TO RIGHT ENTERTAINER SLIDING GLASS DOOR
3	2110	1450	CLEAR	NO	N/A	RIGHT TO LEFT SLIDING GLASS DOOR
4	2405	1330	TRANSLUCE NT	N/A	N/A	TIMBER FRAME TO SUIT 920 DOOR & 1N° TRANSLUCENT SIDELIGHT

NOTE: PROVIDE ALUMINIUM FLYSCREENS WITH ALUMINIUM MESH & LOCKS TO ALL OPERABLE WINDOW SASHES. PROVIDE KEY LOCK TO EXTERNAL SLIDING DOORS

NOTE: WHERE REQUIRED AN ALUMINIUM INFILL WILL BE USED NEXT TO A WINDOW/ DOOR FRAME.

NOTE: PROVIDE 2340 HIGH DOORS TO LOWER FLOOR, 2340 HIGH FRONT ENTRY DOOR. 2400mm HIGH SLD MIRROR ROBE DOORS TO BED 2 & 4.

NOTE: HINGED DOOR LATCH HEIGHT TO BE 1050MM FROM FFL

NOTE: ALL CAVITY SLIDING DOORS TO BE FLUSH JAMB



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6-STAR REQUIREMENTS

- Seal all external gaps & cracks
- Weather strips/seals to all external entry doors to dwelling only
- Tape building wrap to seal gaps between door/window frames & stud works
- R2.5 Bulk ceiling insulation to a 1.0 metre perimeter of the dwelling & garage
- R3.5 Bulk ceiling insulation to main ceiling of dwelling & garage, please refer to the attached report for specification
- R2.0 bulk insulation to all external walls & Anti-glare insulation foil included garage Brick Veneer external walls, please refer to the attached report for specification
- R2.0 bulk insulation to internal walls between garage and the dwelling only, please refer to the attached report for specification
- Foundations: concrete slab 85mm with waffle pod as drawn on plans only
- Skylights/Roof lights: None proposed
- Self closing exhaust fans/Draft stoppers
- Please provide a maximum 50mm insulation clearance around ceiling penetrations
- Range-hoods are to have a filter installed & ducted externally
- IC Rated (insulated contact) LED down-lights only with "0" clearance as documented on plans & as per attached report
- Window manufacture as supplied
- "SHGC" & "U" values as per selected in report:
- Double glazing with argon fill to all external windows as per plans
- Double glazing to all fixed glazing as per plans
- Refer to attached report/windows schedule only & refer to report for window type, glazing I.D inc. SHGC & U values
- Colour solar absorbance: Default solar absorbance used, no colours supplied
- Ducted heating & cooling penetrations as per NCC Part 3.12.5.3 (d)
- RL's or FFL's shown on plan
- Fence shading shown as per site plan

NOTE:

No insulation to be placed in eave sections, alfresco ceilings, verandah ceilings, porch ceilings or any shading devices unless specified

HEATING LOAD LIMITS 126 MJ/m².annum & COOLING LOAD LIMITS 31 MJ/m².annum (ABCBD STD. 2019.1)

This stamp is in accordance with The National Construction Code, State and Territory Building Authorities, NatHERS Technical Notes and AAO's.

NatHERS Default requirements

Where specific details have not been provided, NatHERS defined default values are required to be used in the assessment. These may include external colours, floor coverings, window systems, and neighbouring buildings. These are either 'worse-case' or 'industry average' and do not have a requirement to be matched on-site, except glazing within the tolerances on the Certificate. Default values do not typically represent the 'best' outcome, and accurate detailing is recommended, especially for glazing. All other detailed specification items above are to be included in the construction of the building/s unless advised otherwise in writing by the Relevant Building Surveyor only.

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* NOTE DO NOT SCALE THESE DRAWINGS *

CONTRACT DRAWINGS	DATE
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE
 FOR: SUMAN KUNWAR
 NABINA ADHIKARI
 AT: LOT 545 NICASTRO AVENUE,
 WOLLERT - VIC 3750
 MEL REF: .
 PERMIT N°: .

JOB N°: 16913

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WINDOW & DOOR SCHEDULE
B.A.L. LOW
WIND RATING: N1

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: N/A	SHEET No: 7 / 17
DESIGN	CAULFIELD 26A
ELEVATION	KOBE
SPECIFICATION PREMIUM 2023	REVISION 13

NOTE: GENERAL ROOM GPOS, TV & TELEPHONE OUTLETS TO BE 300MM ABOVE FFL. EXTERNAL GPOS TO BE @ 500MM ABOVE FFL. REFRIDGERATOR GPO & L'DRY WM DGPO @ 1500MM ABOVE FFL. LIGHT SWITCHES, WET AREA GPOS & GPOS ABOVE BENCHES TO BE @ 1150MM ABOVE FFL. ALL MEASUREMENTS ARE TO CENTRELINE OF SWITCH PLATE. EXTERNAL FLOODLIGHTS ARE TO BE MOUNTED 50MM BELOW THE FASCIA, UNLESS OTHERWISE NOTED. ALL ELECTRICAL FITTINGS AND POINTS ARE SHOWN INDICATIVE AND SUBJECT TO CHANGE PENDING SITE CONSTRAINTS SUCH AS TRUSS AND/OR STUD LOCATIONS.

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NOTE: HEATING & COOLING (IF APPLICABLE) OUTLET LOCATIONS ARE AN APPROXIMATE ONLY & ARE SUBJECT TO VERIFICATION BY HEATING CONTRACTOR

NOTE: ALL SMOKE DETECTORS TO THE DWELLING ARE TO BE INTERCONNECTED AS PER THE N.C.C. REQUIREMENTS

NOTE: AS PER CLAUSE 10.8.2 OF NCC 2022 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR. ALL EXHAUST FANS TO BE DUCTED EXTERNALLY TO COMPLY.

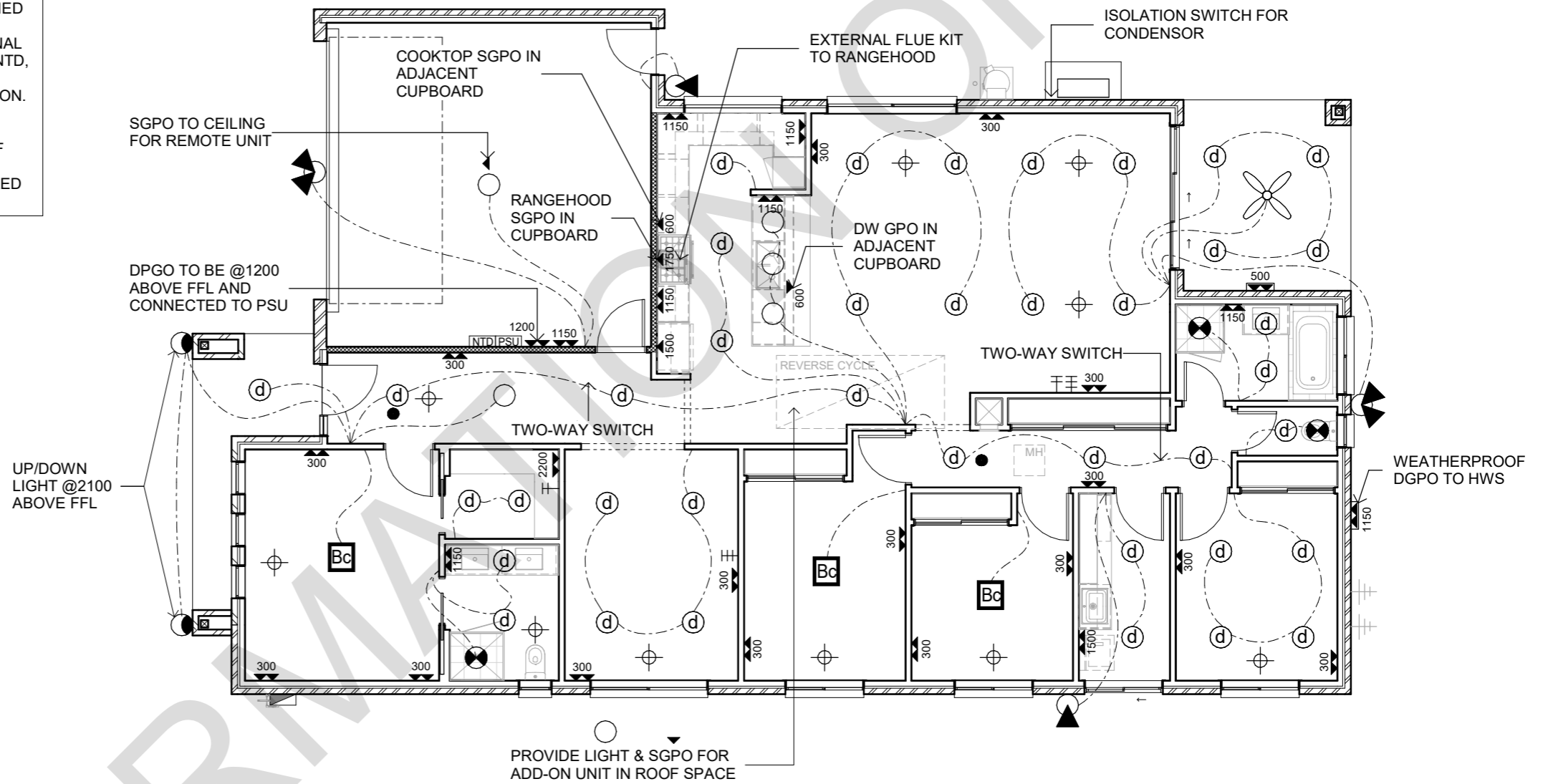
NOTE: SLAB MESH TO BE EARTHED | NOTE: PROVIDE A DIGITAL TV ANTENNA

PRE-PROVISIONING FOR FIBRE-TO-THE-PREMISES NOTES

- PROVIDE 'P25' COMMUNICATION CONDUIT FROM SERVICE PIT TO PCD LOCATION WITH DRAWSTRING FOR FIBRE NETWORK CABLE SUPPLIED & INSTALLED BY OTHERS.
- PROVIDE 'P25' COMMUNICATION CONDUIT FROM FROM THE EXTERNAL COMMUNICATION DEVICE, PCD, TO LOCATION NOMINATES AS THE NTD, INTERNAL TERMINATION DEVICE AND THE PSU.
- TELEPHONE/ DATA POINTS TO BE WIRED BACK TO THE NTD LOCATION.
- TV POINTS TO BE WIRED BACK TO SPLITTER BOX AT THE NTD LOCATION.
- CONDUIT FROM SPLITTER BOX INTO AND TERMINATED IN THE ROOF SPACE ABOVE.
- PCD, NTD & PSU LOCATION SHOWN INDICATIVE AND TO BE INSTALLED BY OTHERS AFTER HANDOVER.

Bc	Beacon Cameo 30cm 1LT Flush Mount	3
CF	Ceiling Fan	1
LO	Ceiling light outlet	6
DP	Data Point	2
DFL	Double Flood Light	2
GG	Double GPO	26
DL	Down Light outlet	39
EF	Exhaust Fan	3
FL	Flood Light	2
HD	Heating Duct 6	10
NTD	Network Termination Device	1
PSU	Power Supply Unit	1
SG	Single GPO	6
SA	Smoke Alarm	2
TP	Television Point	2
UDL	Up Down Light	2
WDG	Weatherproof Double GPO	2

ARTIFICIAL LIGHTING COMPLIANCE			
AREA TYPE	FLOOR AREA	ALLOWABLE WATTAGE	PROPOSED WATTAGE
INTERNAL			
FLOOR PLAN	157.0 m ²	783	380 W
GARAGE FLOOR	35.8 m ²	107	8 W
EXTERNAL			
EXTERNAL FLOOR	17.3 m ²	69	56 W



46P9ZC37WF 10 Oct 2023
6.2 Assessor Rick Lapira
 Accreditation No. DMN/10/0223
 Address LOT 545 NICASTRO AVENUE WOLLERT VIC 3750
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ORBIT HOMES	DATE
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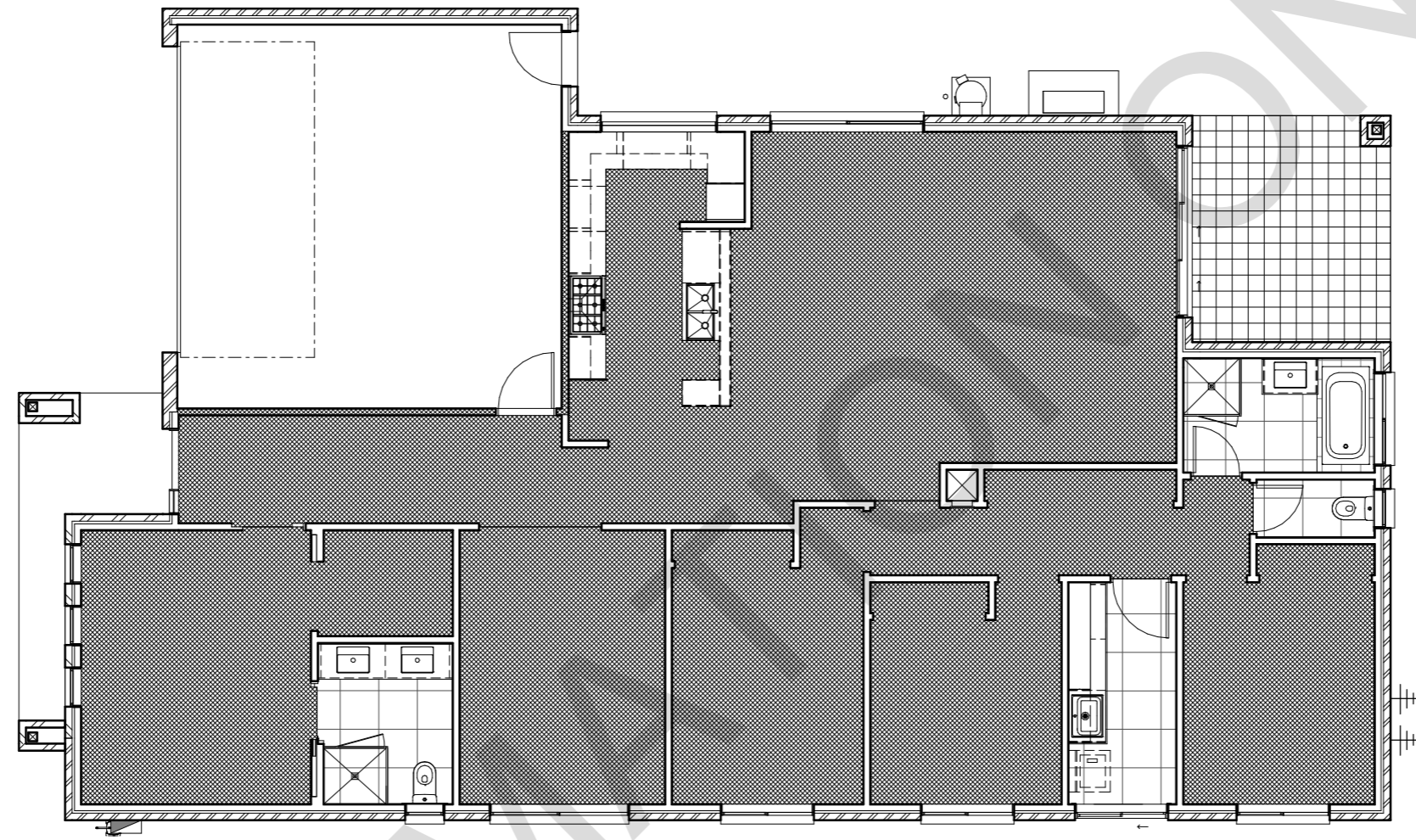
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ELECTRICAL PLAN

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 100	SHEET No: 8 / 17
DESIGN CAULFIELD 26A	
ELEVATION KOBE	
SPECIFICATION PREMIUM 2023	REVISION 13

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REPRESENTS FLOOR TILE INTERMEDIATE MOVEMENT JOINT @ 4.5MCTS. FLOOR TILER TO ENSURE SELECTED TILES DO NOT REQUIRE SMALLER SPACES BETWEEN MOVEMENT JOINTS.



46P9ZC37WF 10 Oct 2023

6.2
 NATIONWIDE HOUSE
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LEGEND	
	CARPET
	TILES 600 x 600
	TILES
	TIMBER
	HYBRID VINYL PLANK TIMBER
	TIMBER LAMINATE

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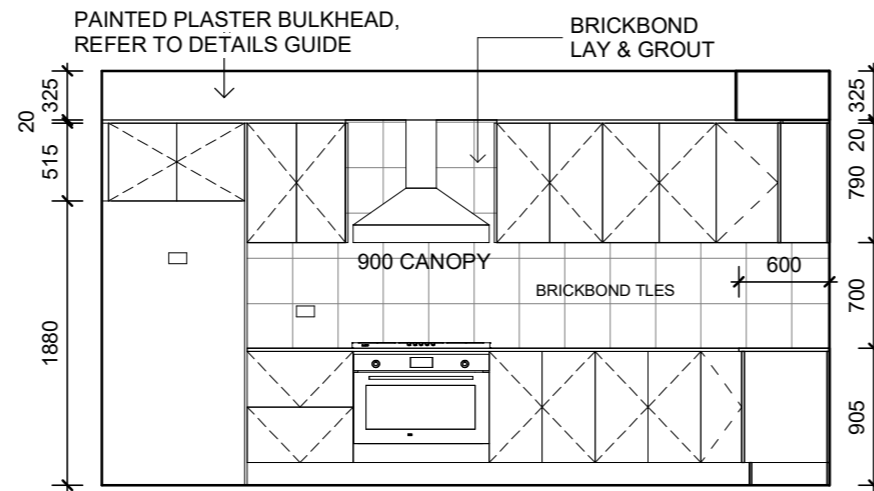
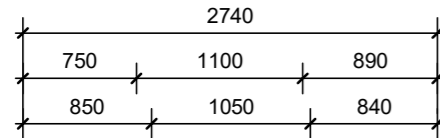
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FLOOR COVERINGS
 LAYOUT

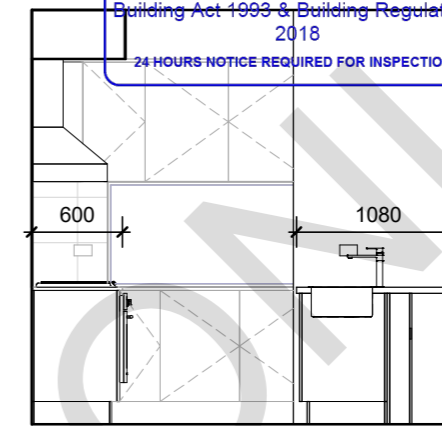
DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 100	SHEET No: 9 / 17
DESIGN	CAULFIELD 26A
ELEVATION	KOBE
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NOTE: ALL DIMENSIONS INCLUDING FRIDGE HEIGHT DO NOT ALLOW FOR FLOORING TYPE.

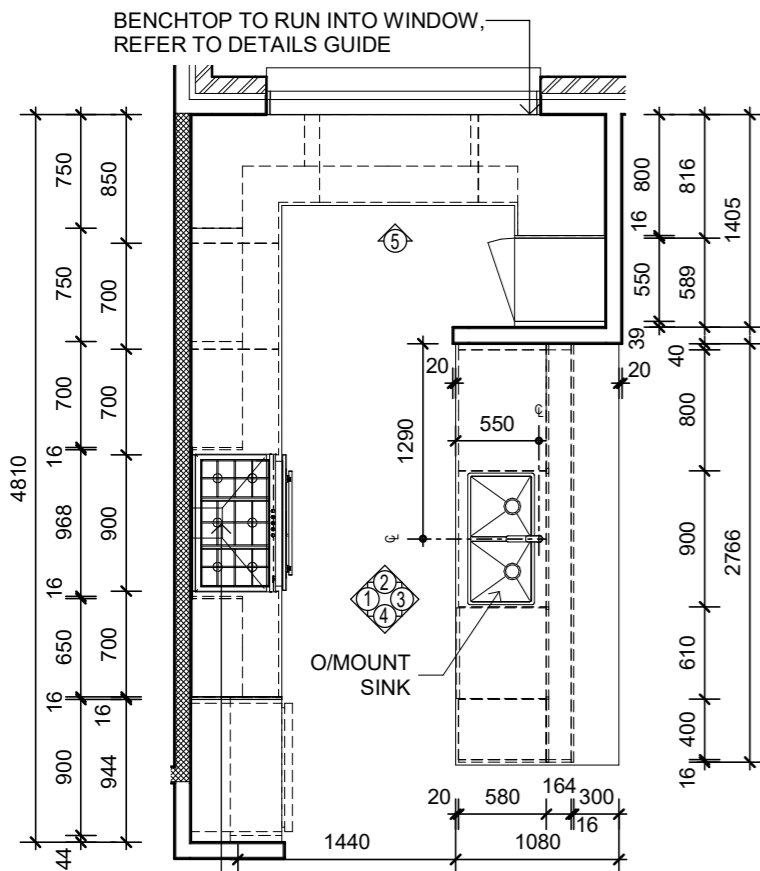
NOTE: STONE CUTOUTS & JOINS MAY BE REQUIRED AT THE SUPPLIER'S DISCRETION TO ACHIEVE THE BENCHTOP CONFIGURATION AS DRAWN.



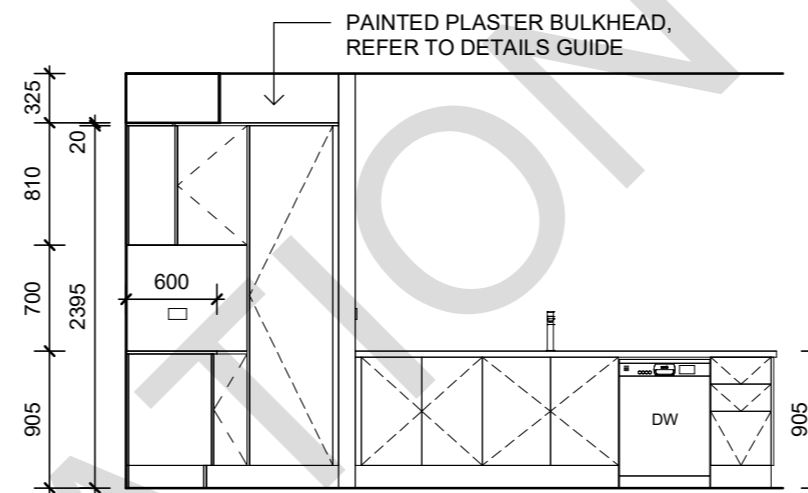
ELEVATION 1



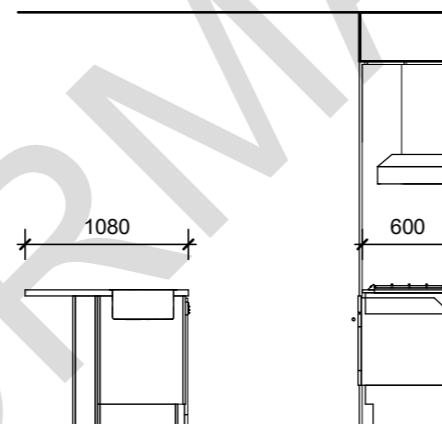
ELEVATION 2



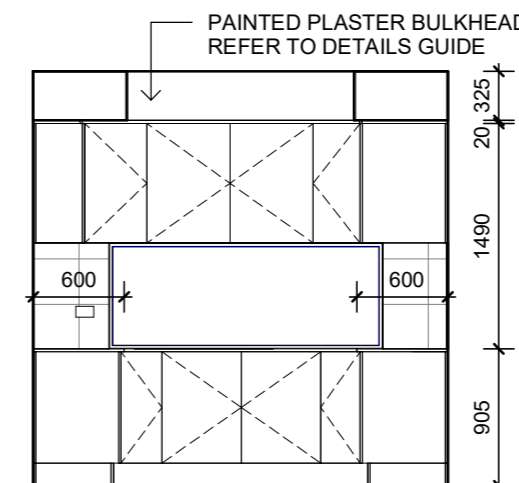
KITCHEN/WIP



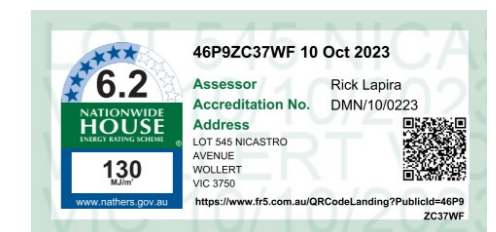
ELEVATION 3



ELEVATION 4



ELEVATION 5



NOTE: NOMINAL TILE DIMENSIONS SHOWN

NOTE: ALL CUPBOARD DIMENSIONS TO BE CONFIRMED BY SITE MEASURE

NOTE: WALL TILES SHOWN INDICATIVE ONLY. TILED SKIRTS TO ALL WET AREA WALLS AS SHOWN

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 MEL REF: .
 PERMIT N°: .

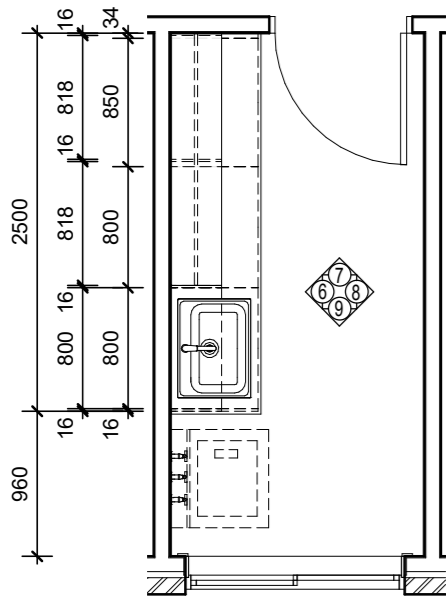
JOB N°: 16913

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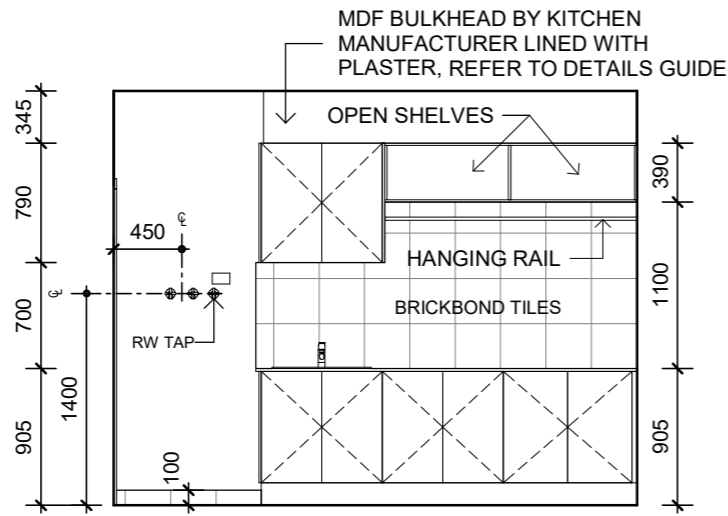
INTERNALS

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 50	SHEET No: 10 /17
DESIGN CAULFIELD 26A	
ELEVATION KOBE	
SPECIFICATION PREMIUM 2023	REVISION 13

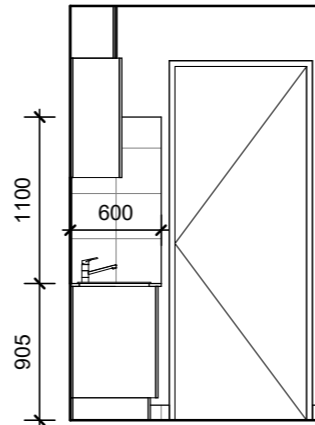
Northpoint Building Surveyors
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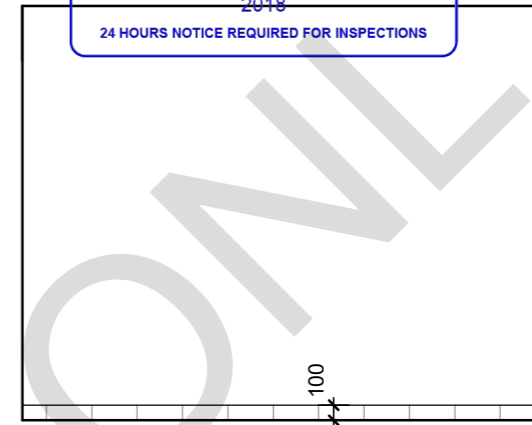
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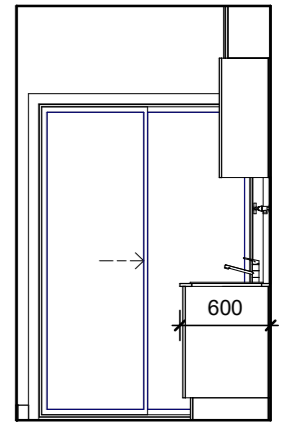
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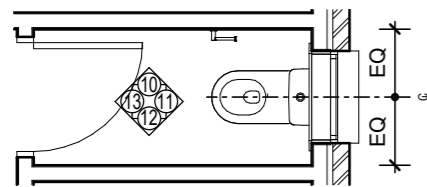
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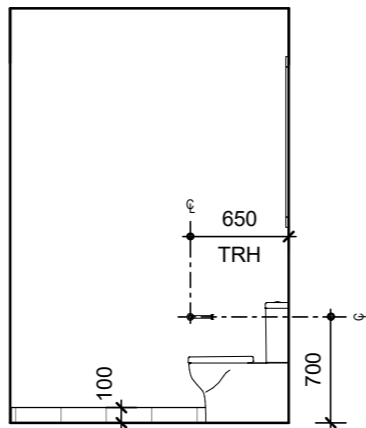
ELEVATION 8



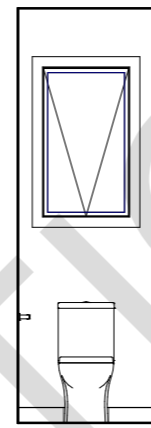
ELEVATION 9



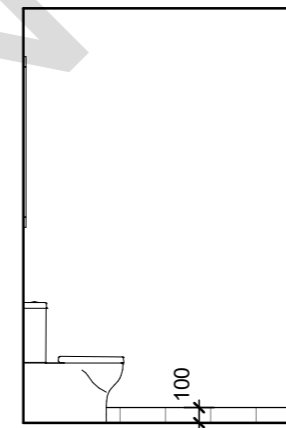
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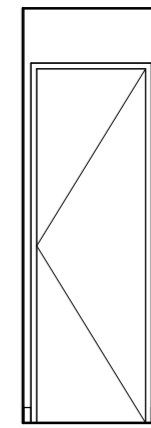
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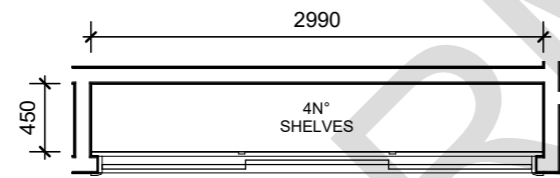
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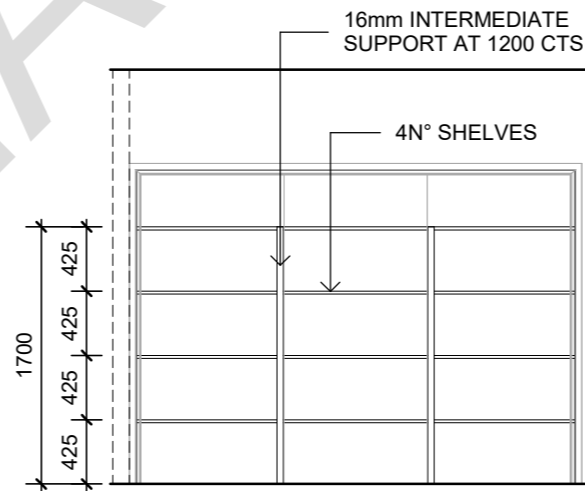
ELEVATION 12



ELEVATION 13



LINEN



ELEVATION 14

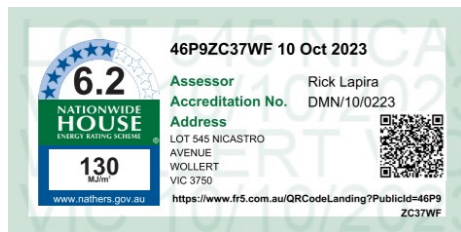
NOTE: ALL DIMENSIONS INCLUDING FRIDGE HEIGHT DO NOT ALLOW FOR FLOORING TYPE.

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NOTE: NOMINAL TILE DIMENSIONS SHOWN

NOTE: ALL CUPBOARD DIMENSIONS TO BE CONFIRMED BY SITE MEASURE

NOTE: WALL TILES SHOWN INDICATIVE ONLY. TILED SKIRTS TO ALL WET AREA WALLS AS SHOWN



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CONTRACT DRAWINGS	DATE
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CLIENT	DATE
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PROPOSED RESIDENCE
 FOR: SUMAN KUNWAR
 NABINA ADHIKARI
 AT: LOT 545 NICASTRO AVENUE,
 WOLLERT - VIC 3750
 MEL REF: .
 PERMIT N°: .

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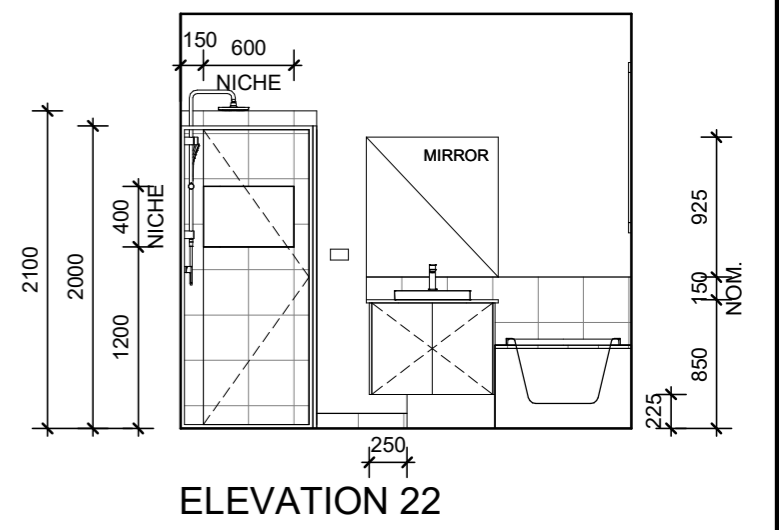
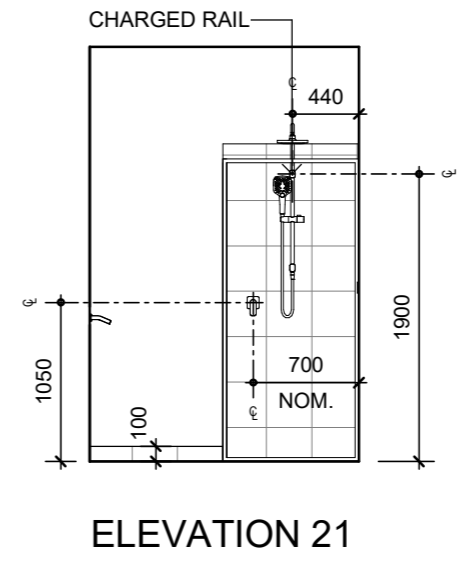
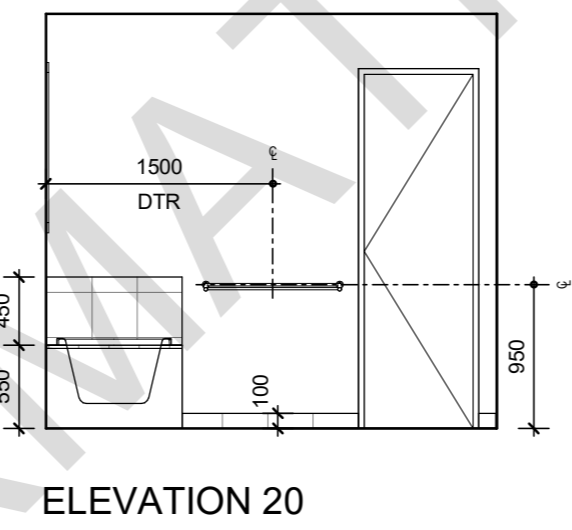
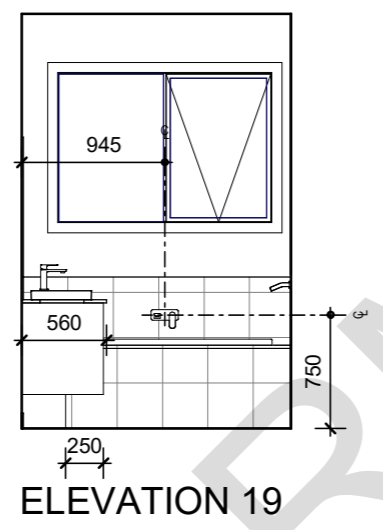
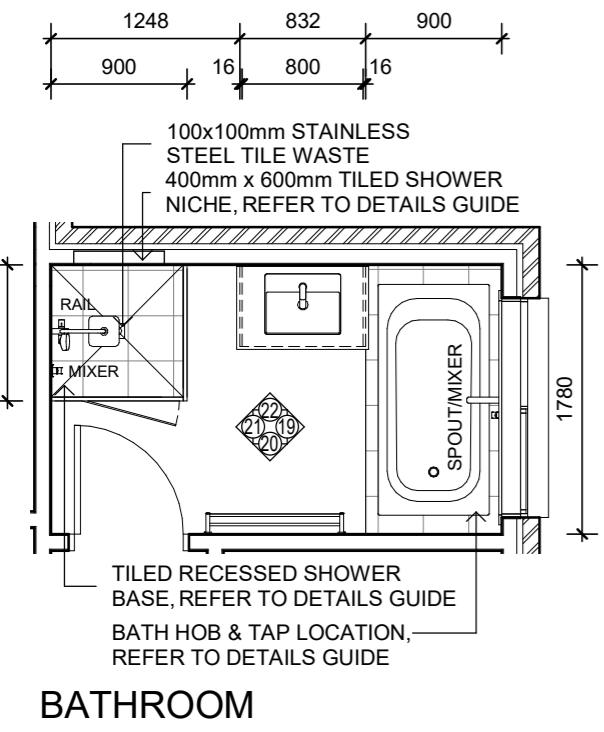
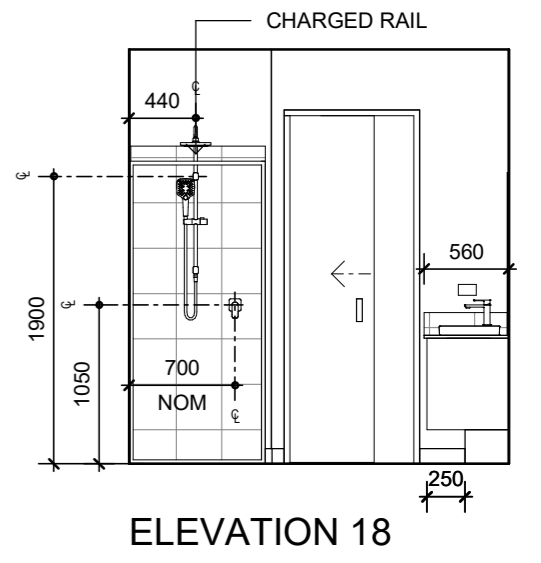
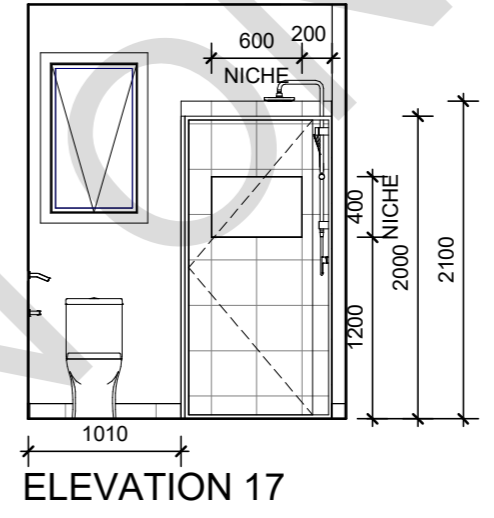
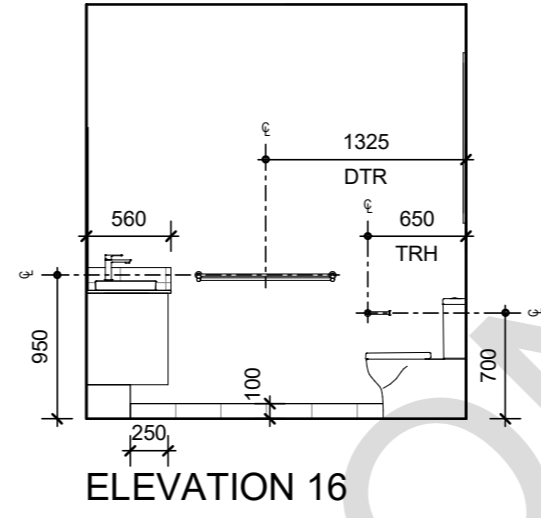
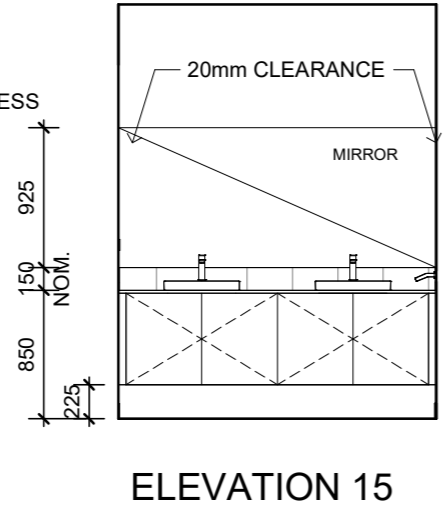
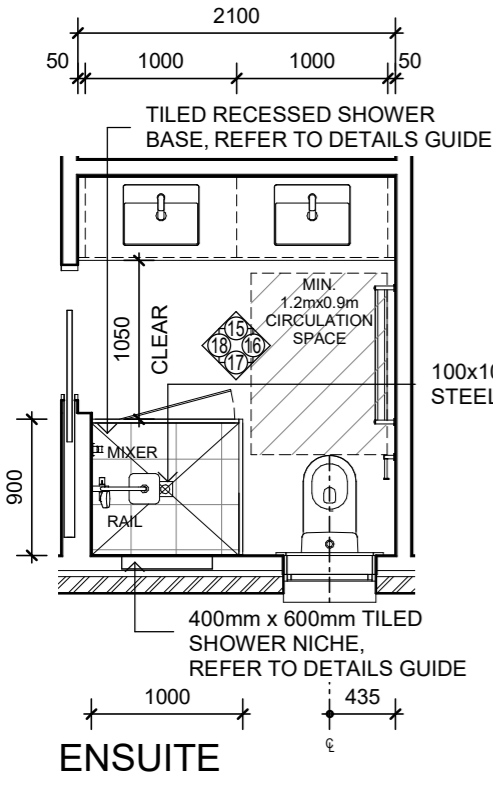
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DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 50	SHEET No: 11 / 17
DESIGN CAULFIELD 26A	
ELEVATION KOBE	
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CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE
 FOR: SUMAN KUNWAR
 NABINA ADHIKARI
 AT: LOT 545 NICASTRO AVENUE,
 WOLLERT - VIC 3750
 MEL REF: .
 PERMIT N°: .

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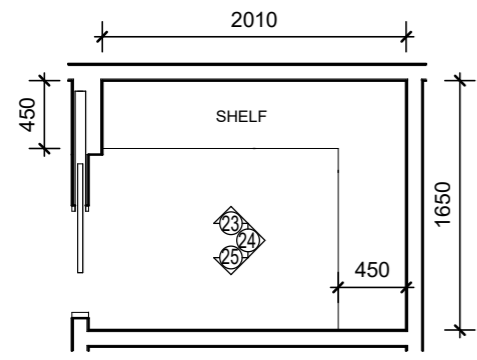
INTERNALS

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SCALE: 1 : 50	SHEET No: 12 /17
DESIGN	CAULFIELD 26A
ELEVATION	KOBE
SPECIFICATION PREMIUM 2023	REVISION 13

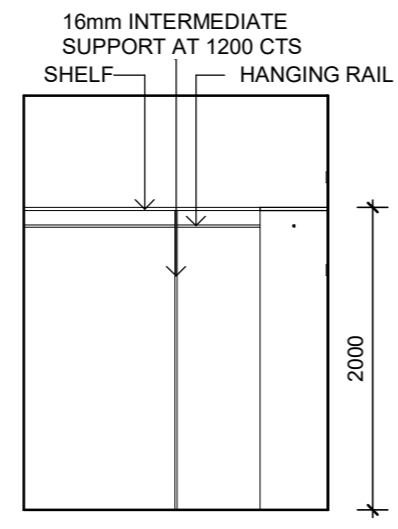


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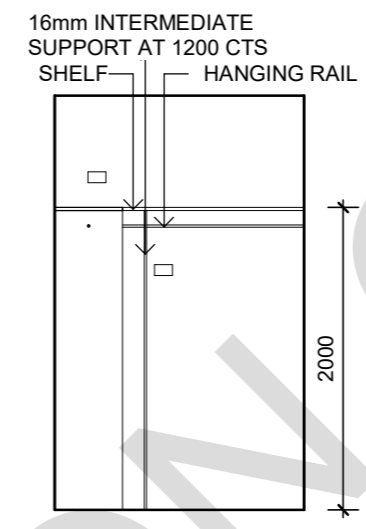
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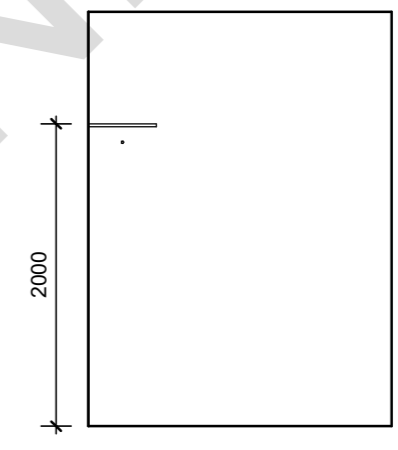
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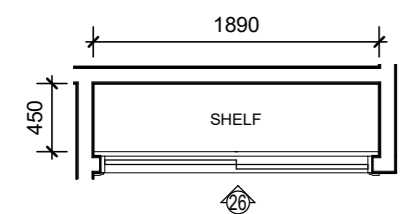
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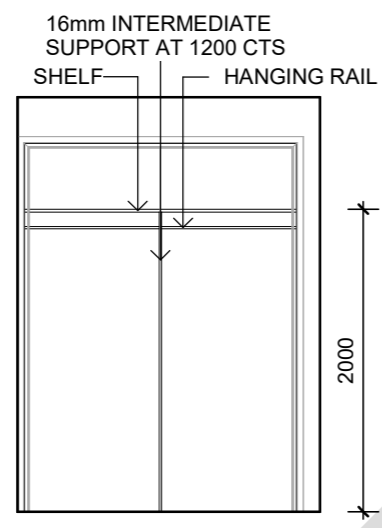
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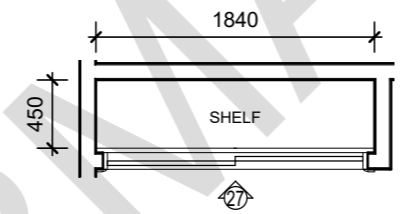
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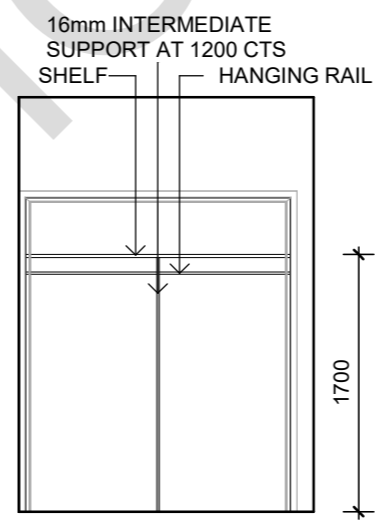
BED 2 ROBE



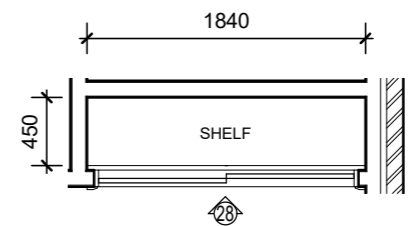
ELEVATION 26



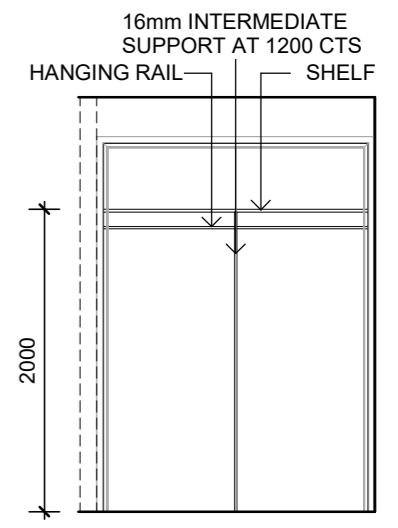
BED 3 ROBE



ELEVATION 27



BED 4 ROBE



ELEVATION 28

NOTE: NOMINAL TILE DIMENSIONS SHOWN

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CONTRACT DRAWINGS	DATE
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

PROPOSED RESIDENCE
 FOR: SUMAN KUNWAR
 NABINA ADHIKARI
 AT: LOT 545 NICASTRO AVENUE,
 WOLLERT - VIC 3750
 MEL REF: .
 PERMIT N°: .

JOB N°: 16913

INTERNALS

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 50	SHEET No: 13 /17
DESIGN CAULFIELD 26A	
ELEVATION KOBE	
SPECIFICATION PREMIUM 2023	REVISION 13

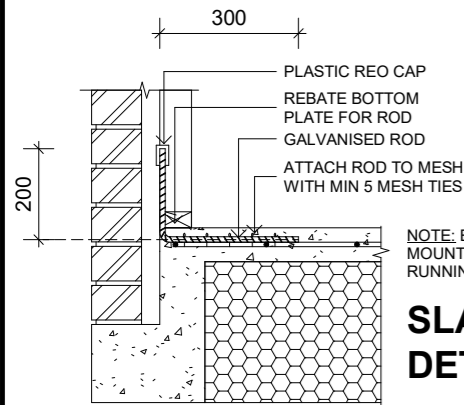
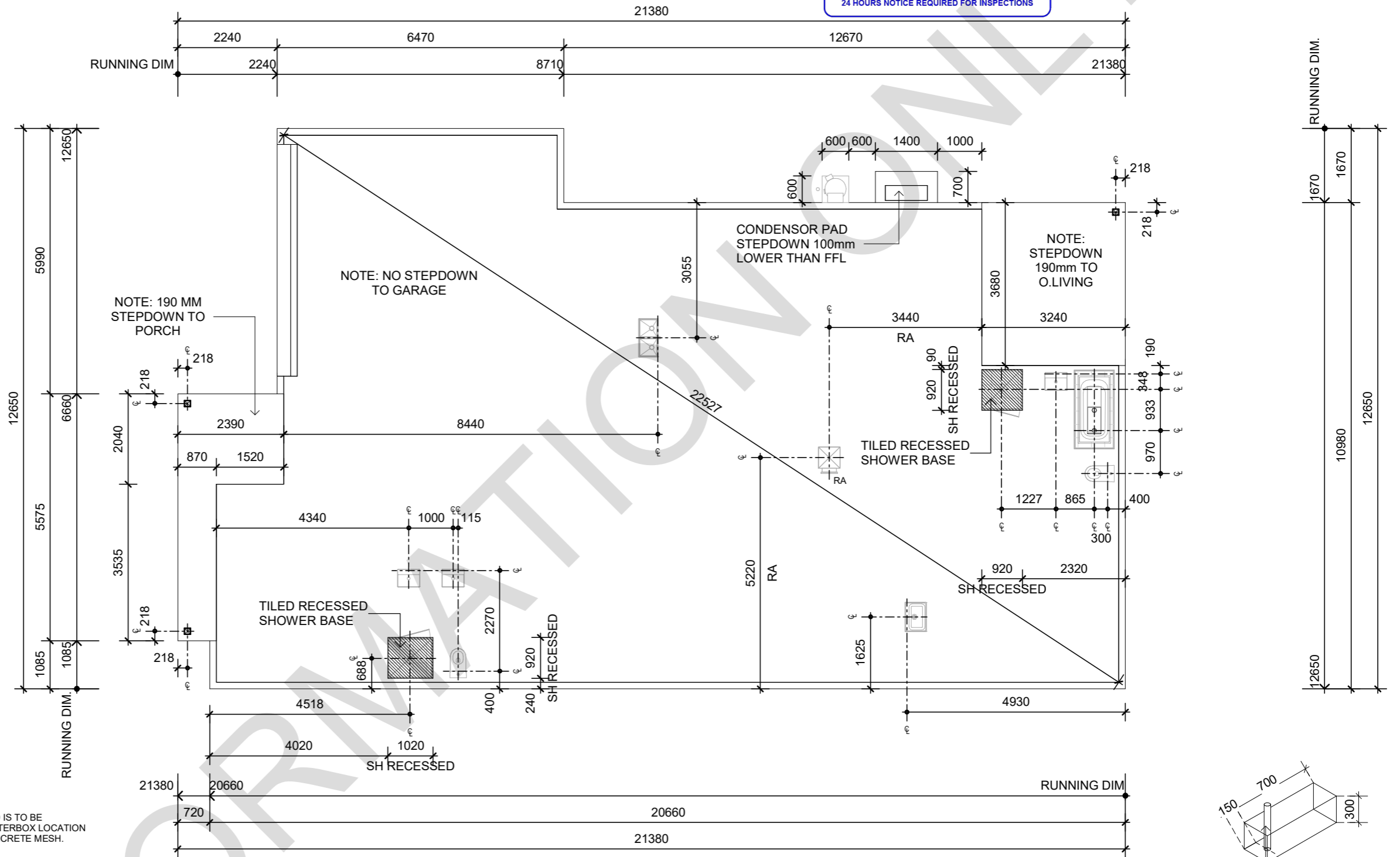
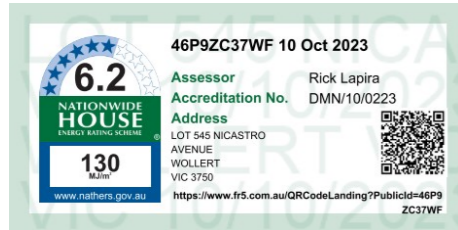
NOTE: TOP OF PADS TO BE 420mm BELOW FFL

NOTE: STRIP FOOTINGS TO ENGINEER'S DESIGN AND TO BE TIED INTO SLAB. REFER TO ENGINEER'S DRAWINGS FOR SLAB DETAILS.

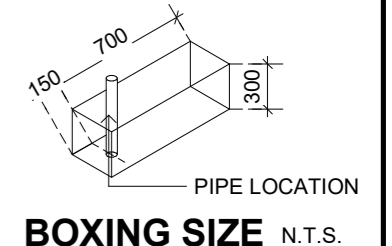
NOTE: CONDUIT TO BE PROVIDED WHERE LIGHTING IS FIXED TO HALF HEIGHT FACADE PIERS. WIRING TO BE RUN FROM BOTTOM.

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NOTE: ALL CONDUITS TO KITCHEN ISLAND TO BE RUN SEPARATELY



**SLAB EARTHING
 DETAIL** N.T.S.



BOXING SIZE N.T.S.

AMM	TYPE	DATE	SIGN
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06	H & C LAYOUT ADDED	12.10.23	MCV
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CONTRACT DRAWINGS	DATE
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 WOLLERT - VIC 3750
 MEL REF: .
 PERMIT N°: .**

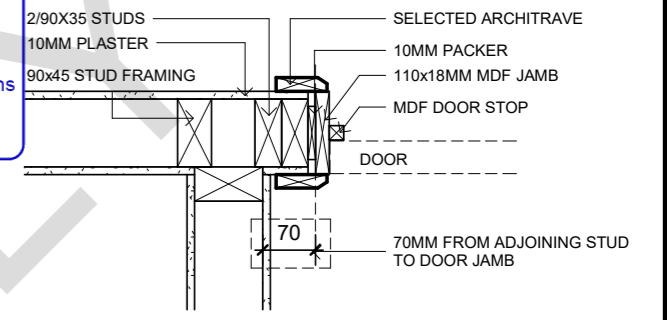
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SLAB PLAN

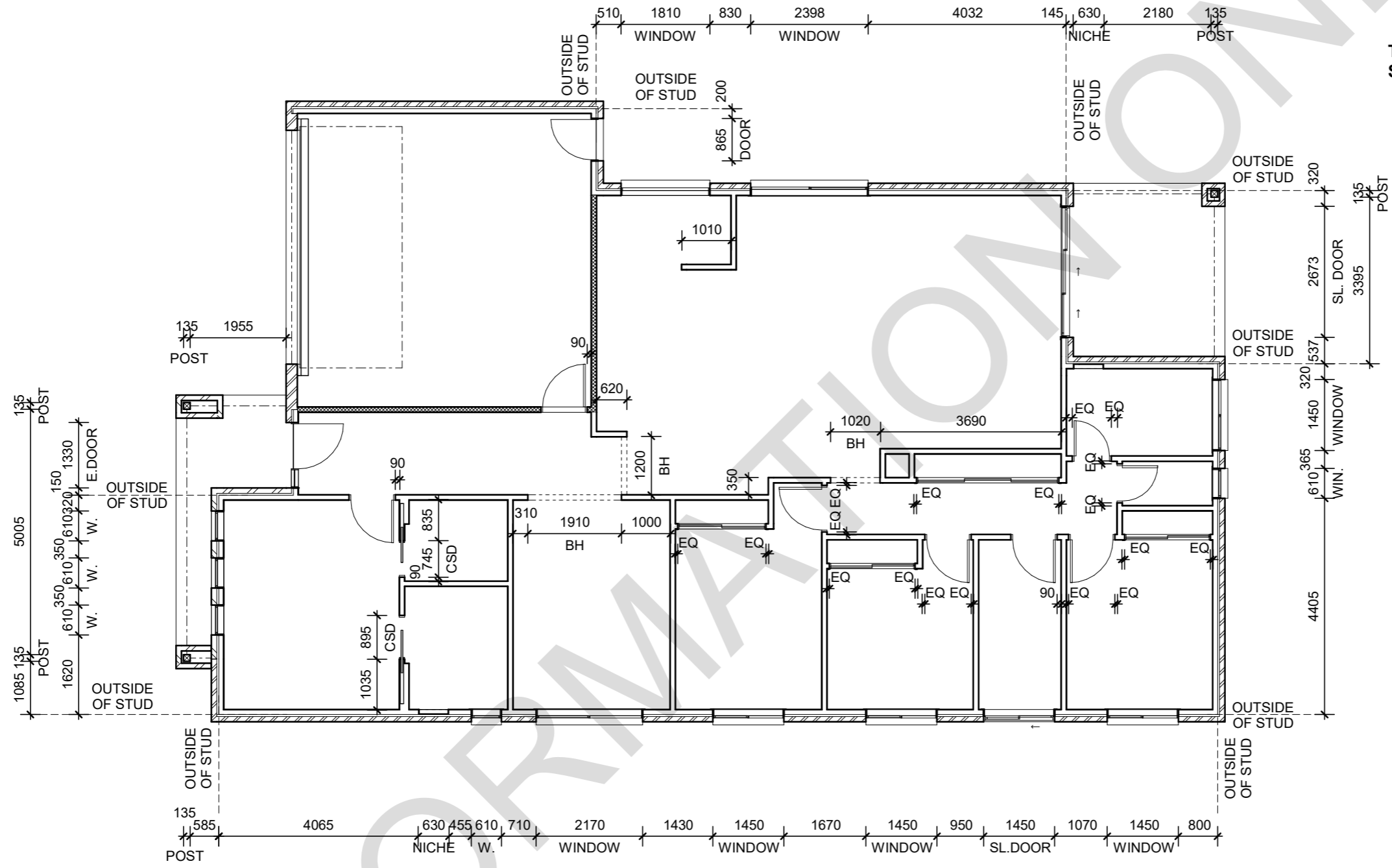
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CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 100	SHEET No: 14 /17
DESIGN CAULFIELD 26A	
ELEVATION KOBE	
SPECIFICATION PREMIUM 2023	REVISION 13

NOTE: ALL DIMENSIONS TO STUD,
NOT INCLUDING PLASTER

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TYPICAL DOOR JAMB DETAIL
SCALE 1:10



46P9ZC37WF 10 Oct 2023

6.2 Assessor Rick Lapira
Accreditation No. DMN/10/0223

130 Address LOT 545 NICASTRO AVENUE WOLLERT VIC 3750
www.nathers.gov.au https://www.fr5.com.au/QRCodeLanding?PublicId=46P9ZC37WF

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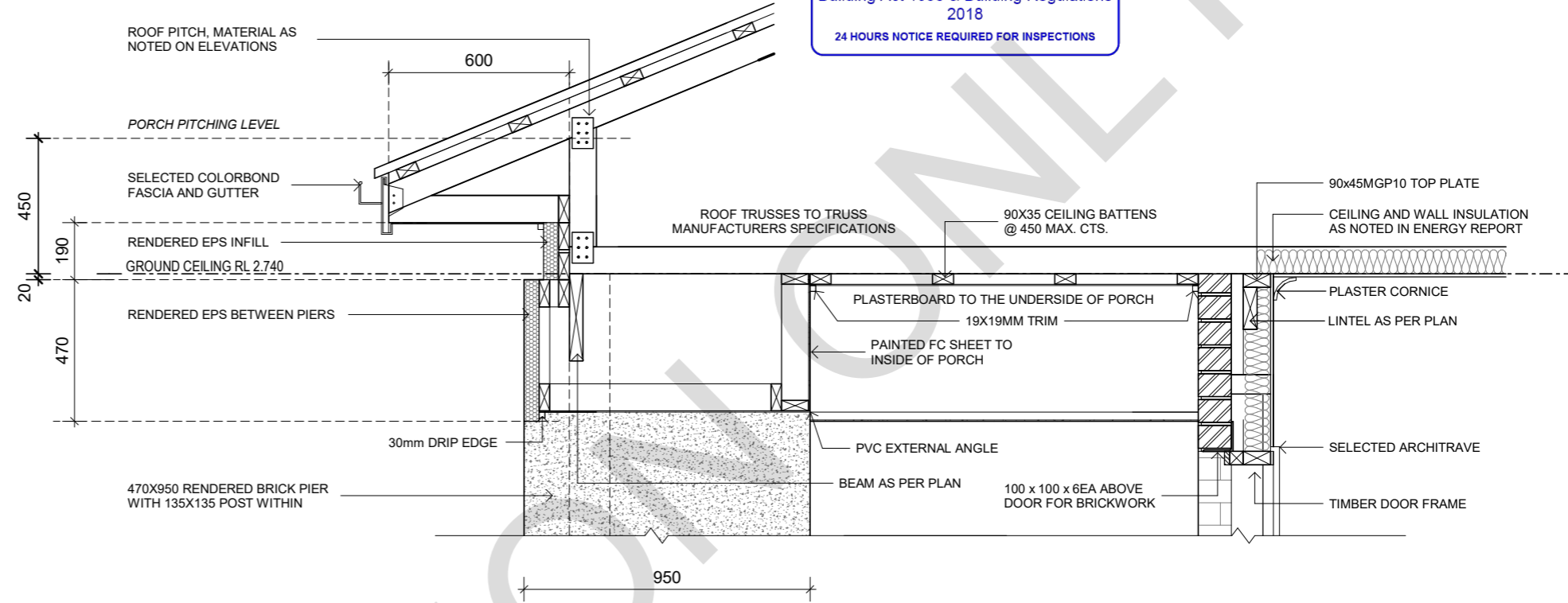
FRAMING PLAN

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: 1 : 100	SHEET No: 15 /17
DESIGN	CAULFIELD 26A
ELEVATION	KOBE
SPECIFICATION PREMIUM 2023	REVISION 13

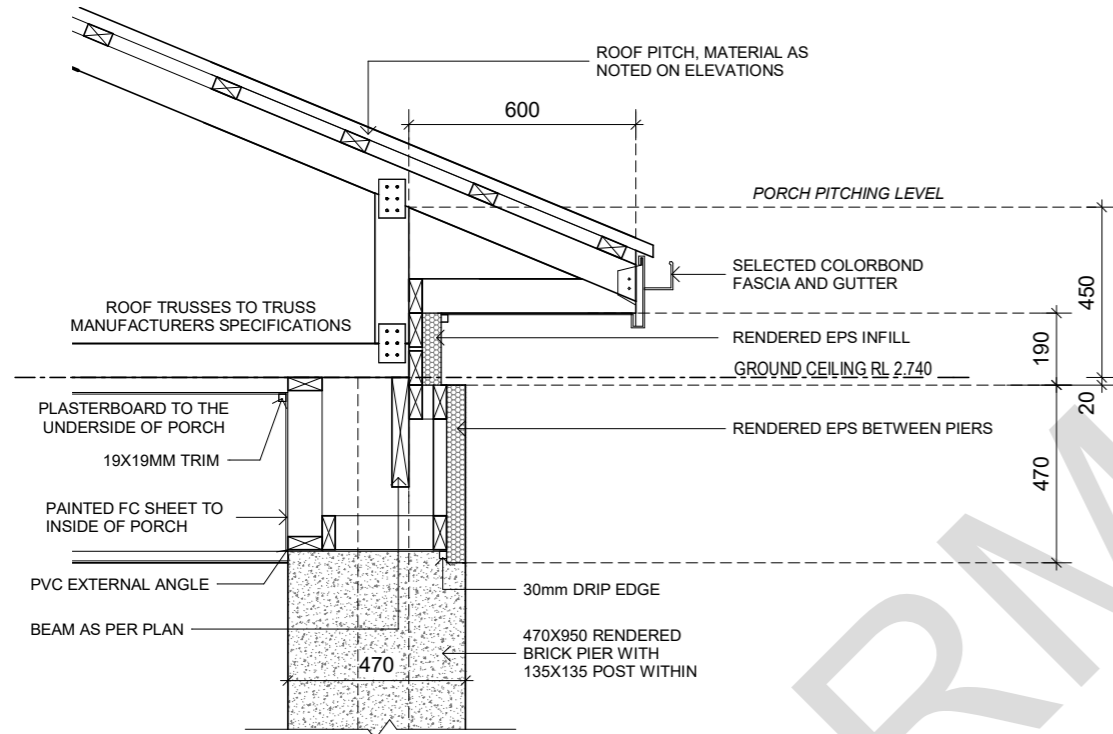
NOTE: DETAILS SUBJECT TO CHANGE PENDING IMPROVED CONSTRUCTION PRACTISES, TRADE RECOMENDATION & SITE CONDITIONS

NOTE: DETAIL ONLY APPLICABLE IF REFERENCED ON PREVIOUS DRAWING

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**SECTION X-X
 PORCH
 SCALE 1:20**



**SECTION Y-Y
 PORCH
 SCALE 1:20**

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CONTRACT DRAWINGS	
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SECTION, DETAILS

DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: ON PAGE	SHEET No: 16 / 17
DESIGN	CAULFIELD 26A
ELEVATION	KOBE
SPECIFICATION PREMIUM 2023	REVISION 13

LIVABLE HOUSING STANDARDS

PART 1 DWELLING ACCESS

1.1 STEP-FREE ACCESS PATH

(1) A CONTINUOUS PATH TO A DWELLING ENTRANCE DOOR MUST BE PROVIDED FROM GARAGE. A CAR PARKING SPACE WITHIN THE ALLOTMENT THAT IS PROVIDED FOR THE EXCLUSIVE USE OF THE OCCUPANTS OF THE DWELLING.

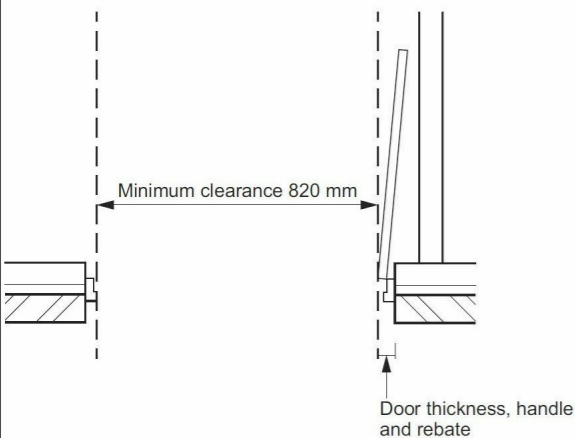
(2) ACCESS FOR THE PURPOSES OF (1) MUST BE VIA A PATHWAY THAT HAS NO STEPS; AND HAS A MINIMUM WIDTH OF 1000 MM; SHOULD ALSO CONNECT TO A DWELLING ENTRANCE DOOR THAT COMPLIES WITH SECTION 2

1.2 PARKING SPACE INCORPORATED INTO STEP-FREE ACCESS PATH

PART 2 DWELLING ENTRANCE

2.1 CLEAR OPENING WIDTH

(1) AT LEAST ONE ENTRANCE DOOR TO THE DWELLING MUST HAVE A MINIMUM CLEAR OPENING WIDTH OF 820 MM - GARAGE INTERNAL ACCESS.
(2) THE MINIMUM CLEAR OPENING WIDTH REQUIRED BY (1) MUST BE MEASURED IN ACCORDANCE WITH FIGURE BELOW:



PART 3 INTERNAL DOORS AND CORRIDORS

3.1 CLEAR OPENING WIDTH

INTERNAL DOORWAYS MUST PROVIDE A MINIMUM CLEAR OPENING WIDTH OF 820 MM, MEASURED IN ACCORDANCE WITH PART 2.1. THIS APPLIES TO HABITABLE ROOMS OR LAUNDRY, SANITARY COMPARTMENT ON THE GROUND OR ENTRY LEVEL INCLUDING SHOWER COMPLYING WITH PART 5 AND 6.

3.3 CORRIDOR WIDTH

INTERNAL CORRIDORS, HALLWAYS, PASSAGEWAYS OR THE LIKE, IF CONNECTED TO A DOOR THAT IS SUBJECT TO CLAUSE 3.1, MUST HAVE A MINIMUM CLEAR WIDTH OF 1000 MM, MEASURED BETWEEN THE FINISHED SURFACES OF OPPOSING WALLS

PART 4 SANITARY COMPARTMENT

4.1 LOCATION

THERE MUST BE AT LEAST ONE SANITARY COMPARTMENT LOCATED ON THE GROUND OR ENTRY LEVEL OF A DWELLING.

4.2 CIRCULATION SPACE

A SANITARY COMPARTMENT THAT IS SUBJECT TO CLAUSE 4.1 MUST BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
(A) FOR A TOILET LOCATED IN A SEPARATE SANITARY COMPARTMENT, THERE MUST BE A CLEAR WIDTH OF NOT LESS THAN 900 MM BETWEEN THE FINISHED SURFACES OF OPPOSING WALLS EITHER SIDE OF THE TOILET PAN.

(B) FOR A TOILET PAN LOCATED IN A SANITARY COMPARTMENT THAT IS COMBINED WITH A BATHROOM, THE TOILET PAN MUST BE LOCATED ADJACENT TO A WALL SUCH THAT—
(I) THE WALL OR STRUCTURE ADJACENT TO THE TOILET PAN INCORPORATES THE REINFORCING REQUIRED BY CLAUSE 6.1; AND
(II) THE CENTRE LINE OF THE TOILET PAN IS BETWEEN 450 MM AND 460 MM FROM—
(A) THE FINISHED SURFACE OF ANY ONE WALL OR STRUCTURE REFERRED TO IN (I); OR
(B) ANY OTHER FIXED OBSTRUCTION, SUCH AS A BASIN OR VANITY UNIT.

(C) FOR A DOOR USED TO ACCESS THE SANITARY COMPARTMENT, A MINIMUM CIRCULATION SPACE OF 1200 MM MUST BE PROVIDED FROM THE FRONT EDGE OF THE TOILET PAN TO THE SWING ARC OF THE DOOR TO THE SANITARY COMPARTMENT.
(D) COMPLIANCE WITH (A), (B) AND (C) MUST BE DETERMINED IN ACCORDANCE WITH FIGURES 4.2A AND 4.2B.
(E) WHERE THE TOILET PAN IS LOCATED WITHOUT AN ADJACENT WALL, ONLY THE WALL BEHIND THE PAN MUST INCORPORATE THE REINFORCING REQUIRED BY CLAUSE 6.1.

PART 5 SHOWER

5.2 HOBLESS AND STEP-FREE ENTRY

(1) AT LEAST ONE SHOWER MUST HAVE A HOBLESS AND STEP-FREE ENTRY.
(2) A LIP NOT MORE THAN 5 MM IN HEIGHT MAY BE PROVIDED FOR WATER RETENTION PURPOSES.

PART 6 REINFORCEMENT OF BATHROOM AND SANITARY COMPARTMENT WALLS

6.1 LOCATION

(1) REINFORCING IN ACCORDANCE WITH CLAUSE 6.2 MUST BE PROVIDED TO ANY—
(A) SANITARY COMPARTMENT THAT IS SUBJECT TO PART 4; AND
(B) BATHROOM CONTAINING A—
(I) SHOWER THAT IS SUBJECT TO PART 5; OR
(II) BATH (IF PROVIDED), OTHER THAN A FREESTANDING BATH WHERE THE BATH IS LOCATED IN A ROOM THAT ALSO CONTAINS A SHOWER THAT IS SUBJECT TO PART 5.

6.2 CONSTRUCTION

REINFORCING CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF (3) MUST BE PROVIDED IN THE LOCATIONS DEPICTED FIGURES 6.1. REFER TO DETAIL GUIDE VIA QR CODE FOR FURTHER INFORMATION.

FIGURE 4.2a CIRCULATION SPACE FOR TOILET IN A SEPARATE ROOM

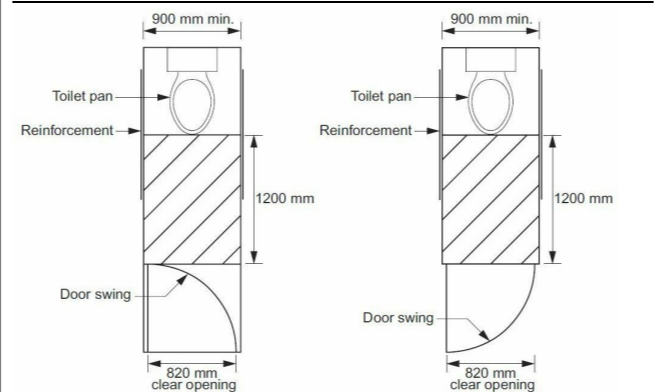
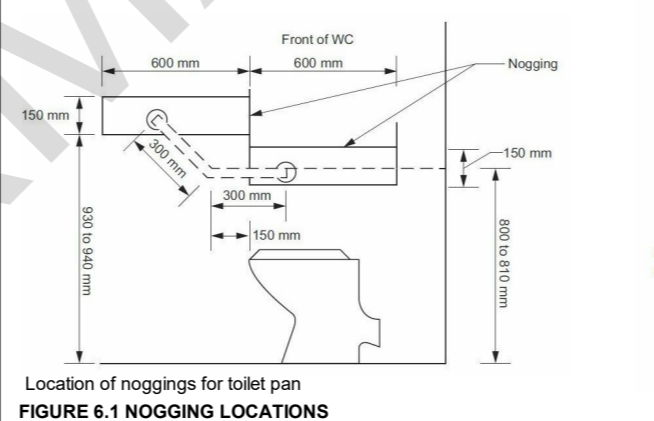
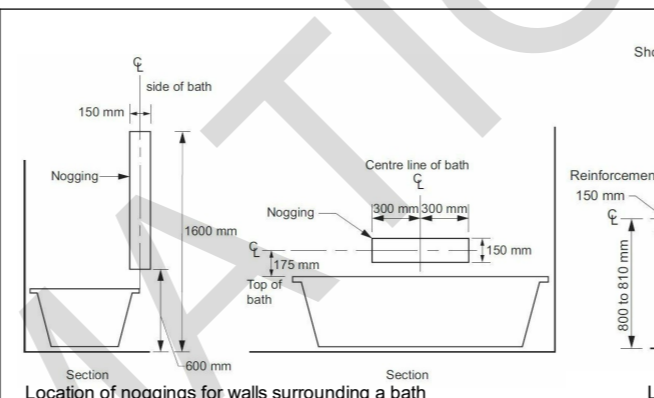
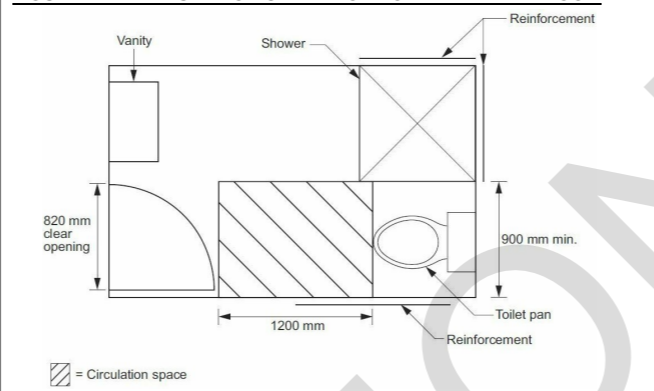
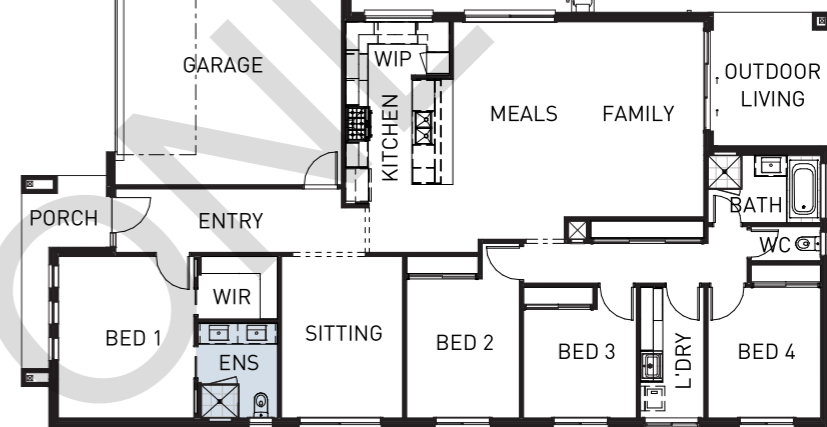


FIGURE 4.2B CIRCULATION SPACE FOR TOILET IN A BATHROOM



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**NCC COMPLIANCE KEYPLAN
SCALE 1 : 200**

KEYPLAN LEGEND	
	AREAS IN COMPLIANCE WITH THE LIVABLE HOUSING DESIGN STANDARDS PARTS 4 & 5



DETAIL GUIDE QR CODE

ALL REFERENCED DETAILS IN THIS DRAWING SET ARE ACCESSIBLE VIA QR CODE OR LINK BELOW:
https://issuu.com/orbithomes1979/docs/orb2022_detail_book

AMM	TYPE	DATE	SIGN
05	ENERGY ADDED	11.10.23	MCV
06	H & C LAYOUT ADDED	12.10.23	MCV
07	DAKB ADDED	08.11.23	MCV
08	PCV001 ADDED	13.11.23	MCV
09	H & C AMENDMENTS	14.11.23	MCV
10	RESITING GARAGE BOUNDARY	20.11.23	MCV
11	ENGINEERING ADDED	22.11.23	MCV
12	PERMIT RFI ADDED	08.12.23	MCV
13	FINALS CHECK	19.01.24	NTR

* NOTE DO NOT SCALE THESE DRAWINGS *

CONTRACT DRAWINGS	
ORBIT HOMES	DATE
CLIENT	DATE
CLIENT	DATE

**PROPOSED RESIDENCE
FOR: SUMAN KUNWAR
NABINA ADHIKARI
AT: LOT 545 NICASTRO AVENUE,
WOLLERT - VIC 3750
MEL REF: .
PERMIT N°: .**

JOB N°: 16913

**Orbit
HOMES**

ORBIT HOMES AUSTRALIA PTY. LTD.
286 MT ALEXANDER ROAD
ASCOT VALE. 3032
TEL: (03) 9377 0000 FAX: (03) 9375 4632
www.orbithomes.com.au

NCC


DRAWN: NAM	DATE: 14.09.2023
CHECK: JOSH	DATE: 20.09.2023
SCALE: ON PAGE	SHEET No: 17 /17
DESIGN	CAULFIELD 26A
ELEVATION	KOBE
SPECIFICATION PREMIUM 2023	REVISION 13

PROPOSED RESIDENCE

LOT 545 NO.16 NICASTRO AVENUE, WOLLERT

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APPROVED DOCUMENT
 Works must comply with the
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 2018
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DWG No.	DESCRIPTION
S00	COVER SHEET
S01	GENERAL NOTES
S02	GROUND FLOOR SLAB PLAN
S03	WAFFLE SLAB SCHEDULE & NOTES
S04	FOOTING DETAILS - SHEET 1
S05	FOOTING DETAILS - SHEET 2
S06	FOOTING DETAILS - SHEET 3
S07	FOOTING DETAILS - SHEET 4
S08	FOOTING DETAILS - SHEET 5
S09	FOOTING DETAILS - SHEET 6
S10	FOOTING DETAILS - SHEET 5
S11	ROOF PLAN
S12	FRAMING DETAILS - SHEET 1
S13	FRAMING DETAILS - SHEET 2
S14	ARTICULATION JOINT PLAN
S15	DRAINAGE NOTES
S16	DRAINAGE LAYOUT PLAN
S17	DRAINAGE DETAILS - SHEET 1
S18	DRAINAGE DETAILS - SHEET 2
S19	DRAINAGE DETAILS - SHEET 3

		PROJECT PROPOSED RESIDENCE LOT 545 NO.16 NICASTRO AVENUE WOLLERT	CONSTRUCTION ISSUE		
		CLIENT ORBIT HOMES AUSTRALIA PTY LTD	DRAWING COVER SHEET		
			213113	ENGINEER: P.H. SHEET NO. S00	DRAWN: Y.S. NO. OF SHEETS 20
01	CONSTRUCTION ISSUE	20.11.23			REV 01
REV.	REMARK/COMMENT	DATE:	APPR.		

GENERAL NOTES

Northpoint Building Surveyors
APPROVED DOCUMENT
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 2018
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GENERAL

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER OR ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSIONS ARE TO BE OBTAINED FROM THE ARCHITECT'S DRAWINGS OR FROM SITE. ENGINEER'S DRAWINGS MUST NOT BE SCALED.
- G3. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.
- G4. MATERIAL AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH THE RELEVANT SAA CODES, BCA/NCC REQUIREMENTS UNLESS OTHERWISE NOTED IN THE PROJECT SPECIFICATION.
- G5. THE APPROVAL OF A SUBSTITUTION BY THE ENGINEER IS NOT AN AUTHORIZATION FOR AN EXTRA. ANY EXTRA INVOLVED MUST BE TAKEN UP WITH THE ARCHITECT BEFORE WORK COMMENCES.
- G6. THE STRUCTURAL WORK SHOWN ON THESE DRAWINGS HAS BEEN DESIGNED FOR THE FOLLOWING LIVE LOADS:-

AREA	LIVE LOAD
FLOOR	1.5 kPa
ROOF	0.25 kPa 'OR' (1.8/A + 0.12) WHICHEVER IS GREATER
BALCONY (IF APPLICABLE)	2.0 kPa
GARAGE (IF APPLICABLE)	2.5 kPa

- G7. FOUNDATION MATERIAL TO BE APPROVED BEFORE POURING CONCRETE FOR A SAFE BEARING CAPACITY OF: 50kPa.....WAFFLE SLAB
100kPa.....STRIP/PAD FOOTING
- G8. ALL DETAILS SHOWN IN INTRAX'S DRAWING SETS ARE FOR STRUCTURAL PURPOSES ONLY. THE ARCHITECT AND BUILDER MUST ENSURE ALL CONSTRUCTION REQUIREMENTS SET BY THE BCA/NCC ARE MET. THIS OFFICE SHOULD BE CONTACTED IF ANY CLARIFICATION IS REQUIRED.

STRUCTURAL STEELWORK

- S1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 1250 AND/OR AS4100.
- S2. WELDING SHALL BE PERFORMED BY AN EXPERIENCED OPERATOR IN ACCORDANCE WITH AS 1554.
- S3. HIGH STRENGTH BOLTING SHALL BE IN ACCORDANCE WITH AS 1511.
- S4. TWO COPIES OF THE SHOP DETAIL DRAWINGS ARE TO BE SUBMITTED TO THE ENGINEERS AND APPROVAL OF SAME OBTAINED BEFORE COMMENCING FABRICATION. APPROVAL WILL NOT COVER DIMENSIONS OR LAYOUT.
- S5. THE CONTRACTOR SHALL PROVIDE AND LEAVE IN PLACE UNTIL PERMANENT BRACING ELEMENTS ARE CONSTRUCTED SUCH TEMPORARY BRACING AS IS NECESSARY TO STABILIZE THE STRUCTURE DURING ERECTION.
- S6. CAMBER TO STRUCTURAL STEEL ROOF BEAMS, TRUSSES, PORTALS, ETC., TO BE 2mm FOR EVERY 1M OR SPAN UNLESS OTHERWISE NOTED.
- S7. ALL CLEAT AND DRILLING FOR FIXING OF TIMBER MEMBERS, ETC., TO BE PROVIDED BY FABRICATOR.
- S8. EXCEPT WHERE OTHERWISE SHOWN CONNECTIONS SHALL HAVE 6mm CONTINUOUS FILLET WELDS, 2-M16 8.8/S BOLTS IN 1.5mm CLEARANCE HOLES AND 10mm THICK CLEAT PLATE.
- S9. CONCRETE ENCASED STEELWORK SHALL BE WRAPPED WITH SLAB FABRIC, UNLESS OTHERWISE SHOWN.
- S10. STEELWORK SHALL BE THOROUGHLY WIRE BRUSHED AND GIVEN ONE SHOP COAT OF APPROVED PRIMER EXCEPT THAT NONE SHALL BE APPLIED AT CONTACT SURFACES WHERE H.S. BOLTS USED.
- S11. ALL STEEL BEAMS AND LINTELS ARE TO HAVE 100mm MIN. END BEARING UP TO 1.0m & 150mm MIN. END BEARING OVER 1.0m, UNLESS OTHERWISE NOTED.
- S12. STEEL FRAMING MUST BE PROTECTED FROM CORROSION WHERE REQUIRED IN ACCORDANCE WITH NCC REQUIREMENT.

CONCRETE

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600.
- C2. CONCRETE COVER TO ALL REINFORCEMENT (FINISHES NOT INCLUDED).

ELEMENT	FORMED AND SHELTERED	FORMED AND EXPOSED	NO FORM WORK
SLABS AND WALLS	20mm	30mm	65mm
BEAMS	25mm	40mm	65mm
COLUMNS	40mm	50mm	75mm
FOOTINGS		65mm	75mm

- C3. CONCRETE SIZES SHOWN DO NOT INCLUDE FINISH AND MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE ENGINEER APPROVAL.
- C4. DEPTHS OF BEAMS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS.
- C5. CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE PROPERLY FORMED AND LOCATED TO THE APPROVAL OF THE ENGINEER.
- C6. REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.
- C7. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN POSITIONS SHOWN. WELDING OF REINFORCEMENT WILL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- C8. REINFORCEMENT SYMBOLS:-
L LOW DUCTILITY BARS TO AS 4671
N NORMAL DUCTILITY BARS TO AS 4671
E SEISMIC (EARTHQUAKE) DUCTILITY BAR TO AS 4671
THE NUMBER FOLLOWING THE BAR SYMBOL IS THE NOMINAL BAR DIAMETER IN MILLIMETRES.
- C9. CAMBER TO BEAMS AND SLABS SHALL BE 2mm FOR EVERY 1M OF SPAN UNLESS OTHERWISE NOTED.
- C10. ALL CONCRETE SHALL BE GRADE 20MPa - 100mm SLUMP (U.N.O.)
- C11. ALL REINFORCEMENT SHALL BE SUPPORTED IN ITS CORRECT POSITION SO AS NOT TO BE DISPLACED DURING CONCRETING ON APPROVED BAR CHAIRS AT 1.0m MAX CRS BOTH WAYS. WHERE REQUIRED PROVIDE SUPPORT BARS N16 AT 1.0M MAX CRS.
- C12. CONCRETE TO BE KEPT FREE OF SUPPORTING BRICKWORK BY TWO LAYERS OF A SUITABLE MEMBRANE (MALTHOID, ETC.), OR AS DIRECTED BY THE ENGINEER. VERTICAL FACES OF CONCRETE TO BE KEPT FREE BY 10mm THICKNESS OF BITUMINOUS CANITE.
- C13. WHERE WALLS ARE NON-LOAD BEARING AT EITHER HORIZONTAL OR VERTICAL FACES THEY SHALL BE SEPARATED FROM CONCRETE OR BRICKWORK BY 10mm THICK CANITE.
- C14. ALL REINFORCEMENT FOR ANY ONE POUR SHALL BE COMPLETELY PLACED AND TIED PRIOR TO INSPECTION BY THE ENGINEER OR ARCHITECT. NO CONCRETE SHALL BE POURED UNTIL REINFORCEMENT HAS BEEN INSPECTED AND APPROVED.
- C15. WHERE SLABS AND BEAMS ARE TO SUPPORT BRICKWORK OVER, FORMWORK AND PROPS MUST BE REMOVED BEFORE COMMENCEMENT OF BRICKWORK.
- C16. TRENCH MESH IN BEAMS TO BE LAID CONTINUOUSLY WITH EACH LAYER BEING LAPPED FOR ITS FULL WIDTH AT INTERSECTIONS AND FOR A MINIMUM OF 500mm AT SPLICES. THE TRENCH MESH SHALL BE OVERLAPPED BY THE WIDTH OF THE FABRIC AT T & L JUNCTIONS.
- C17. AS A GENERAL POLICY, INTRAX DO NOT RECOMMEND THE USE OF POLISHED CONCRETE. THE OWNER SHOULD BE MADE AWARE BY THE BUILDING DESIGNER AND BUILDER THAT CONCRETE IS A NATURAL MATERIAL AND THE POSSIBILITY OF SURFACE CRACK FORMATION MAY OCCUR AND CANNOT BE GUARANTEED EITHER IN THE SHORT OR LONG TERM, WE HIGHLY RECOMMEND CURING THE SLAB USING AN APPROVED CURING SPRAYED MEMBRANE.
- C18. WHEN NEW FOOTING IS ABUTTED TO THE ADJACENT STRUCTURES OF NEIGHBOURING BUILDING AT BOUNDARY, A MINIMUM OF 10mm THICK "ABLEFLEX" (OR APPROVED EQUIVALENT) MUST BE PLACED BETWEEN STRUCTURES (UNLESS OTHERWISE NOTED ON ENGINEERING DRAWINGS TYPICAL)

BRICKWORK

- B1. THE UNCONFINED COMPRESSIVE STRENGTH OF A BRICK UNIT TO BE MIN. OF 15MPa AND COMPRESSIVE STRENGTH OF MASONRY TO BE A MIN. OF 5.4 MPa
- B2. THE MORTAR MIX FOR BRICKWORK SHALL BE 1:1:6
- B3. FOR NON-LOAD BEARING WALLS SEE NOTE C13.
- B4. ARTICULATION (OR EXPANSION) JOINT SPACING MUST BE IN ACCORDANCE WITH AS4773.1, AS4773.3 & TECHNICAL NOTE 61 (AUG 2008) FOR ARTICULATED WALLING UNLESS NOTED OTHERWISE.
- B5. ALL WALL TIES MUST BE GALVANISED.

STRUCTURAL TIMBER

- T1. ALL TIMBER FRAMING IS TO BE IN ACCORDANCE WITH AS 1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION.
- T2. ALL TIMBER STRESS GRADES NOMINATED SHALL BE IN ACCORDANCE WITH THE RELEVANT CODES AND MEANS THE STRUCTURAL QUALITY OF A TIMBER SECTION (REFER TO AS 1720).
- T3. TIMBER SHALL BE STORED AND HANDLED SO AS NOT TO BE DETRIMENTAL TO THEIR PERFORMANCE OR DAMAGE THEM. REFER APPENDIX H AS 1684.2
- T4. ALL TIMBER SHALL BE DRY, IE: LESS THAN 15% MOISTURE CONTENT AT THE TIME OF CONSTRUCTION AND SHALL BE PROTECTED AND/OR TREATED AS NOTED.
- T5. ALL TIMBER BEAMS AND LINTELS ARE TO BEAR ON DOUBLE STUDS (ONE JAMB AND ONE BEARING STUD), UNLESS OTHERWISE NOTED.
- T6. BEAMS/STUDS HAVING MORE THAN 1 MEMBER TO BE NAIL LAMINATED TOGETHER IN ACCORDANCE WITH AS 1684.
- T7. ALL EXPOSED TIMBER TREATMENT MUST BE IN ACCORDANCE WITH EXPOSURE CLASSIFICATION AS1684.2 TABLE B1, MINIMUM H3 TREATED OR DURABLE SPECIES TO BE ADOPTED TYPICAL U.N.O.

FRAMING

- F1. PROVIDE SOLID BLOCKING (45 WIDE x D-25 DEEP) SECURELY NAILED TO JOISTS/RAFTERS (D=DEPTH OF JOIST/RAFTER) AT 1800 MAX. CRS.
- F2. ALL EXTERNAL OR EXPOSED STEELWORK TO BE HOT DIP GALVANISED.
- F3. WATERPROOFING TO ARCHITECTS DETAILS.
- F4. ALL TIMBER FRAMING & BRACING NOT SHOWN SHALL COMPLY WITH AS1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION.
- F5. ALL BRICKWORK LINTELS TO ARCHITECTS DETAILS. ALL BRICKWORK LINTELS TO COMPLY WITH NCC REQUIREMENT.
- F6. ALL BEAMS/GIRDER & HIP TRUSSES TO BE SUPPORTED ON DOUBLE STUDS EACH END U.N.O.
- F7. ALL LINTELS TO BE SUPPORTED ON SINGLE STUD AND JAMB STUD U.N.O.
- F8. ALL TRUSSES & WALL FRAMES TO MANUFACTURER'S DESIGN & DETAILS.
- F9. TRUSS DIRECTION ASSUMED AS SHOWN (IF APPLICABLE). CONTACT THIS OFFICE IF DIFFERENT TRUSS LAYOUT IS USED SO LINTELS ETC CAN BE REDESIGNED (IF REQUIRED).
- F10. ALL TIMBER LINTELS TO BE DESIGNED BY THE TRUSS MANUFACTURER. TYPICAL U.N.O
- F11. BUILDER TO SUPPLY MANUFACTURERS TRUSS LAYOUT TO THIS OFFICE FOR APPROVAL PRIOR TO CONSTRUCTION. TRUSS DESIGN MUST BE IN ACCORDANCE WITH AS1720 AND AS1684. TRUSS FABRICATOR/BUILDER IS RESPONSIBLE FOR PROVIDING ADEQUATE ROOF/WALL BRACING TO ENSURE STABILITY OF THE STRUCTURE IN ACCORDANCE TO AS1684.
- F12. ALL INTERNAL WALLS TO BE NON-LOAD BEARING (TYPICAL) UNLESS HATCHED OTHERWISE ON PLANS.

INSPECTIONS

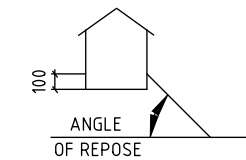
ALL STRUCTURAL WORK MUST BE INSPECTED AND APPROVED IN WRITING PRIOR TO ANY WORK PROCEEDING. 48 HOUR MIN. NOTICE IS REQUIRED FOR ALL INSPECTIONS.

SITE DRAINAGE

- D1. AT THE TIME OF THE PREPARATION OF THIS DOCUMENT, IF THE DRAINAGE DESIGN WAS NOT PREPARED OR CERTIFIED BY THIS OFFICE THEN THE DRAINAGE SYSTEM MAY NEED TO BE DOCUMENTED BY A SUITABLY QUALIFIED PERSON TO COMPLY WITH AS2870. THE DRAINAGE DESIGNER SHOULD ENSURE THAT THE ELEMENTS OF THE DRAINAGE SYSTEM DESIGN ARE CONSIDERED WITH RESPECT TO THE PROPOSED FOOTING SYSTEM. WE RECOMMEND THAT INTRAX CONSULTING ENGINEERS OR AN EQUIVALENT CERTIFIED PRACTITIONER, REVIEW ALL THE DOCUMENTATION TO ENSURE COMPLIANCE.
- D2. SITES SHOULD BE DRAINED SO THAT WATER CANNOT POND AGAINST OR NEAR THE HOUSE. THE GROUND IMMEDIATELY ADJACENT TO THE HOUSE SHOULD BE GRADED TO FALL 50mm OVER THE FIRST METRE. WHERE THIS IS IMPRACTICABLE (IE: ON SEVERAL SLOPING SITES) USE A.G. DRAINS ADJACENT TO FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.

FOOTING: ANGLE OF REPOSE

- A1. FOOTING MUST NOT UNDERMINE EXISTING FOOTING OR BE UNDERMINED BY PROPOSED EXCAVATION.
- A2. ENSURE ADEQUATE ANGLE OF REPOSE AT ALL TIMES (REFER DETAILS BELOW).
- A3. NOTIFY THIS OFFICE IF FOOTING UNDERMINE OCCURS.
- A4. PIPE DEPTH & LOCATION MUST BE CONFIRMED PRIOR TO CONSTRUCTION.

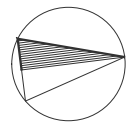


ANGLE OF REPOSE
 30° MAX IN SAND/SILT
 45° MAX IN CLAY
 60° MAX IN ROCK

OCCUPATIONAL, HEALTH AND SAFETY

- O1. FOR ALL WORKS CONDUCTED ON THIS PROJECT, THE BUILDER SHALL HAVE ALL APPROPRIATE AND SUFFICIENT SAFETY MEASURES AND PROCEDURES IN PLACE.
- O2. DEEP TRENCHES MAY EXIST ON THIS SITE. BUILDER TO ENSURE NECESSARY SAFETY MEASURES ARE TAKEN TO PREVENT FALL AND TRIPPING HAZARDS ARE ELIMINATED.
- O3. FOR LARGE SPAN BEAMS (≥ 6000mm), BUILDER TO ENSURE SEAT PLATES/ANGLES TO STEEL COLUMNS FOR MAJOR BEAMS AND LINTELS ARE INSTALLED FOR SAFER CONNECTION, BOLTING AND SITE WELDING.
- O4. ADEQUATE PROPPING MAY BE REQUIRED FOR ANY RETAINING/LOAD BEARING WALLS ON BOUNDARIES. TEMPORARY SHORING MAY BE REQUIRED.
- O5. PROVISIONS SHALL BE MADE FOR APPROPRIATE DISTANCE FOR ROOF BATTENS/RAFTERS TO PROVIDE A SAFE WORKING PLATFORM DURING ROOF INSTALLATION AND WORKING AT HEIGHTS.
- O6. BUILDER MAY NEED TO BE AWARE OF APPROPRIATE MEASURES TO DEAL WITH HAZARDOUS MATERIALS SUCH AS ASBESTOS WHICH STILL CAN BE FOUND IN SERVICE PITS.
- O7. IF A CRANE IS REQUIRED, THE BUILDER IS TO PROVIDE ADEQUATE SAFETY MEASURES FOR CRANE USAGE AROUND POWER LINES.
- O8. IF ANY DIGGING IS REQUIRED OUTSIDE OF SITE BOUNDARIES, INFORMATION REGARDING EXISTING COUNCIL ASSETS NEED TO BE SOUGHT FROM "DIAL BEFORE YOU DIG".
- O9. THE SAFETY CONCERNS AND HAZARDS IDENTIFIED ABOVE REPRESENT COMMONLY OCCURRING RISKS. THE LIST DOES NOT COVER THE FULL RANGE OF RISK AVOIDANCE MEASURES REQUIRED.

				PROJECT		CONSTRUCTION ISSUE				
				PROPOSED RESIDENCE LOT 545 NO.16 NICASTRO AVENUE WOLLERT						
				CLIENT		DRAWING				
				ORBIT HOMES AUSTRALIA PTY LTD		GENERAL NOTES				
						213113		ENGINEER: P.H	DRAWN: Y.S.	REV
								SHEET NO. S01	NO. OF SHEETS 20	01
01	CONSTRUCTION ISSUE		20.11.23							
REV.	REMARK/COMMENT		DATE:	APPR.						



LOT 546
EXISTING HOUSE
SINGLE STOREY

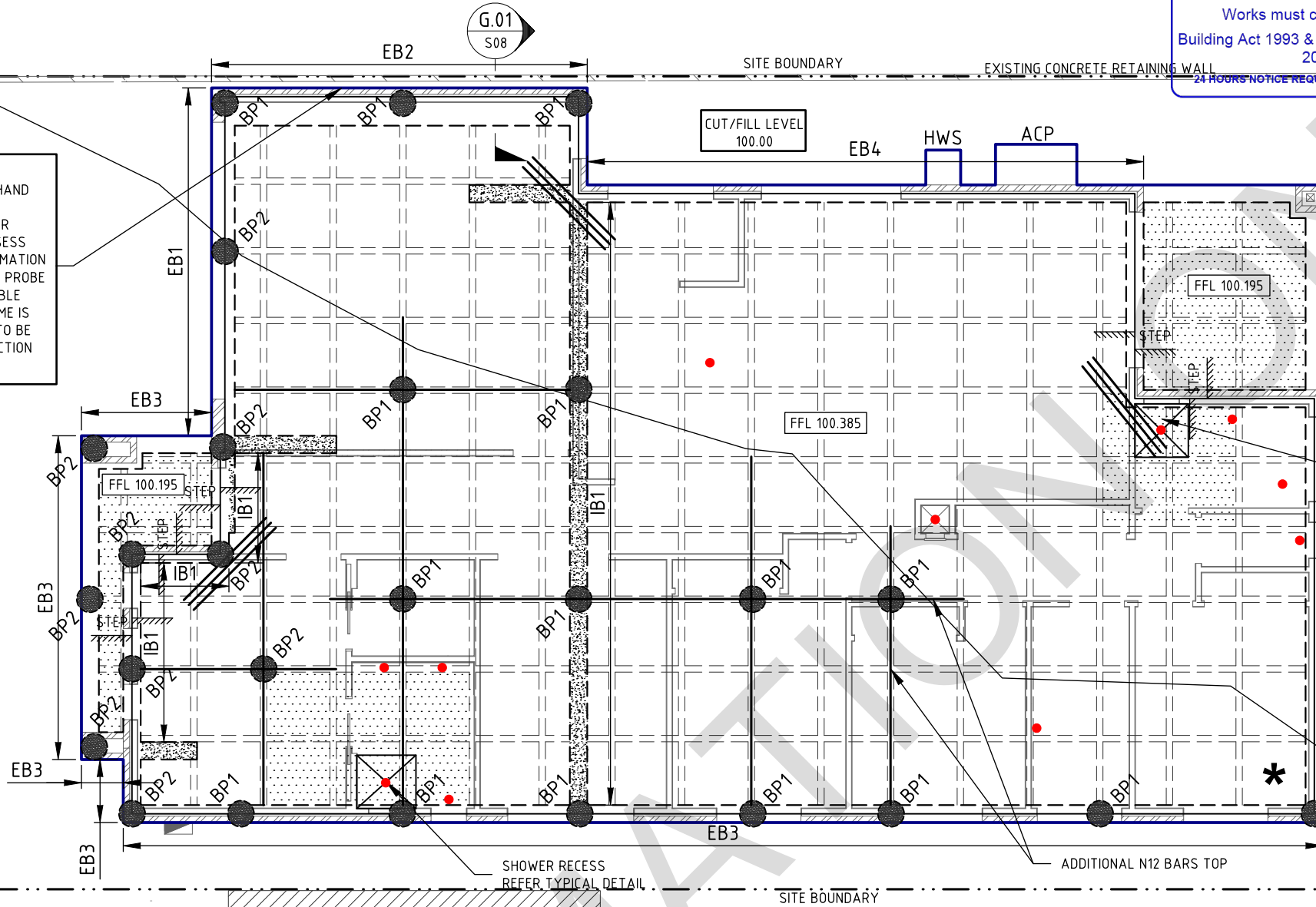
Northpoint Building Surveyors
APPROVED DOCUMENT
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NOTE:
INTRAX RECOMMENDS THE USE OF HAND EXCAVATION WITHIN 1m OF FOOTING VICINITY TO PREVENT OVER EXCAVATION. CONTRACTOR TO ASSESS SITE CONDITIONS AND OTHER INFORMATION AVAILABLE (SOIL REPORT, FOOTING PROBE ETC.) PRIOR TO A SELECTING SUITABLE METHOD OF EXCAVATION. AT NO TIME IS THE EXISTING ADJACENT FOOTING TO BE UNDERMINED DURING THE CONSTRUCTION OF THE NEW FOOTING.

300Ø STORMWATER PIPE
DEPTH TO INVERT = 1.352-1.64m APPROX.

TBC
OFFSET

SITE BOUNDARY



SHOWER RECESS
REFER TYPICAL DETAIL

1.0m
OFFSET

1.8m
OFFSET

225Ø STORMWATER PIPE
DEPTH TO INVERT = 0.858-1.133m APPROX.

150Ø SEWER PIPE
DEPTH TO INVERT = 2.02m APPROX.

EASEMENT 3.0m

EXISTING HOUSE
SINGLE STOREY

EXISTING HOUSE
SINGLE STOREY

100Ø SEWER TIE
DEPTH = 1.634m
LENGTH = 2.927m
OFFSET = 0.73m

FOOTING UNDERMINE NOTES:

- AT NO TIME IS THE EXISTING ADJACENT FOOTING TO BE UNDERMINED DURING THE CONSTRUCTION OF THE NEW FOOTING;
- BUILDER TO ENSURE AND CONFIRM ON SITE PRIOR TO COMMENCEMENT OF THE NEW FOOTING CONSTRUCTION;
- HAND EXCAVATION IS RECOMMENDED NEAR EXISTING FOOTINGS;
- THIS OFFICE IS TO BE CONTACTED IF THE DESIGN OF THE NEW FOOTING IS UNDERMINING THE EXISTING ADJACENT FOOTING.

GROUND FLOOR SLAB PLAN

SCALE = 1:100

LEGEND

	BRICKWORK OVER		DENOTES WAFFLE BOX SETDOWN	EB1	400mm WIDE x 385mm OVERALL DEEP EDGE BEAM WITH 4-L11TM TOP & 2x4-L11TM OR 4-N16 BARS BOTTOM TO FULL LENGTH OF GARAGE OPENING.		450mm DIA. CONCRETE BORED PIERS FOUNDED 900mm MIN. INTO NATURAL CLAY TRACE SILT GRAVEL OR ONTO SOLID CONT. ROCK (IF ENCOUNTERED AT SHALLOWER DEPTH). ALT. USE 1200mm LONG x 300mm WIDE CONCRETE BULK PIERS FOUNDED ONTO SOLID CONT. ROCK (IF ENCOUNTERED AT SHALLOWER DEPTH), DUE TO FILL & DRAINAGE PIPE AOR
	TIMBER STUD WALLS OVER		SLAB PENETRATION (REFER TO ARCH DRAWINGS)	EB2	650mm WIDE x 385mm MIN. OVERALL DEEP EDGE BEAM WITH 6-N16 BARS TOP & BOTTOM		450mm DIA. CONCRETE BORED PIERS FOUNDED 900mm MIN. INTO NATURAL CLAY TRACE SILT GRAVEL & 2500mm BELOW F.G.L (WHICHEVER IS DEEPER) OR ONTO SOLID CONT. ROCK (IF ENCOUNTERED AT SHALLOWER DEPTH). ALT. USE 1200mm LONG x 300mm WIDE CONCRETE BULK PIERS FOUNDED ONTO SOLID CONT. ROCK (IF ENCOUNTERED AT SHALLOWER DEPTH), DUE TO TREE & FILL
	DENOTES INTERNAL RIB TO MATCH EXTERNAL RIB PROPERTIES U.N.O. (SEE WAFFLE SLAB SCHEDULE)		DENOTES STARTING POINT FOR WAFFLE BOX	EB3/ IB1	ADDITIONAL 3-L11TM TOP		
	DENOTES 3-L11TM OR 3-N12 CRACK CONTROL BARS 2000mm LONG TIED TO UNDERSIDE OF SLAB MESH.	HWS	LOCALLY WIDEN WITH SL92 TOP & BOTTOM. STEP TO ARCH'S DETAILS (IF REQUIRED)	EB4	300mm WIDE x 535mm OVERALL DEEP EDGE BEAM WITH 2x3-L11TM OR 3-N16 BARS BOTTOM, DUE TO DRAINAGE PIPE AOR		
		ACP	CONDENSER PAD. REFER TYPICAL DETAIL NOTE: LOCALLY WIDEN WITH SL92 TOP & BOTTOM. STEP TO ARCH'S DETAILS (IF REQUIRED)				

NOTE:
FOOTING TO BE LOCALLY WIDENED AT ALL BRICK PIER LOCATIONS TYPICAL U.N.O.

NOTE:
REFER WAFFLE SLAB SCHEDULE ON DRAWING S03

NOTE:
DEEPEMED BRICK REBATE ON ZERO LOT LINE MAY BE REQUIRED BASED ON SITE CONDITIONS, TO BE DETERMINED ON SITE BY CONCRETER AND BUILDER

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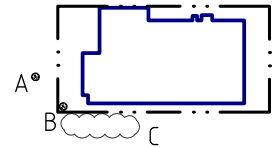
PROJECT	PROPOSED RESIDENCE LOT 545 NO.16 NICASTRO AVENUE WOLLERT
CLIENT	ORBIT HOMES AUSTRALIA PTY LTD

CONSTRUCTION ISSUE			
DRAWING GROUND FLOOR SLAB PLAN		213113	
ENGINEER: P.H	DRAWN: Y.S.	REV	
SHEET NO. S02	NO. OF SHEETS 20	01	

WAFFLE SLAB SCHEDULE

SLAB DETAILS			
OVERALL SLAB DEPTH	385 mm		U.N.O.
VOID FORM HEIGHT	300 mm		U.N.O.
SLAB THICKNESS	85 mm		U.N.O.
INTERNAL RIB WIDTH	110 mm		U.N.O.
EXTERNAL RIB WIDTH	300 mm		U.N.O.
STEM WIDTH	150 mm		U.N.O.
<ul style="list-style-type: none"> PROVIDE MEMBRANE IN ACCORDANCE WITH BCA (LAPPED 200 MIN. AND TAPED AT JOINTS) ON MAXIMUM 50mm COMPACTED QUARRY PRODUCT IF REQUIRED; MEMBRANE MAY HAVE MINOR PENETRATIONS IN ACCORDANCE WITH AS2870; CONCRETE STRENGTH = 20 MPa AT 28 DAYS. SLUMP = 100mm 			
SLAB REINFORCEMENT			
TOP			
SLAB FABRIC	SL92		U.N.O.
INTERNAL RIB	1-N12 BAR	REFER PLAN.	
EXTERNAL RIB	3-L11TM	REFER PLAN.	
BOTTOM			
INTERNAL RIB	1-N16 BAR		U.N.O.
EXTERNAL RIB	2x3-L11TM OR 3-N16 BARS		U.N.O.

NOTE:
THE DESIGN CATERES ONLY FOR A TREE WITH A MAX. MATURE HEIGHT OF 4m TO BE PLANTED IN THE FRONT YARD, IF IT'S OTHERWISE PLEASE CONTACT THIS OFFICE.



TREE EFFECT SITE KEY PLAN
SCALE = NTS

NOTES:
LOCATION OF TREES SHOWN INDICATIVE ONLY
A - DENOTES EXISTING IMMATURE SINGLE TREE WITH ASSUMED MAX MATURE HEIGHT 12m.
B - DENOTES FUTURE LANDSCAPE TREE, WITH ASSUMED MAX MATURE HEIGHT 4m.
C - DENOTES EXISTING SHRUBS

TREE EFFECT NOTE:

- THIS SLAB DESIGN HAS TAKEN TREE EFFECT (IDENTIFIED AT THE TIME OF SOIL INVESTIGATION) INTO CONSIDERATION;
- BUILDER TO REMOVE ALL TREES AND TREE ROOTS/MATERIAL OVER THE PROPOSED BUILDING AREA;
- ANY SOFT OR LOOSE MATERIAL THAT DOES NOT RESPOND TO COMPACTION SHOULD BE EXCAVATED TO ACHIEVE A FIRM BASE, BACKFILL HOLES WITH NON POROUS MATERIAL, COMPACTED IN MAXIMUM 150mm LAYERS.
- THE TREE HEIGHTS AND/OR SPECIES ARE BASED ON THE BEST INFORMATION AVAILABLE TO INTRAX AT THE TIME OF DESIGN. SHOULD INFORMATION TO THE CONTRARY TO THE DESIGN ASSUMPTION BECOME AVAILABLE, THIS OFFICE SHALL BE CONTACTED FOR REVIEW.

REFER TO RECOMMENDATIONS & SITE INVESTIGATIONS:

COMPANY: INTRAX CONSULTING ENGINEERS PTY LTD
REF. No.: 213113
DATED: 19.09.2023
CLASS: P/H2 (AS2870-2011)

REFER TO ARCHITECTURAL WORKING DRAWINGS:

COMPANY: ORBIT HOMES AUSTRALIA PTY LTD
REF. No.: 16913 - REV. 10
DATED: 20.11.2023

REFER TO CIVIL/DRAINAGE DESIGN DRAWINGS:

COMPANY: INTRAX CONSULTING ENGINEERS PTY LTD
REF. No.: 213113
DATED: 20.11.2023

NOTES:

1. THIS DESIGN SHOULD BE READ IN CONJUNCTION WITH THE DOCUMENTATION AND DRAWINGS REFERENCED ABOVE;
2. SITE BOUNDARY RETAINING WALLS TO BE DESIGNED BY OTHERS AS REQUIRED U.N.O.
3. (a) USE APPROPRIATE FLEXIBLE BEDDING MORTAR FOR BRITTLE FLOOR COVERING WHERE BRITTLE AREA IS GREATER THAN 16m² (eg. CERAMIC TILES);
(b) ALTERNATIVELY IF FLEXIBLE ADHESIVE TO BE USED FOR LAYING OF TILES, MINIMUM 90 DAYS WAITING PERIOD IS REQUIRED AFTER SLAB HAS BEEN POURED;
4. TWO LAYERS OF POLYETHYLENE MEMBRANE ARE REQUIRED FOR STRIP FOOTINGS AND BEAMS BELOW FINISHED GROUND LEVEL GREATER THAN 700mm DEEP TYPICAL U.N.O.
5. IF THE NEW FOOTING CONSTRUCTED TO ADJACENT EXISTING FOOTING IS LESS OR EQUAL TO 1000mm, THIS OFFICE SHOULD BE CONTACTED FOR FURTHER ADVICE
6. PERCHED GROUND WATER MAY OCCUR DURING HIGH PERIODS OF RAINFALL WHICH CAN LEAD TO CONSTRUCTION DIFFICULTIES. IF THIS SITUATION IS ENCOUNTERED ONSITE THIS OFFICE IS TO BE CONTACTED TO PROVIDE CONFIRMATION OF FOOTING DESIGN AND ALTERNATIVE CONSTRUCTION METHODS THAT MAY BE REQUIRED

INCOMPLETE PSI INFORMATION NOTES:

- PSI INFORMATION PROVIDED AT TIME OF DESIGN WAS INCOMPLETE.
- EASEMENT PIPE INFORMATION IS SUFFICIENT FOR ANGLE OF REPOSE CONSIDERATION U.N.O
- IF INFORMATION IS INCORRECT OR IS FOUND TO DIFFER ON SITE THIS OFFICE TO BE CONTACTED FOR FURTHER ADVICE.

NO FLOODING NOTE:

AT THE TIME OF THIS DESIGN, NO FLOOD INFO WAS PROVIDED. IF THE LAND IS SUBJECTED TO FLOODING PLEASE CONTACT THIS OFFICE.

Northpoint Building Surveyors
WAFFLE CONSTRUCTION NOTES:
APPROVED DOCUMENT
Works must comply with the Building Act 1993 & Building Regulations
24 HOURS NOTICE REQUIRED FOR INSPECTIONS

1. ALL LOOSE SURFACE FILL, ROOTS AND ORGANIC MATERIAL ARE TO BE REMOVED FROM THE BUILDING PLATFORM.
2. PERFORM THE SITE CUT TO REQUIRED BENCH LEVEL.
3. FOLLOWING THE SITE CUT, WHERE THE DEPTH OF THE REMAINING FILL IS GREATER THAN 150mm:
 - 3.1. REMOVE ALL FILL DOWN TO 150mm.
 - 3.2. COMPACT THE REMAINING 150mm LAYER OF FILL IN ACCORDANCE WITH AS2870-2011 SECTION 6.4.
 - 3.3. ANY ADDITIONAL REQUIRED FILL IS TO BE COMPACTED IN ACCORDANCE WITH NOTE 5 (BELOW)
4. WHERE THE DEPTH OF FILL IS LESS THAN 150mm, THEN THE FILL IS TO BE COMPACTED IN ACCORDANCE WITH NOTE 5 (BELOW)
5. ANY ADDED FILL FORMING PART OF THE CUT/FILL OPERATIONS SHALL BE COMPACTED IN 150mm MAXIMUM PER LAYER (OR 300mm MAXIMUM LAYER FOR SAND FILL) AT OPTIMUM MOISTURE CONTENT. THE LAYERS TO BE COMPACTED IN ACCORDANCE WITH AS2870-2011 SECTION 6.4 EXTEND 1000mm PAST THE WAFFLE EDGE.
6. IF THE FILL ON THE SITE IS NOT COMPACTED AS PER THE ABOVE SPECIFICATIONS, THIS OFFICE SHOULD BE CONTACTED FOR FURTHER ADVICE. (EDGE BEAMS TO BE DEEPEMED TO NATURAL OR CONTROLLED FILL MAY BE ACCEPTABLE)
7. IN AREAS WHERE THE SLAB IS SUSPENDED OVER BORED OR BULK PIERS, FILL IS NOT REQUIRED TO BE REMOVED OR COMPACTED AS ABOVE.
8. A MAXIMUM OF 50mm LAYER OF BEDDING MATERIAL IS RECOMMENDED TO BE PLACED OVER THE BUILDING AREA (EXTENDING 1000mm OUTSIDE THE BUILDING EDGE LINE), WHICH IS WELL GRADED CRUSHED ROCK EQUIVALENT TO CLASS 3 QUARRY PRODUCT OR SIMILAR. IT IS ACCEPTABLE TO EXCEED 50mm IN DEPTH FOR SMALL DEPRESSIONS LOCALLY IN SUB BASE, PROVIDED THESE AREAS ARE WELL COMPACTED IN ACCORDANCE WITH FOOTING CODE AS2870-2011.
9. PLUMBER IS TO LAY DRAINAGE PIPES BELOW THE GROUND SURFACE. ALL RISERS ARE TO BE FIRMLY STAKED.
10. PREPARE THE FORMWORK IN ACCORDANCE WITH THE FOOTING PLAN AND DETAILS. WAFFLE PODS TO BE CONSTRUCTED WITH THE START LOCATION SHOWN ON THE SLAB LAYOUT PLAN; AROUND PLUMBING PIPES, WAFFLE PODS REQUIRED TO BE CUT AND TAPED.
11. ALL SLAB REINFORCEMENT TO BE PLACED CORRECTLY AS INDICATED ON THE SLAB LAYOUT PLAN.
12. ALL EXTERNAL & INTERNAL RIBS WIDER THAN 300mm SHALL BE REINFORCED WITH AN ADDITIONAL N12 BAR TOP & N16 BAR BOTTOM FOR EVERY 110mm IN ADDITIONAL WIDTH (TYPICAL).

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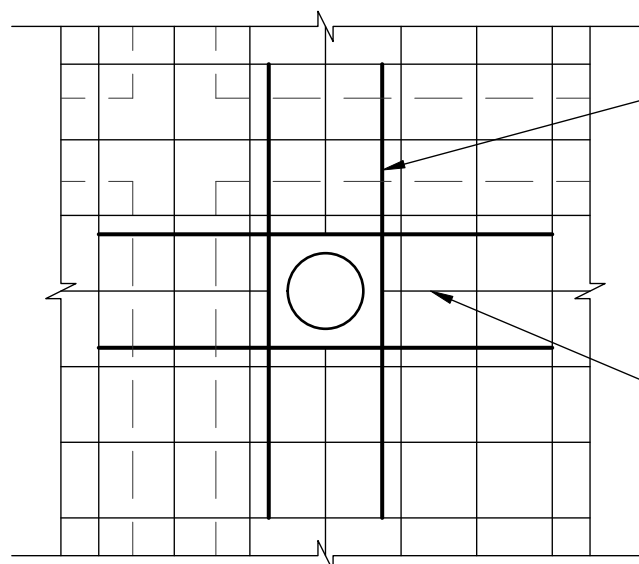
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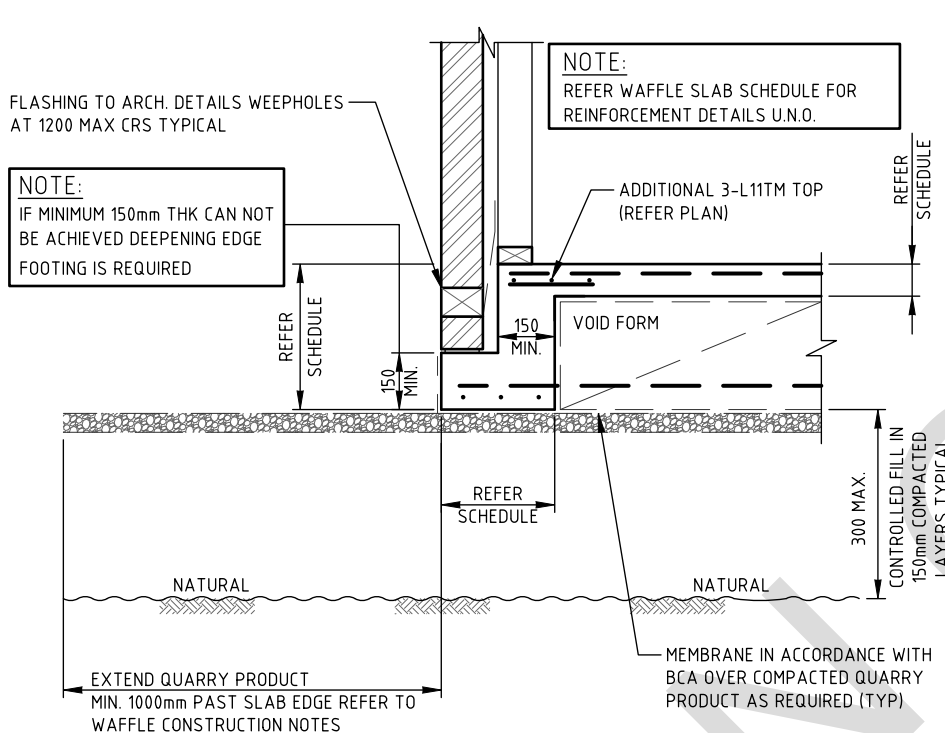
<p>PROJECT PROPOSED RESIDENCE LOT 545 NO.16 NICASTRO AVENUE WOLLERT</p> <p>CLIENT ORBIT HOMES AUSTRALIA PTY LTD</p>	<p>CONSTRUCTION ISSUE</p> <p>DRAWING WAFFLE SLAB SCHEDULE & NOTES</p> <p style="font-size: 24px; font-weight: bold;">213113</p>
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	ENGINEER: P.H	DRAWN: Y.S.	
	S03	NO. OF SHEETS 20	01



NOTE:
 ADDITIONAL BARS MUST BE PLACED AROUND PIPE OPENING IF SLAB FABRIC WIRES ARE CUT, DAMAGED OR BENT (TYPICAL)

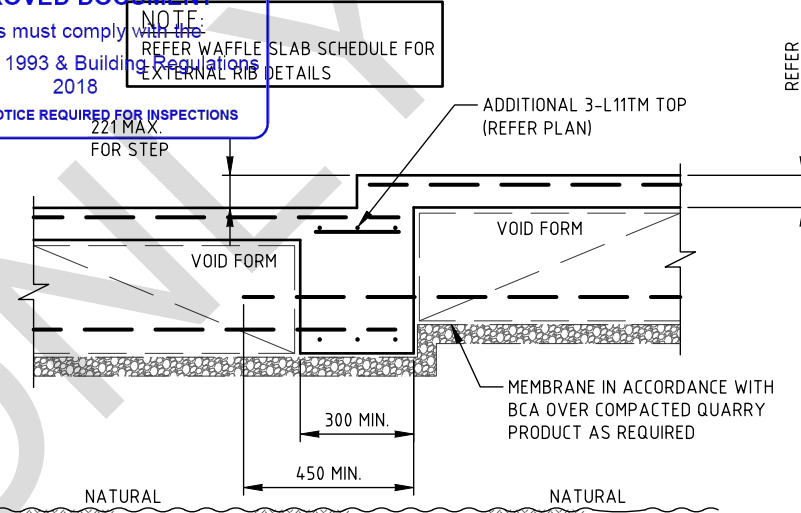
TYPICAL SLAB PENETRATION DETAIL
 N.T.S.



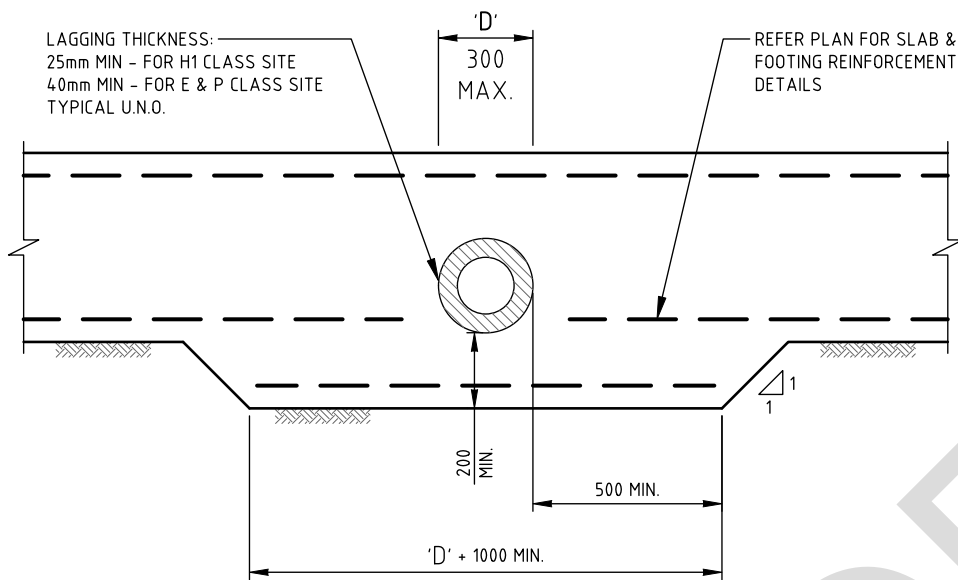
TYPICAL EXTERNAL RIB DETAIL
 SCALE = 1:20



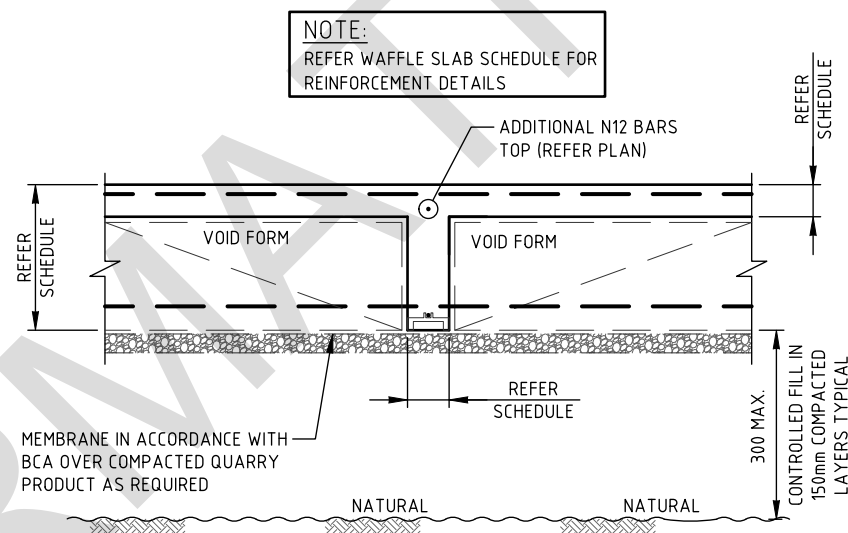
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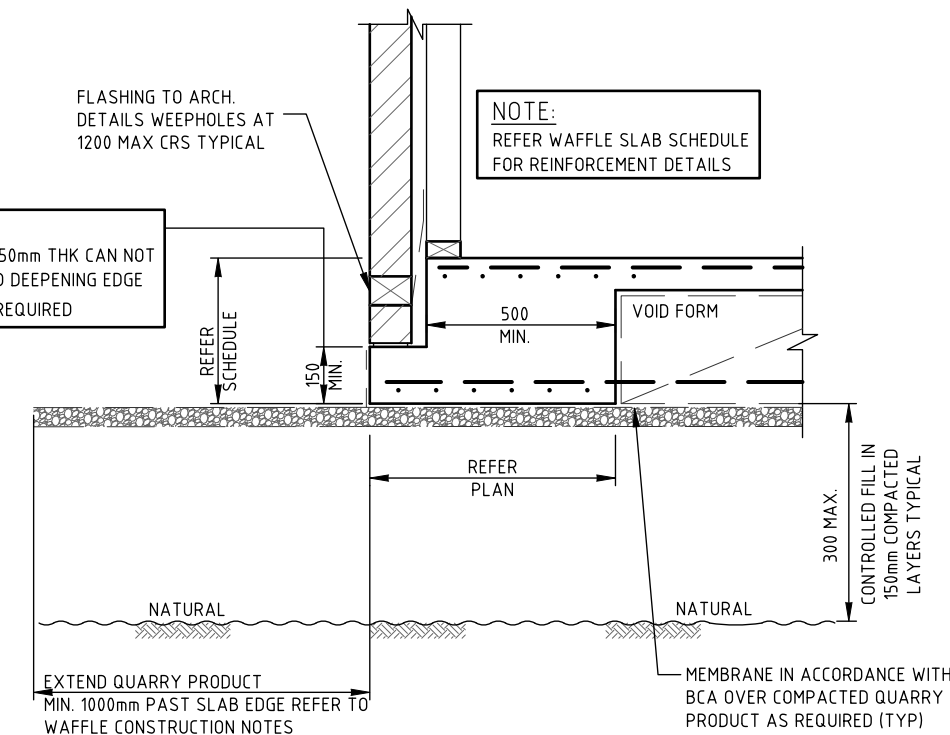
TYPICAL STEPDOWN DETAIL AT PORCH/O. LIVING
 SCALE = 1:20



TYPICAL PENETRATION THROUGH FOOTING DETAIL
 SCALE = 1:20



TYPICAL INTERNAL RIB DETAIL
 SCALE = 1:20



TYPICAL WIDENED EXTERNAL RIB DETAIL
 SCALE = 1:20



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CONSTRUCTION ISSUE

DRAWING
FOOTING DETAILS - SHEET 1

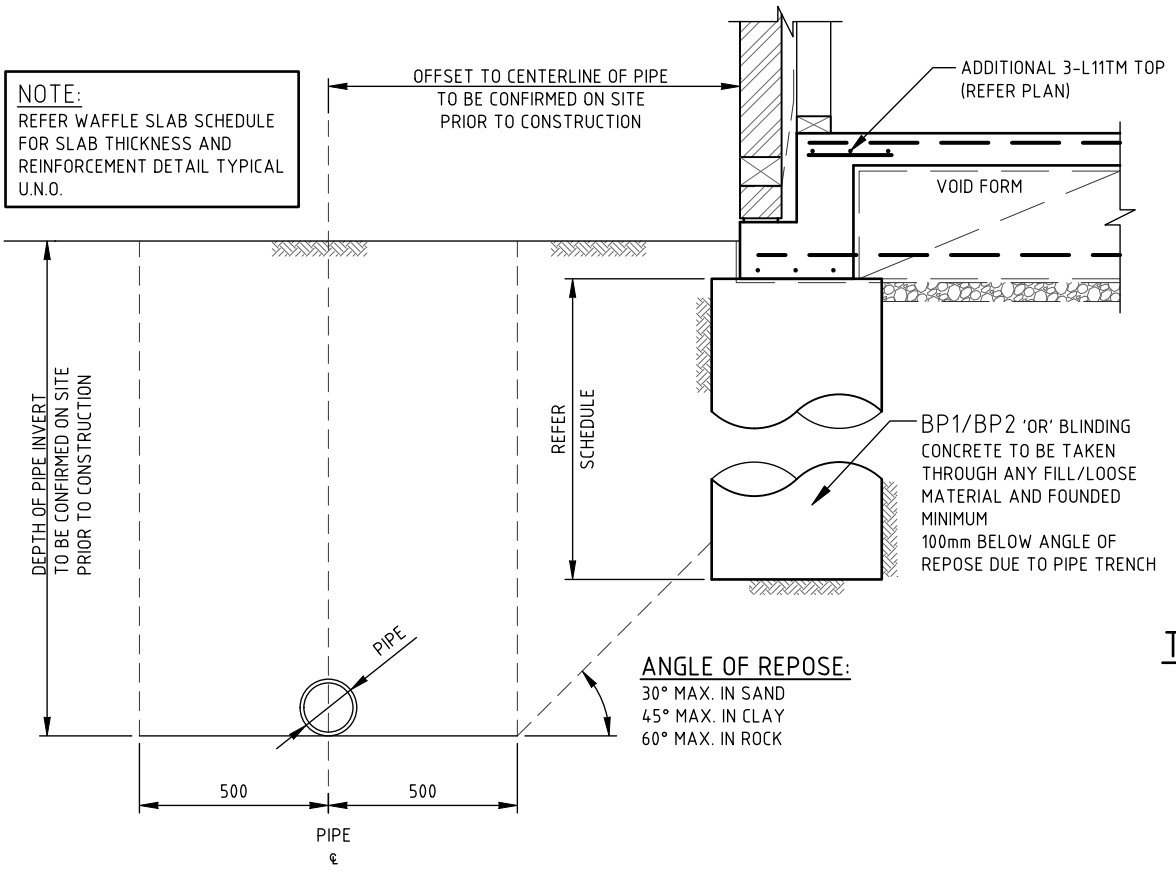
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ENGINEER: P.H
 SHEET NO. S04

DRAWN: Y.S.
 NO. OF SHEETS 20

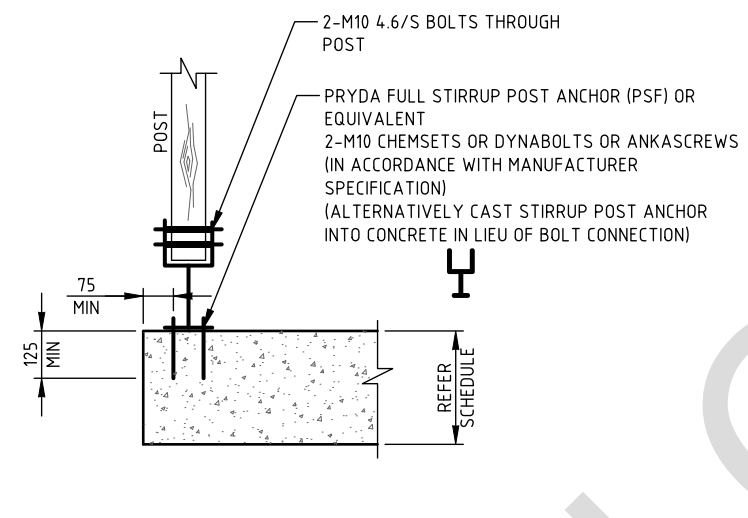
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NOTE:
REFER WAFFLE SLAB SCHEDULE FOR SLAB THICKNESS AND REINFORCEMENT DETAIL TYPICAL U.N.O.

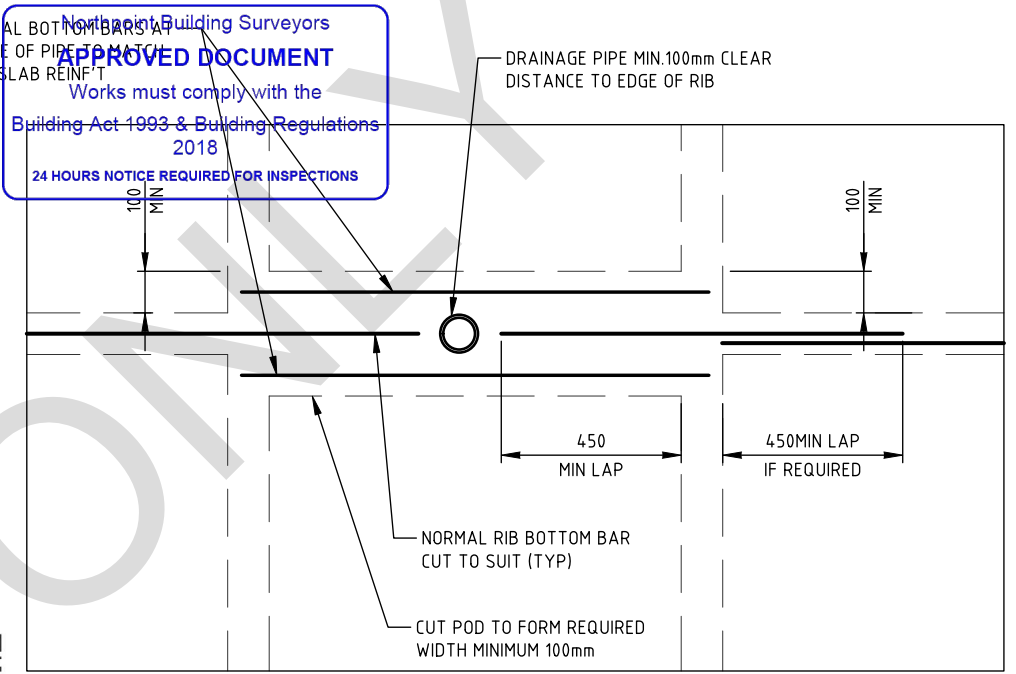


TYPICAL ANGLE OF REPOSE DETAIL
SCALE = 1:20

TYPICAL TIMBER FULL STIRRUP POST ON CONCRETE SLAB/FOOTING DETAIL
SCALE = 1:20



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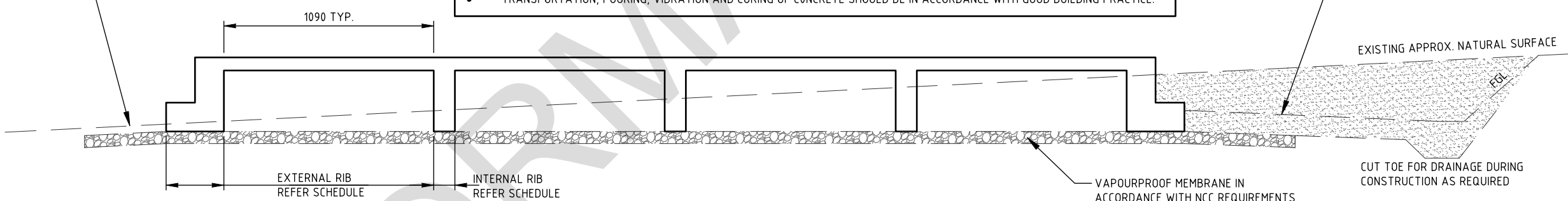


TYPICAL PIPE THROUGH WAFFLE RIB PLAN VIEW
SCALE = 1:20

- NOTES:**
- 0.2mm THICK POLYETHYLENE MEMBRANE TO BE APPROVED, TAPED AROUND PIPES AND LAPPED A MINIMUM OF 200mm.
 - MINOR PENETRATION IS ACCEPTABLE AS PER AS2870 C5.3.3.
 - 30mm COVER FOR BEAM REINFORCEMENT, AT SPLICES (500mm LAP FOR N12 BARS, 700mm LAP FOR N16 BARS) AND FULL BEAM WIDTH AT INTERSECTIONS.
 - SLAB REINFORCEMENT COVER TO HAVE 20mm MINIMUM, LAP LENGTH TO BE MINIMUM 225mm OR 2 CROSS WIRES AND SHOULD BE SUPPORTED ON BAR CHAIRS, SPACE OF BAR CHAIRS SHOULD NOT EXCESS 1000mm CRS BOTH WAYS.
 - CONCRETE SHALL BE VIBRATED INTO PLACE AND REINFORCEMENT SHALL BE FIXED IN POSITION BY BAR CHAIRS OR SIMILAR APPROVED.
 - TRANSPORTATION, POURING, VIBRATION AND CURING OF CONCRETE SHOULD BE IN ACCORDANCE WITH GOOD BUILDING PRACTICE.

GRADE SITE AROUND SLAB AS NOTED IN SITE DRAINAGE NOTES ON S1

GRADE SITE AROUND SLAB AS NOTED IN SITE DRAINAGE NOTES ON S1



TYPICAL SECTION THROUGH WAFFLE SLAB
N.T.S.

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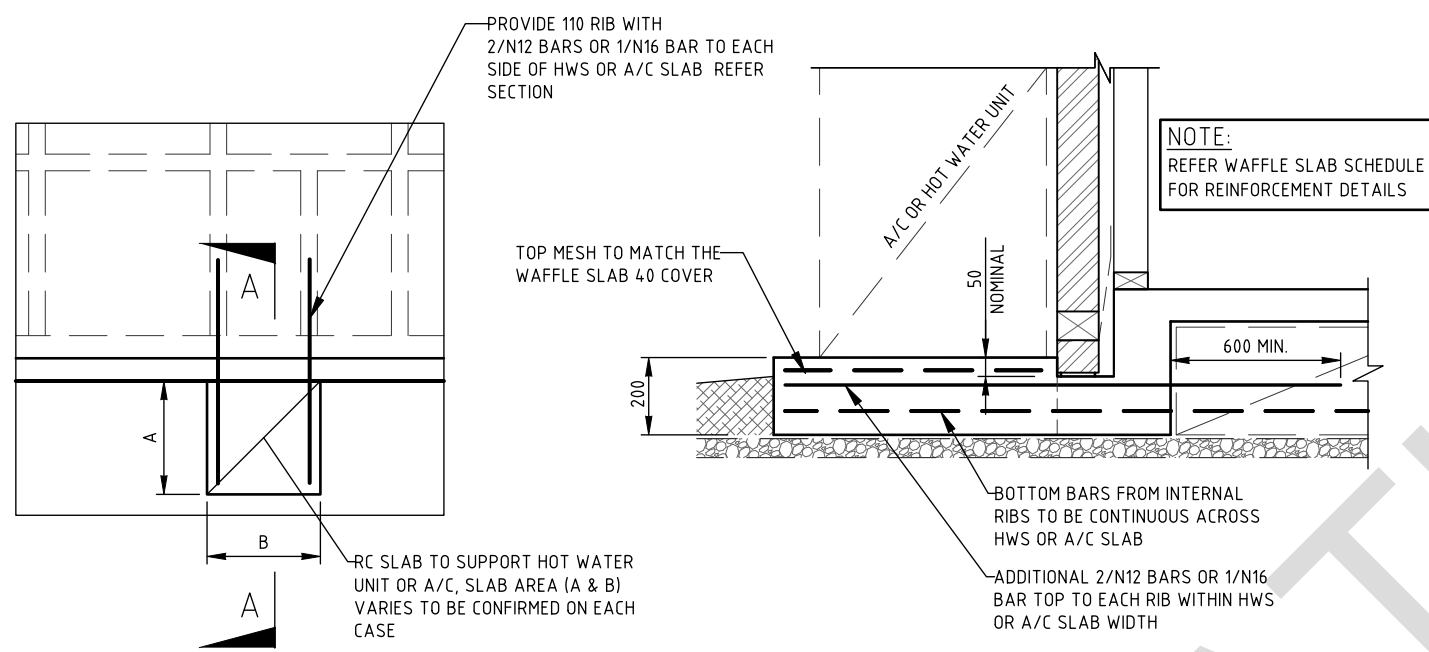
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FOOTING DETAILS - SHEET 2

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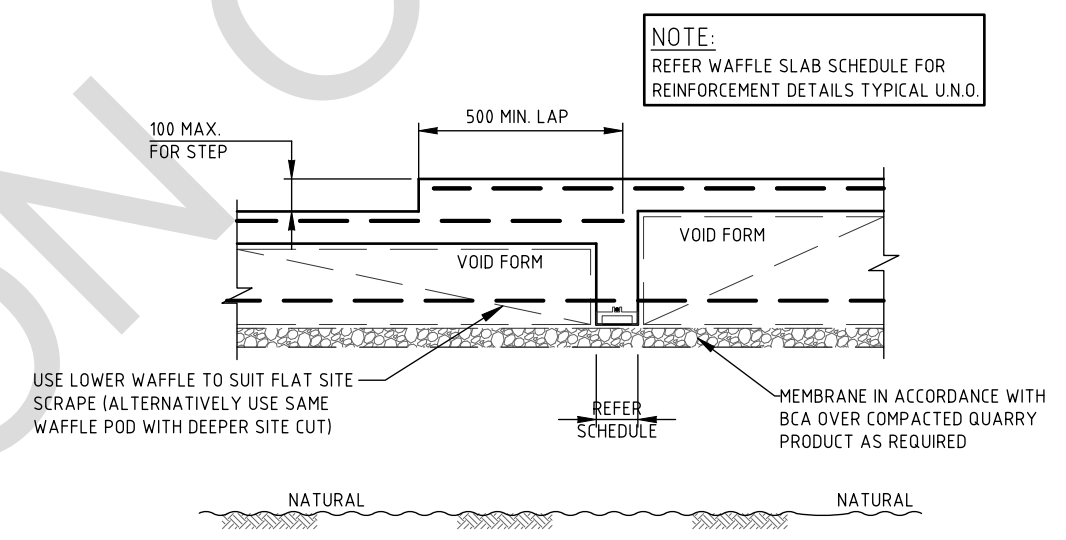
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SHEET NO. S05	NO. OF SHEETS 20	01

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KEY PLAN AT (HWS OR A/C)
 N.T.S.

TYPICAL HWS OR A/C PAD DETAIL
 SCALE = 1:20



TYPICAL SLAB RECESS (SHOWER) DETAIL
 SCALE = 1:20



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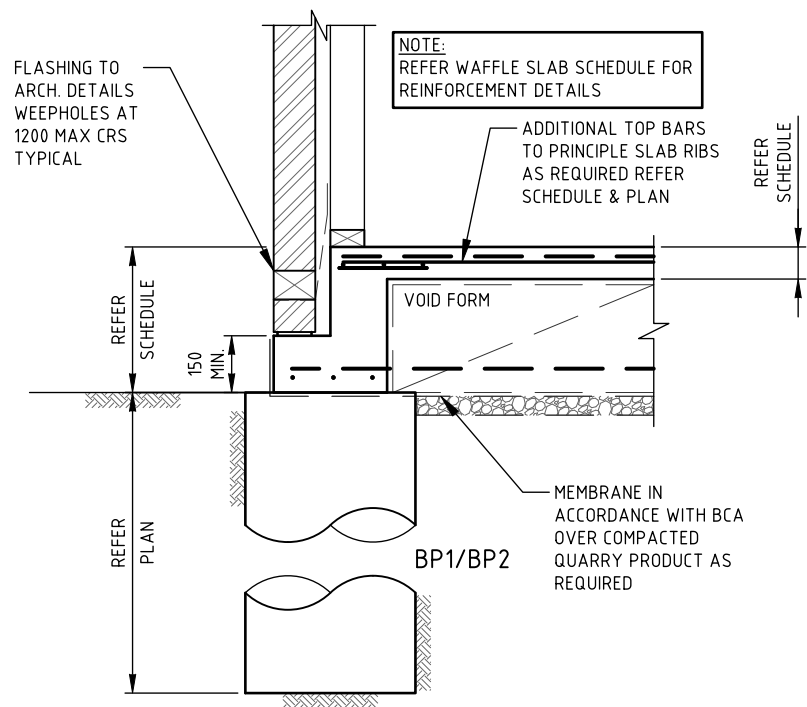
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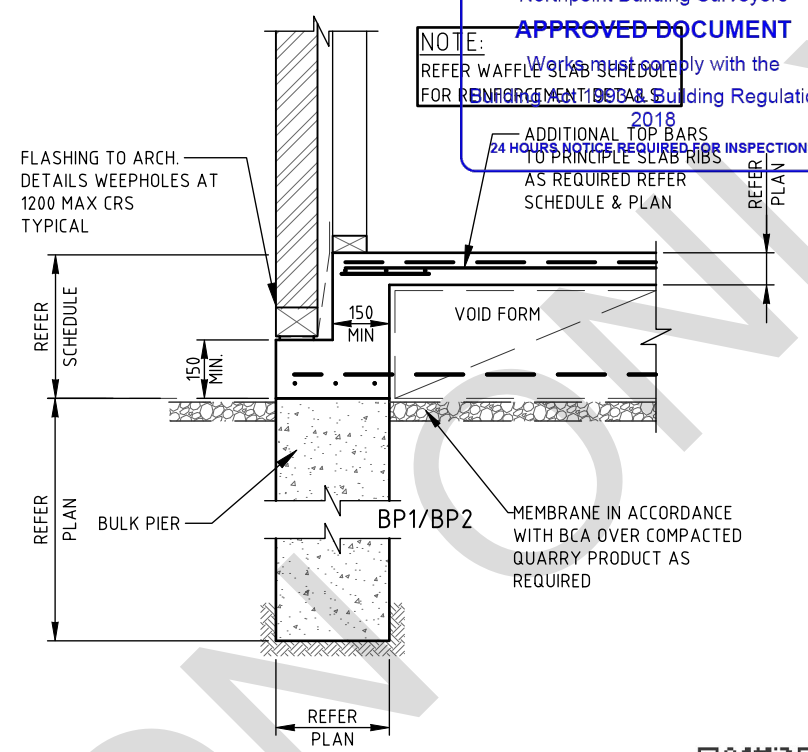
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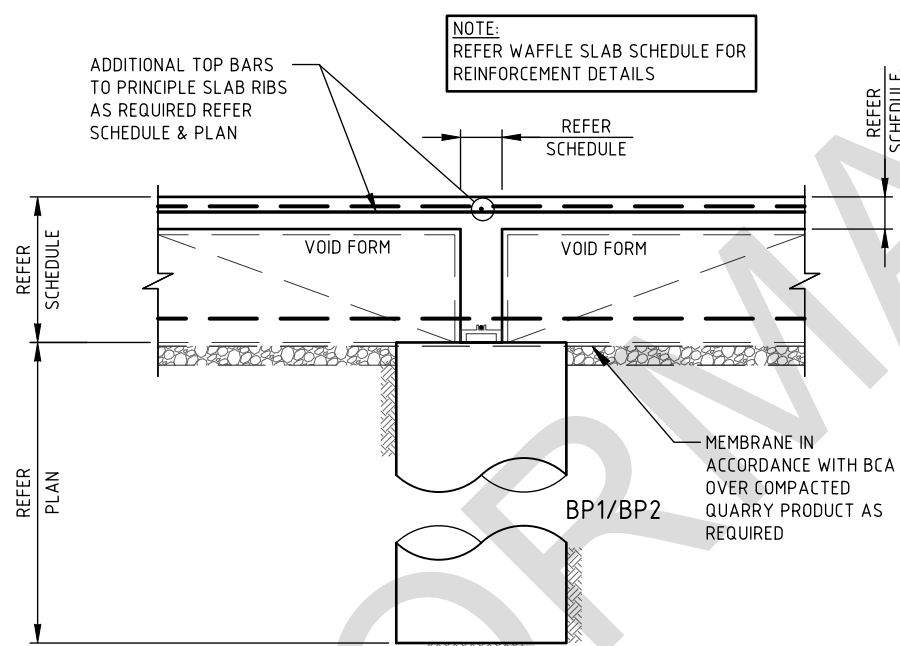
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DRAWING			
FOOTING DETAILS - SHEET 3			
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	SHEET NO. S06	NO. OF SHEETS 20	01



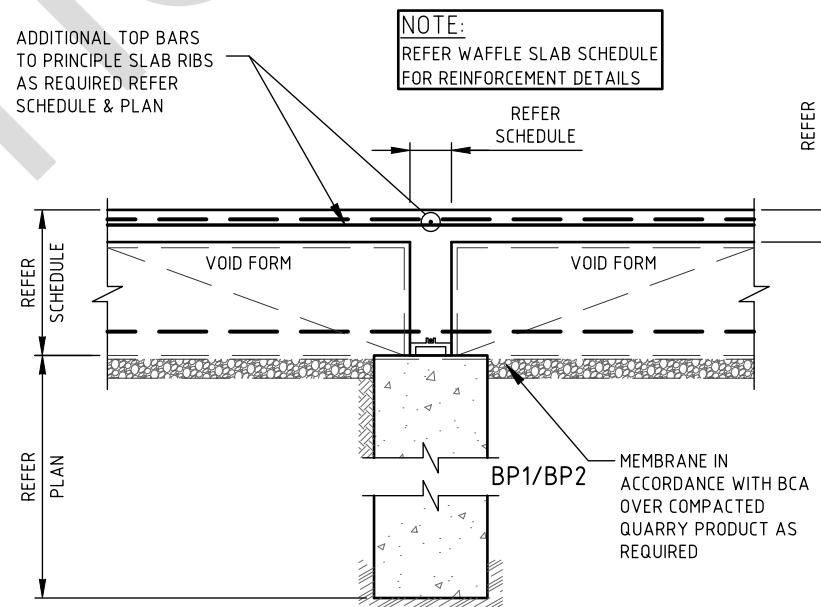
TYPICAL EXTERNAL RIB ON PIER
SCALE = 1:20



EXTERNAL RIB ON BULK PIER DETAIL
SCALE = 1:20



TYPICAL INTERNAL RIB ON PIER
SCALE = 1:20



TYPICAL INTERNAL RIB ON BULK PIER
SCALE = 1:20



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CONSTRUCTION ISSUE

DRAWING
FOOTING DETAILS - SHEET 4

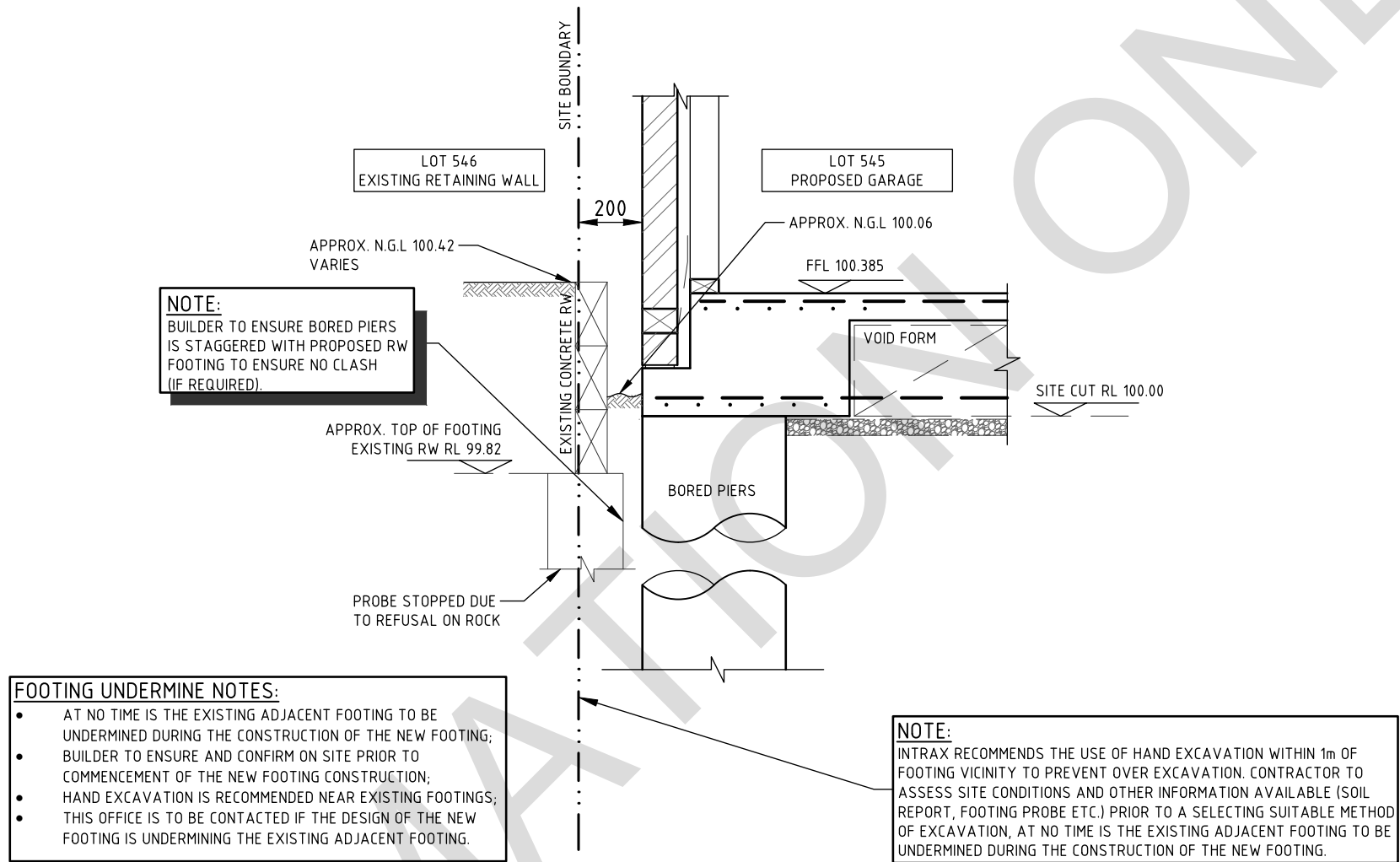
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ENGINEER: P.H
SHEET NO. S07

DRAWN: Y.S.
NO. OF SHEETS 20

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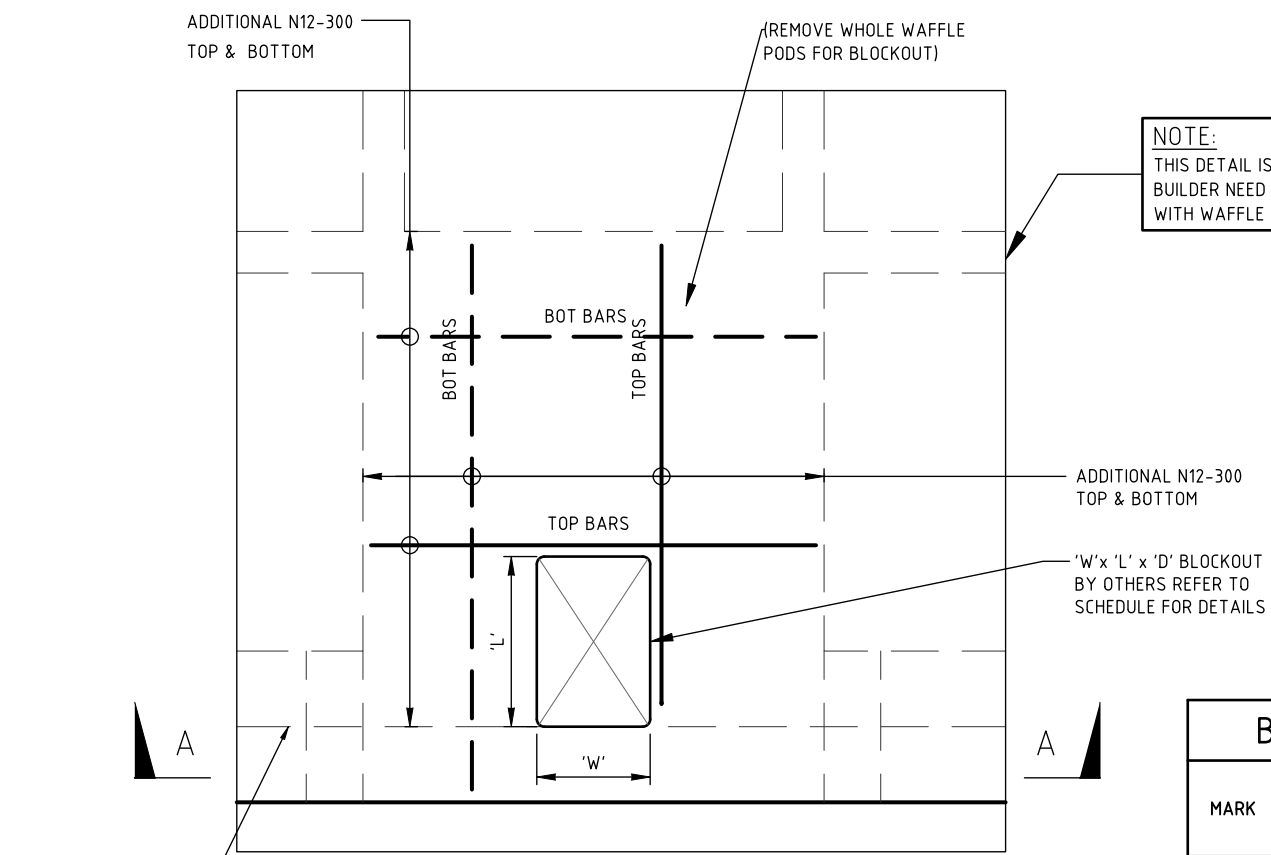
FOOTING UNDERMINE NOTES:

- AT NO TIME IS THE EXISTING ADJACENT FOOTING TO BE UNDERMINED DURING THE CONSTRUCTION OF THE NEW FOOTING;
- BUILDER TO ENSURE AND CONFIRM ON SITE PRIOR TO COMMENCEMENT OF THE NEW FOOTING CONSTRUCTION;
- HAND EXCAVATION IS RECOMMENDED NEAR EXISTING FOOTINGS;
- THIS OFFICE IS TO BE CONTACTED IF THE DESIGN OF THE NEW FOOTING IS UNDERMINING THE EXISTING ADJACENT FOOTING.

NOTE:
 INTRAX RECOMMENDS THE USE OF HAND EXCAVATION WITHIN 1m OF FOOTING VICINITY TO PREVENT OVER EXCAVATION. CONTRACTOR TO ASSESS SITE CONDITIONS AND OTHER INFORMATION AVAILABLE (SOIL REPORT, FOOTING PROBE ETC.) PRIOR TO A SELECTING SUITABLE METHOD OF EXCAVATION, AT NO TIME IS THE EXISTING ADJACENT FOOTING TO BE UNDERMINED DURING THE CONSTRUCTION OF THE NEW FOOTING.

SECTION G.01
 SCALE = 1:20 S02

			PROJECT PROPOSED RESIDENCE LOT 545 NO.16 NICASTRO AVENUE WOLLERT		CONSTRUCTION ISSUE		
			CLIENT ORBIT HOMES AUSTRALIA PTY LTD		DRAWING FOOTING DETAILS - SHEET 5		
01	CONSTRUCTION ISSUE	20.11.23	APPR.	213113	ENGINEER: P.H	DRAWN: Y.S.	REV
REV.	REMARK/COMMENT	DATE:	APPR.	S08	SHEET NO.	NO. OF SHEETS	01
				20			



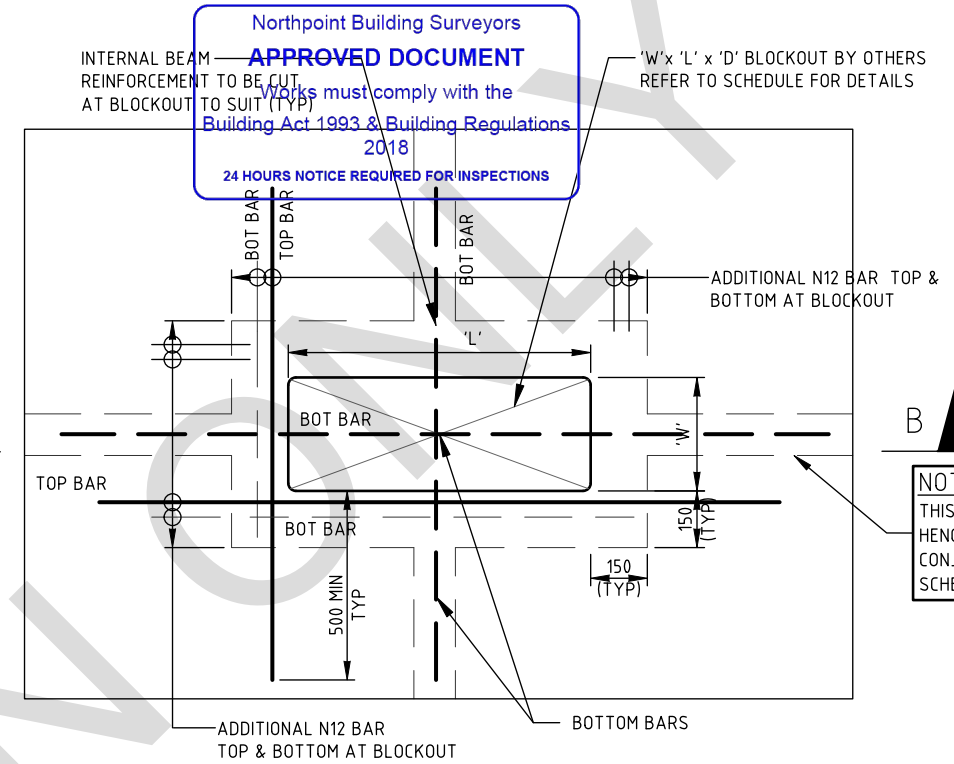
TYPICAL BLOCKOUT AT EDGE BEAM/INTERNAL STEPDOWN
SCALE = 1:20

REBATE FOR BRICKWALL OR INTERNAL STEPDOWN

NOTE:
THIS DETAIL IS ONLY TYPICAL HENCE,
BUILDER NEED TO READ IN CONJUNCTION
WITH WAFFLE SLAB SCHEDULE

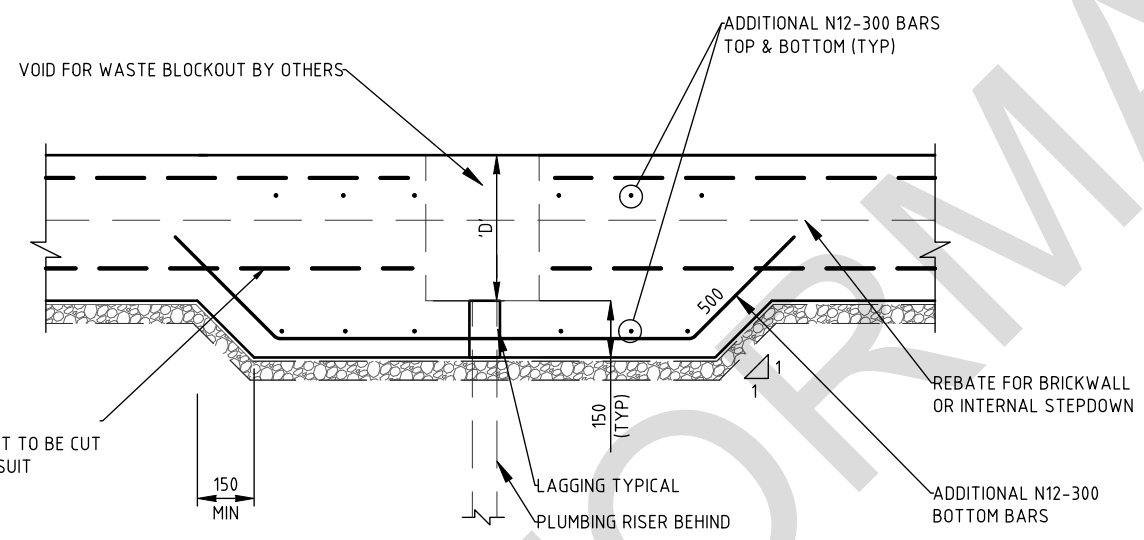
MARK	SHOWER		BATH
	INTERNAL	EXTERNAL	
'W'	300	300	300
'L'	800	450	450
'D'	300	300	200

BLOCKOUTS NOT REQUIRED IF DT PLUMBING FITTING IS USED

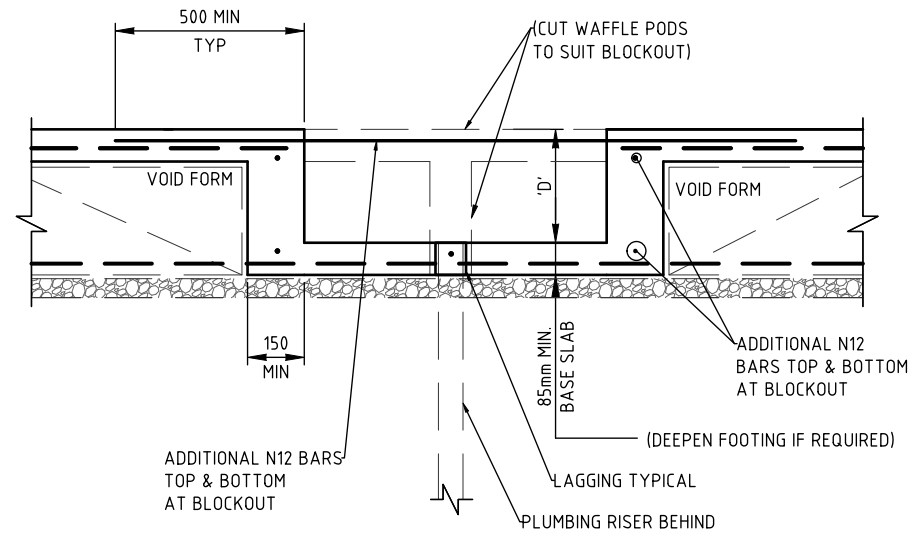


TYPICAL BLOCKOUT AT INTERNAL SLAB
SCALE = 1:20

NOTE:
THIS DETAIL IS ONLY TYPICAL
HENCE, BUILDER NEED TO READ IN
CONJUNCTION WITH WAFFLE SLAB
SCHEDULE



SECTION A-A



(300 POD) SECTION B-B

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CONSTRUCTION ISSUE

DRAWING
FOOTING DETAILS - SHEET 6

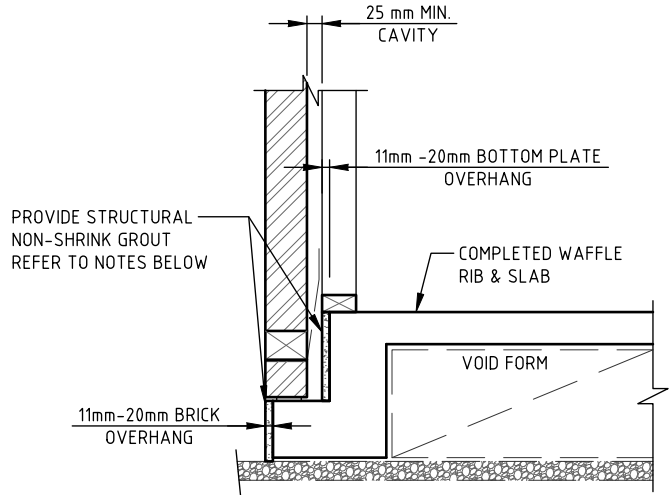
213113

ENGINEER: P.H	DRAWN: Y.S.	REV
SHEET NO. S09	NO. OF SHEETS 20	01

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TEMPLATE: SH-TEMPLATE-RESID(M)018

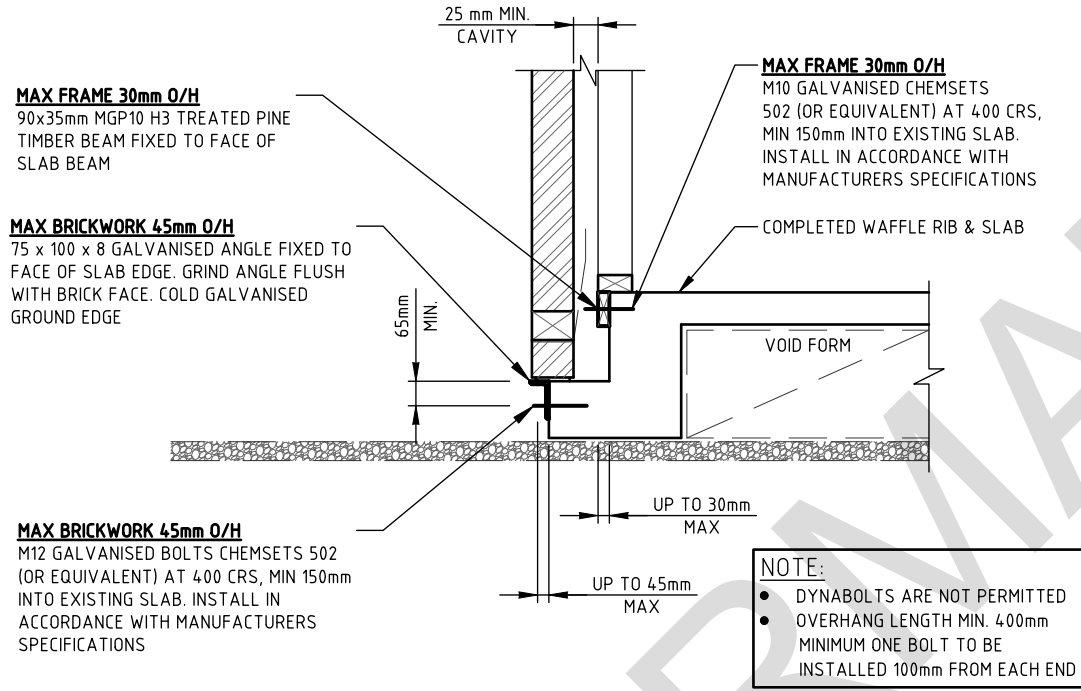
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**PROVISIONAL ALTERNATIVE EDGE RIB DETAIL FOR
 BRICK & FRAME OVERHANG (11mm TO 20mm)**
 N.T.S.



- NOTES:**
1. THE EDGES OF THE EXISTING CONCRETE SLAB ARE TO BE STABLED OR ACID WASHED AND THEN RINSED TO PROVIDE A COARSE SURFACE TO ACCEPT THE NON-SHRINK GROUT.
 2. APPLY A BONDCRETE OR BONDIT PRODUCT TO THE EDGES OF THE CONCRETE SLAB TO RECEIVE THE NON-SHRINK GROUT, IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 3. WHILE THE SLURRY MIX IS STILL WET, PROVIDE HIGH-STRENGTH NON-SHRINK GROUT TO BENEATH OF THE OVERHANG. (SUCH AS LANKO 702 DURABED OR SIMILAR APPROVED) INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. BENEATH THE OVERHANG THE THICKNESS OF THE GROUT MUST BE CONSISTENT WITH THE OVERHANG & GROUT MUST BE AT LEAST 150mm DEEP.
 4. THE ABOVE DETAIL IS ONLY APPLICABLE FOR BRICK VENEER, (UP TO TWO STORIES RESIDENTIAL BUILDING) WITH NOMINAL FIXINGS TO THE SLAB, MAXIMUM OVERHANG LENGTH NOT TO EXCEEDING 20mm.
 5. BOTTOM WALL PLATE TO BE FIXED TO CONCRETE SLAB IN ACCORDANCE WITH TIMBER FRAMING MANUAL.
 6. IF ONE OF THE FOLLOWING CONDITION ARE MET TO THE OVERHANG, BUILDER SHOULD SUBMIT DETAILS TO INTRAX CONSULTING ENGINEERS, PRIOR COMMENCE ANY CONSTRUCTION WORKS.
 - BRACED WALL WITH SPECIFIED FIXING, OTHER THAN NOMINAL FIXING;
 - UNDER CONCENTRATED LOADS (DOUBLE/TRIPLE STUDS OR STEEL COLUMNS);
 - VOIDS ON SURFACE OF EXTERNAL RIBS (DUE TO POOR COMPACTION/VIBRATION);
 - TIMBER FRAMING WALL IS LESS THAN 90mm WIDE
 - TIMBER FRAMING WALL IS GREATER THAN 2700mm HIGH
 - WIND CLASSIFICATION OF N3 OR ABOVE

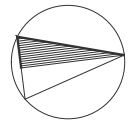


**PROVISIONAL ALTERNATIVE EDGE RIB DETAIL FOR
 BRICK & FRAME OVERHANG (MAX O/H 30mm FRAME) &
 (MAX O/H 45mm BRICKWORK ONLY)**
 SCALE = N.T.S.



- NOTES:**
 BOTTOM WALL PLATE TO BE FIXED TO CONCRETE SLAB IN ACCORDANCE WITH AS 1684.2
- NOTES:**
 REFER TO ENGINEERING DRAWINGS FOR EXISTING FOOTING SPECIFICATIONS. EXTERNAL RIB TO ACHIEVE MIN DIMENSIONS SPECIFIED. IF NOT, THIS OFFICE IS TO BE CONTACTED
- NOTES:**
 BRICK VENEER CAVITY WIDTH/WALL TIES TO BE AS PER NCC REQUIREMENTS
- NOTES:**
 IF ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET AT THE OVERHANG AREA, BUILDER SHOULD SUBMIT DETAILS TO INTRAX CONSULTING ENGINEERS, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORKS
 - BRACED WALL WITH SPECIFIED FIXING, OTHER THAN NOMINAL FIXING
 - UNDER CONCENTRATED LOADS (DOUBLE/TRIPLE/QUADRUPLE STUDS OR STEEL COLUMN)
 - VOIDS ON SURFACE OF EXTERNAL RIBS (DUE TO POOR COMPACTION/VIBRATION)
 - TIMBER FRAMING WALL IS LESS THAN 90mm WIDE
 - TIMBER FRAMING WALL IS GREATER THAN 2700mm HIGH
 - WIND CLASSIFICATION OF N3 OR ABOVE
 - VENEER WALL IS NOT SINGLE LEAF MASONRY

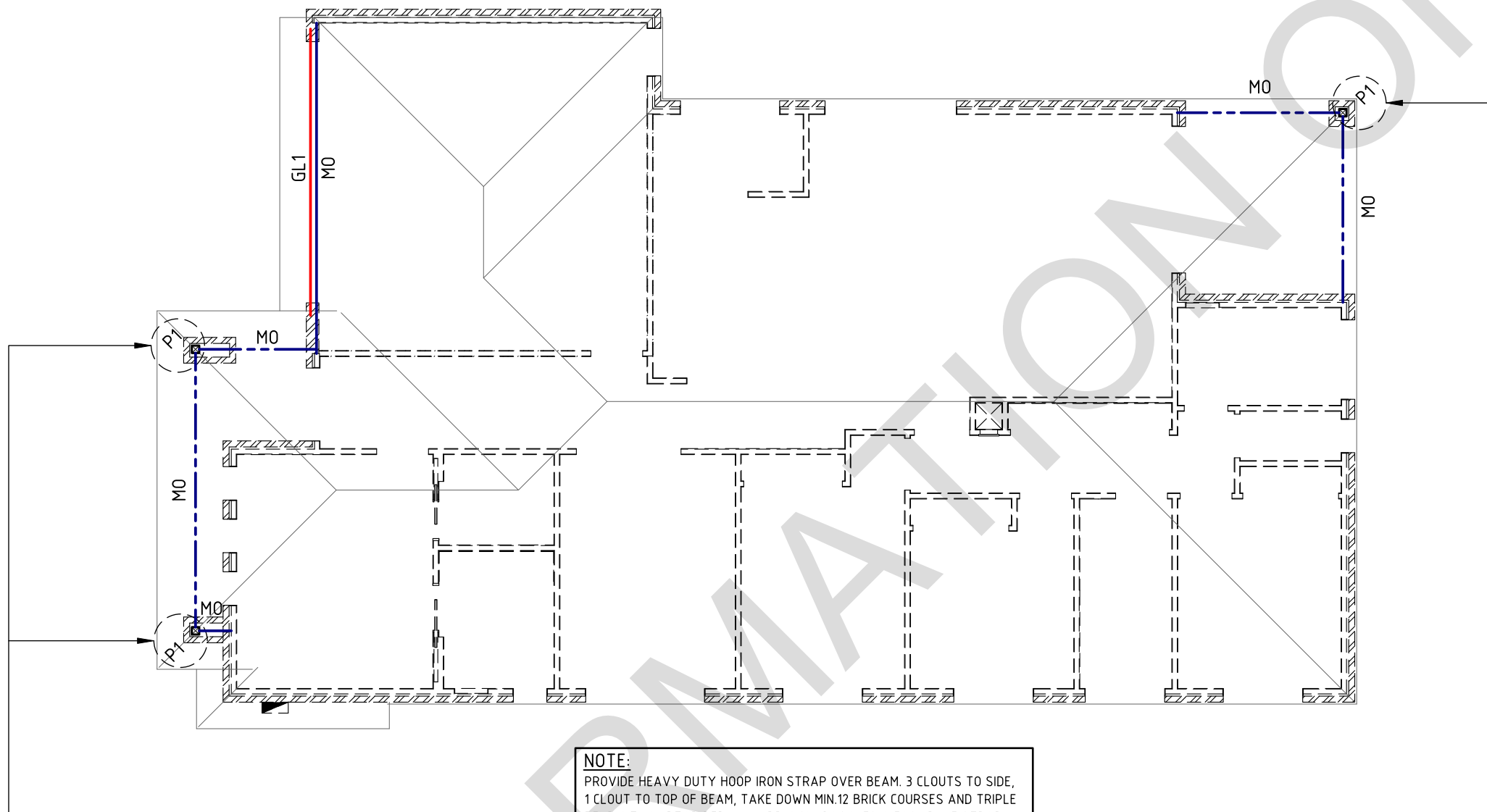
				PROJECT		CONSTRUCTION ISSUE							
				PROPOSED RESIDENCE LOT 545 NO.16 NICASTRO AVENUE WOLLERT						DRAWING		FOOTING DETAILS - SHEET 5	
		Melbourne 03 8371 0100 Sydney 02 8355 1200 Brisbane 07 3067 0800 Adelaide 08 8165 0122 Perth 0447 907 695 www.intrax.com.au Intrax Consulting Group VIC NSW QLD SA WA		CLIENT		213113		ENGINEER:	P.H	DRAWN:	Y.S.	REV	
				ORBIT HOMES AUSTRALIA PTY LTD				SHEET NO.		S10			NO. OF SHEETS
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MEMBER SCHEDULE		
MARK	SECTION	REMARKS/CONNECTIONS
GL1	150x100x10 UA + 50x10 EXT. PL	REFER TYPICAL DETAIL 230 MIN END BEARING
M0	MEMBER	BY OTHERS
P1	135x135 F7 TREATED PINE POST	ON GALVANISED STIRRUP

TRUSS ROOF BY OTHERS



NOTE:
 PROVIDE HEAVY DUTY HOOP IRON STRAP OVER BEAM. 3 CLOUTS TO SIDE,
 1 CLOUT TO TOP OF BEAM, TAKE DOWN MIN.12 BRICK COURSES AND TRIPLE
 BEND INTO MORTAR BED "OR" 'BRUNSWICK SALES' MFA20 ROOF STRAP
 ANCHORED 12 BRICK COURSES FROM TOP COURSE. ROOF STRAP TO BEND
 OVER TOP OF BEAM, 2-2.5mm DIAx40 LONG GALVANISED CLOUTS IN
 ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (TYPICAL)

BRACING BY OTHERS NOTE:
 BRACING TO BE DESIGNED AND NOMINATED BY FRAMING/TRUSS
 MANUFACTURER

NOTE:
 REFER TO ANGLE LINTEL SCHEDULE FOR ALL BRICKWORK
 LINTELS (U.N.O)

GENERAL FRAMING NOTES

- ALL DOUBLE TIMBER MEMBERS TO BE NAIL LAMINATED TO AS1684 OR FIXED TOGETHER AS PER MANUFACTURER'S SPECIFICATIONS U.N.O.
- ALL FRAMING MEMBERS SHALL BE SUITABLE FOR THE RELEVANT BAL RATING
- ALL EXPOSED STEELWORK TO BE HOT DIPPED GALVANISED

LEGEND

	BRICKWORK UNDER
	TIMBER STUD WALLS UNDER

ROOF PLAN

SCALE = 1:100

REV.	REMARK/COMMENT	DATE:	APPR.
01	CONSTRUCTION ISSUE	20.11.23	

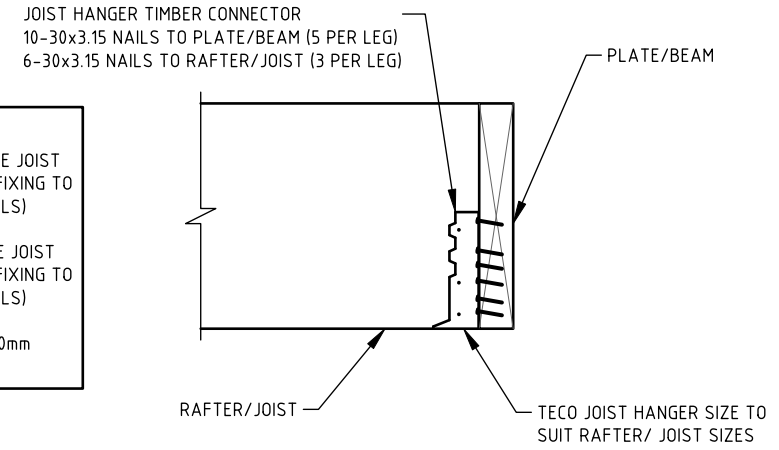
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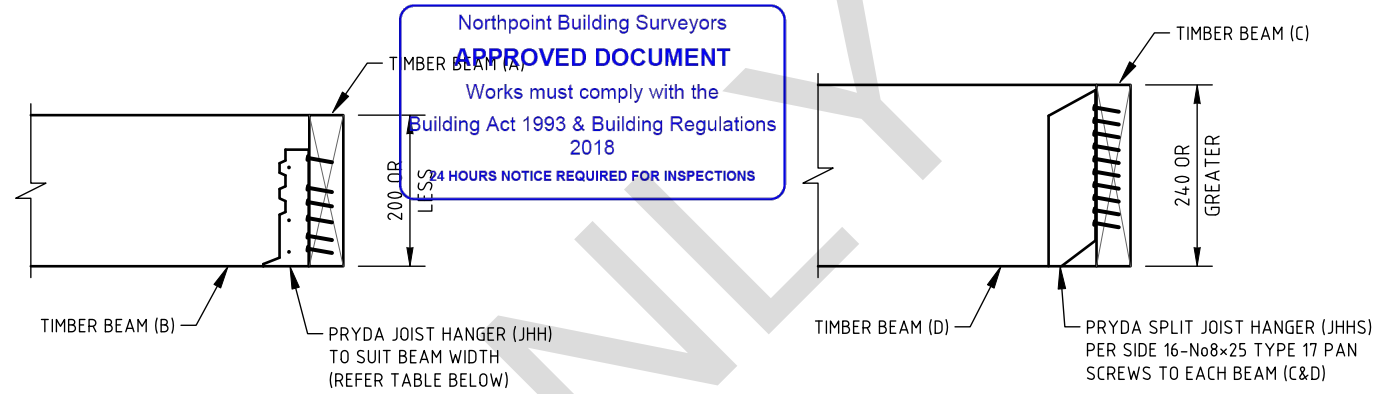
PROJECT	PROPOSED RESIDENCE LOT 545 NO.16 NICASTRO AVENUE WOLLERT
CLIENT	ORBIT HOMES AUSTRALIA PTY LTD

CONSTRUCTION ISSUE			
DRAWING ROOF PLAN			
213113	ENGINEER: P.H	DRAWN: Y.S.	REV
	SHEET NO. S11	NO. OF SHEETS 20	01

NOTE:
 1. AT DOUBLE JOIST TO DOUBLE JOIST USE JOIST HANGER TO ONE JOIST AND TRIP L GRIP FIXING TO SECOND JOIST WITH 5 NAILS/LEG. (15 NAILS)
 2. AT DOUBLE JOIST TO WALL PLATE USE JOIST HANGER TO ONE JOIST AND TRIP L GRIP FIXING TO SECOND JOIST WITH 5 NAILS/LEG. (15 NAILS)
 2-16Ø DYNABOLTS TO WALL
 SPACE DYNABOLTS AT 80mm CRS AND 80mm EDGE DISTANCE



TIMBER TO TIMBER RAFTER/JOIST CONNECTION
 SCALE = 1:10

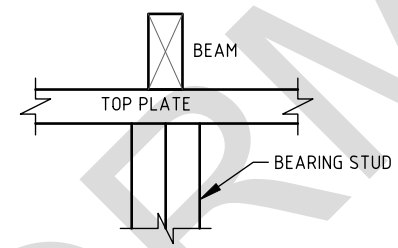
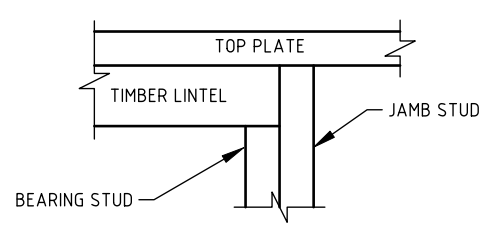


BEAM (B) WIDTH	BRACKET	FIXING
63	JHH65	20-No12x35 TYPE 17 HEX HEAD SCREWS TO BEAM (A) 16-No12x35 TYPE 17 HEX HEAD SCREWS TO BEAM (B)
70	JHH75	20-No12x35 TYPE 17 HEX HEAD SCREWS TO BEAM (A) 16-No12x35 TYPE 17 HEX HEAD SCREWS TO BEAM (B)
90	JHH100	24-No12x35 TYPE 12 HEX HEAD SCREWS TO BEAM (A) 18-No12x35 TYPE 12 HEX HEAD SCREWS TO BEAM (B)

ALTERNATIVE TIMBER BEAM TO TIMBER BEAM CONNECTIONS
 (FOR PORCH AND/OR ALFRESCO AREAS ONLY)
 SCALE = 1:10



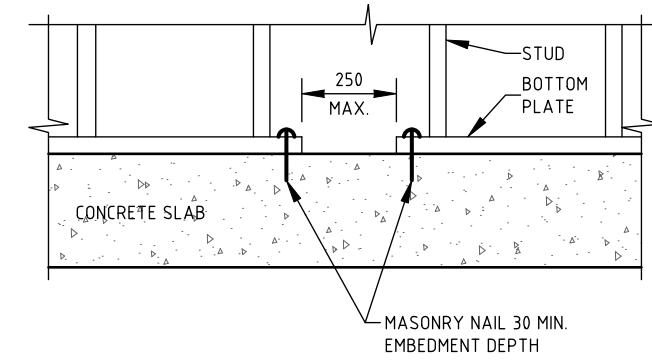
ALL STUDS SHALL BE NAIL LAMINATED IN ACCORDANCE WITH AS1684.2		DS1	DS2	DS3	DS4	TS1	TS2	TS3	QS1	QS2	FS1	FS2
		90x45	90x45	70x45	120x45	90x45	90x45	70x45	90x45	90x45	90x45	90x45
		MGP10	F17 KDHW	F17 KDHW	MGP10	MGP10	F17 KDHW	F17 KDHW	MGP10	F17 KDHW	MGP10	F17 KDHW
LINTEL	NO. OF BEARING STUD	1	1	1	1	1	1	1	2	2	2	2
	NO. OF JAMB STUD	1	1	1	1	2	2	2	2	2	3	3
BEAM	NO. OF BEARING STUD	2	2	2	2	3	3	3	4	4	5	5



TIMBER STUDS SCHEDULE



NOTES:
 WHERE BOTTOM PLATE IS DISCONTINUED VIA NOTCH OR PENETRATION UP TO 250mm:
 • WHERE BOTTOM PLATE IS SUPPORTED BY SLAB;
 o FIX EACH SIDE OF NOTCH/HOLE VIA MASONRY NAILS WITH 30mm MIN. EMBEDMENT DEPTH
 FOR DISCONTINUED BOTTOM PLATE FIXING REQUIREMENTS UNDER OPENINGS, REFER TO AS1684.2



DISCONTINUED BOTTOM PLATE
 - SLAB SUPPORTED
 N.T.S.

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PROJECT
PROPOSED RESIDENCE
 LOT 545 NO.16 NICASTRO AVENUE
 WOLLERT

CLIENT
ORBIT HOMES AUSTRALIA PTY LTD

CONSTRUCTION ISSUE

DRAWING
FRAMING DETAILS - SHEET 1

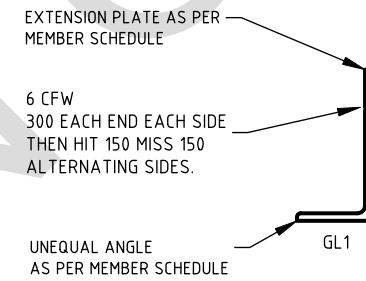
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ENGINEER: P.H	DRAWN: Y.S.	REV
SHEET NO. S12	NO. OF SHEETS 20	01

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ANGLE LINTEL SCHEDULE (L)		
BRICK LINTEL SPAN (mm)	BRICK HEIGHT	
	600mm MAX.	3400mm MAX.
0 - 900	100 x 100 x 6 EA *	100 x 100 x 6 EA
901 - 1600	100 x 100 x 6 EA *	100 x 100 x 8 EA
1601 - 2100	100 x 100 x 6 EA	150 x 100 x 10 UA
2101 - 2600	100 x 100 x 6 EA	150 x 100 x 10 UA + 50x10 PL
2601 - 3100	150 x 100 x 6 UA	150 x 100 x 10 UA + 75x10 PL
3101 - 3600	150 x 100 x 6 UA	N/A
3601 - 4100	150 x 100 x 8 UA	N/A

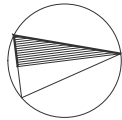
NOTES:
 1. SET ANGLES WITH LONG LEG VERTICAL TYPICAL U.N.O.
 2. HOT DIP GALVANISED TO ALL EXPOSED ANGLE LINTELS TYPICAL U.N.O.
 3. ALL STEEL ANGLE LINTELS TO BE GRADE 300 PLUS TYPICAL U.N.O.
 * WHEN THIS SIZED LINTEL IS PLACED ABOVE THE ENTRY DOOR MIN 110mm END BEARING IS SUFFICIENT U.N.O.



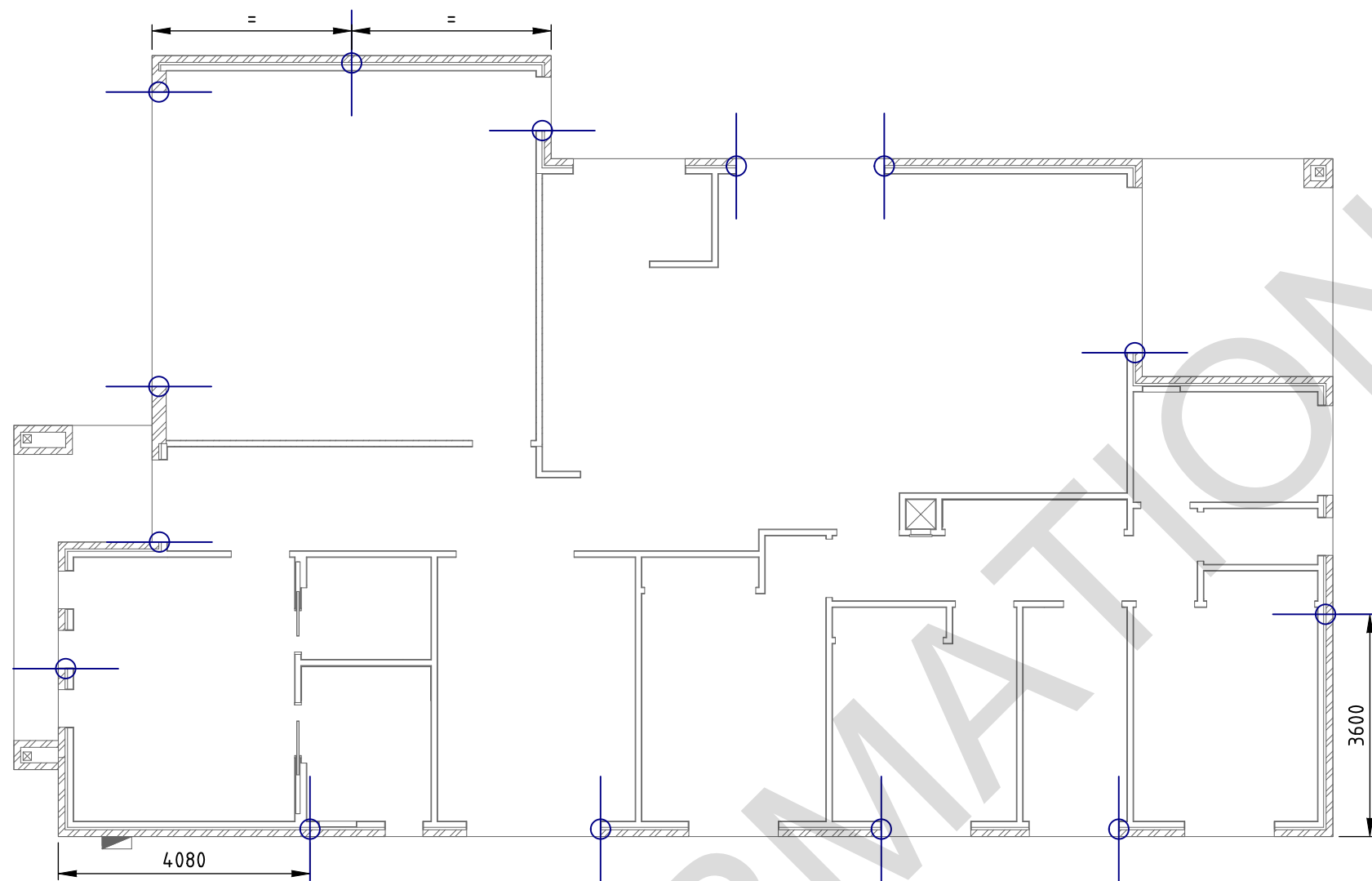
ANGLE & EXT. PL DETAILS
 SCALE = 1:10



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			CLIENT ORBIT HOMES AUSTRALIA PTY LTD	DRAWING FRAMING DETAILS - SHEET 2			
01	CONSTRUCTION ISSUE	20.11.23		213113	ENGINEER: P.H. SHEET NO. S13	DRAWN: Y.S. NO. OF SHEETS 20	REV 01
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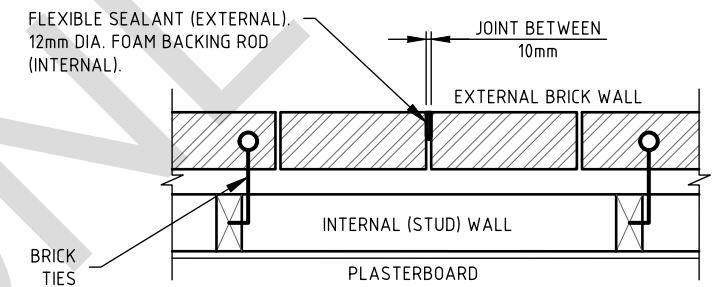
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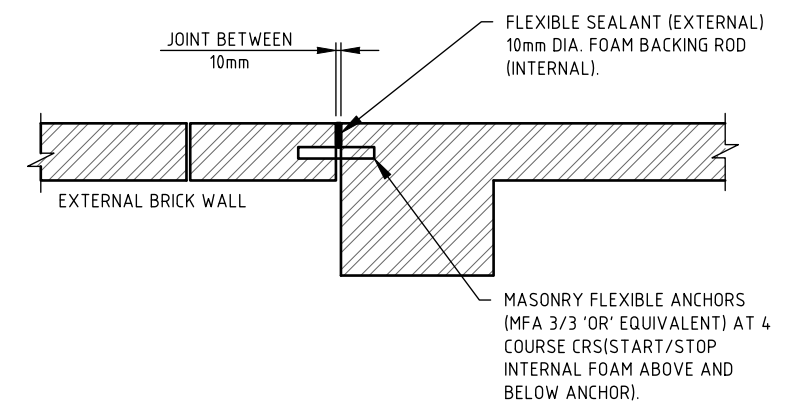
ARTICULATION JOINT PLAN
 SCALE= 1:100

NOTE:
 ARTICULATION JOINT ON BOUNDARY WALL TO
 BE FIRE RATED AS PER BCA REQUIREMENTS.

LEGEND



BRICK VENEER WALL
ARTICULATION JOINT DETAILS
 N.T.S.



ENGAGED BRICK PIER
ARTICULATION JOINT DETAILS
 N.T.S.



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CONSTRUCTION ISSUE			
DRAWING			
ARTICULATION JOINT PLAN			
213113	ENGINEER: P.H	DRAWN: Y.S.	REV 01
	SHEET NO. S14	NO. OF SHEETS 20	

GENERAL DRAINAGE NOTES

1. THE CONTRACTOR SHALL ADEQUATELY DRAIN THE SITE DURING ALL STAGES OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL LEVELS DIMENSIONS AND SERVICES PRIOR TO COMMENCEMENT OF WORK.
3. ALL APPROPRIATE PERMITS SHALL BE OBTAINED AND FEES PAID FOR BY THE CONTRACTOR.
4. ANY PAVEMENT OR FEATURES DAMAGED DURING THE COURSE OF THIS CONTRACT SHALL BE REINSTATED TO THEIR FORMER CONDITION.
5. THE CONTRACTOR SHALL ARRANGE A SITE INSPECTION WITH THE CIVIL ENGINEERING SUPERVISING OFFICER PRIOR TO THE COMMENCEMENT OF WORK TO RECORD ANY DAMAGE TO EXISTING FEATURES.
6. ALL EXISTING PIT COVERS, DOWNPIPE CONNECTIONS AND SIMILAR FEATURES IN CONSTRUCTION AREAS ARE TO BE ADJUSTED TO SUIT AS PART OF THIS CONTRACT.
7. ALL CONCRETE PAVEMENT SHALL BE FINISHED WITH A NON SKID FLOAT, (NO BROOMED FINISH).
8. BEFORE COMMENCEMENT OF WORK A TEMPORARY BENCH MARK IS TO BE ESTABLISHED BY THE CONTRACTOR IN A POSITION ON SITE SAFE FROM DISTURBANCE.
9. ALL FILLING SHALL BE UNIFORMITY PLACED IN LAYERS NOT EXCEEDING 200mm LOOSE MEASUREMENT. EACH LAYER SHALL BE WITHIN 85% TO 115% OF OPTIMUM MOISTURE CONTENT AND BE PROPERLY COMPACTED, AS SPECIFIED, BASED ON THE STANDARD COMPACTION TEST AS OUTLINED IN AS 1289-1977.
10. CRUSHED ROCK PAVEMENT COMPACTIONS SHALL BE TO 100% STANDARD MAXIMUM DRY DENSITY FOR BASE COARSE, AND 98% FOR SUB BASE COARSE.
11. ANY SHORTFALL IN INDIGENOUS TOPSOIL REQUIRED TO BRING THE GARDEN AND GRASSED AREAS TO THE DESIGN LEVELS SHALL BE MADE UP WITH APPROVED IMPORTED TOPSOIL. NO ADDITIONAL PAYMENT WILL BE MADE FOR IMPORTED TOPSOIL.
12. EXCAVATED MATERIAL SHALL BE STOCKPILED ON SITE AS DIRECTED BY THE SUPERINTENDENT. EXCESS TO BE REMOVED FROM SITE AT CONTRACTORS EXPENSE.
13. TOPSOIL TO BE STRIPPED TO A DEPTH OF 150mm UNDER FILL AREAS AND ALL OTHER AREAS. THIS TOPSOIL SHALL BE STOCKPILED ON SITE AS DIRECTED BY SUPERINTENDENT. EXCESS SOIL TO BE STOCKPILED ON SITE AS DIRECTED BY THE SUPERINTENDENT, OR REMOVED FROM THE SITE AT THE CONTRACTORS EXPENSE, IF SO DIRECTED.
14. ALL STORMWATER DRAINS SHALL BE BEDDED ON A MINIMUM OF 80mm COMPACTED THICKNESS 20 N.S. CLASS 3 FINE CRUSHED ROCK, IN SOIL BASED TRENCHES. INCREASE TO 200mm THICKNESS IN ROCK BASED TRENCHES.
15. 100mm DIAMETER STORMWATER DRAINS SHALL BE LAID AT A MINIMUM GRADE OF 1:100, UNLESS OTHERWISE SHOWN.
16. 150mm DIAMETER STORMWATER DRAINS SHALL BE LAID AT A MINIMUM GRADE OF 1:100, UNLESS OTHERWISE SHOWN.
17. TRENCH EXCAVATIONS; WHERE ONE OR BOTH SIDES OF ANY TRENCH EXCEED 1.5 M IN DEPTH, THE CONTRACTOR SHALL ENSURE THAT THE PROVISIONS OF MINES ACT 1958 AND THE MINES (TRENCHES) REGULATIONS 1979 ARE COMPLIED WITH.
18. TRENCHES TRAVERSING EXISTING OR PROPOSED PAVEMENTS INCLUDING ASPHALT AND CONCRETE SHALL BE BACKFILLED WITH "FIRST CLASS MATERIAL" AND COMPACTED, PAVEMENT SHALL BE REINSTATED TO THE SATISFACTION OF THE SUPERINTENDENT.
19. ALL SURPLUS EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE.
20. FOOTPATHS, DRIVEWAYS, ROADWAYS, KERBS, R.O.W.'S OR EXISTING FEATURES DISTURBED, BROKEN OR AFFECTED BY THE WORKS ARE TO BE REINSTATED TO THE COMPLETE SATISFACTION OF THE CITY ENGINEER OR HIS REPRESENTATIVE.
21. ALL CONCRETE TO BE SAW CUT AND BROKEN OUT TO THE NEAREST JOINT.
22. ALL NATURE STRIPS AND LAWN AREAS OUTSIDE PRIVATE PROPERTY TO BE REINSTATED WITH TOP SOIL AND SEED.
23. CONTRACTOR TO CONTACT LOCAL COUNCIL ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF OUTFALL DRAINAGE TO ARRANGE FOR COUNCIL SUPERVISION AND INSPECTION IF REQUIRED BY COUNCIL.
24. THE CONTRACTOR IS TO VERIFY ALL LOCATIONS AND DEPTH OF SERVICES WITH THE RELEVANT AUTHORITIES FOR THE CONSTRUCTION OF DRAINS AND SERVICES OUTSIDE THE PROPERTY BOUNDARY PRIOR TO THE COMMENCEMENT OF WORK, AND SHALL BE FULLY RESPONSIBLE FOR RECTIFICATION OF ANY DAMAGED SERVICE.
25. ALL EXCESS TOPSOIL SHALL BE REMOVED OFF SITE AT THE CONTRACTOR'S EXPENSE.
26. ALL ADDITIONAL FILL MATERIAL REQUIRED DUE TO OVER EXCAVATION OR A SHORTFALL OF SUITABLE EXCAVATED MATERIAL SHALL BE IMPORTED AT THE CONTRACTORS EXPENSE.
27. AT THE TIME OF THE PREPARATION OF THE DRAINAGE DESIGN, IF THE LANDSCAPING DESIGN WAS NOT SUPPLIED TO THIS OFFICE, THEN THE DRAINAGE SYSTEM MAY BE SUBJECT TO CHANGE. THIS OFFICE OR A QUALIFIED PRACTITIONER SHALL REVIEW THE DRAINAGE DESIGN WHEN LANDSCAPING DESIGN IS FINALISED.

DRAINAGE NOTES:

1. ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH CLAUSE 5.6.3 DRAINAGE REQUIREMENTS OF AS 2870-2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:
 - SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION.
 - THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING.
 - WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER.
2. FOR BUILDINGS ON HIGHLY AND REACTIVE SITES, DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING DRAINS AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4 PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE BUILDING AND COMMENCING WITHIN 1m OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASE ON THE SOIL CLASSIFICATION, REFER TABLE 'MIN. REQUIREMENTS FOR EXPANSION AND ALLOWABLE IN FITTINGS.
3. SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING.
4. SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOF MEMBRANE IN ACCORDANCE WITH 5.3.3 SHALL BE INSTALLED FOR GROUNDWATER OR AGGRESSIVE SOILS.
5. DRAINAGE DESIGN IS IN ACCORDANCE WITH AS3500.

MATERIALS

1. PROPOSED 100φ & 150φ STORMWATER DRAINS SHALL BE FORMED OF UNPLASTICISED POLYVINYL CHLORIDE PIPES AND FITTINGS CLASS SH (SEWER CLASS) MANUFACTURED TO CONFORM TO AS.1260.
2. PROPOSED 225 DIAMETER AND LARGER STORMWATER DRAINS SHALL BE FORMED OF FIBRE REINFORCED CONCRETE CLASS 2, RUBBER RING JOINTED PIPE MANUFACTURED TO CONFORM TO AS 4058. (CLASS 3 WHERE INDICATED). USE UPVC TO AS1260. (CLASS SH) WHERE SHOWN ON THE DRAWINGS.

SERVICE

1. PRIOR TO THE COMMENCEMENT OF WORK THE CONTRACTOR SHALL LOCATE EXISTING SERVICES TO BE RETAINED WHERE PROPOSED SERVICES CROSS THEM, AND ASCERTAIN FOR HIMSELF THAT NO CLASHES OF SERVICES WILL OCCUR.
2. WHERE PROPOSED SERVICES TRAVERSE EXISTING ASPHALT AND CONCRETE PAVEMENTS THE PAVEMENT IS TO BE SAW CUT TO FULL DEPTH OF PAVEMENT PRIOR TO EXCAVATION.
3. TRENCHES TRAVERSING EXISTING OR PROPOSED PAVEMENTS INCLUDING ASPHALT AND CONCRETE SHALL BE BACKFILLED WITH CLASS 2 FINE CRUSHED ROCK AND COMPACTED ALL TO THE SATISFACTION OF THE SUPERINTENDENT.
4. THE CONTRACTOR SHALL CO-ORDINATE THE LAYING OF ALL SERVICES TO AVOID CLASHES.
5. LAY ALL SERVICES TO NOMINATED LEVELS WHERE GIVEN, OTHER SERVICES SHALL BE LAID TO COMPLY WITH MINIMUM COVER REQUIREMENTS.
6. DIFFERENT PARALLEL SERVICES THAT ARE IN CLOSE PROXIMITY TO EACH OTHER MAY BE LAID IN A COMMON TRENCH, SUBJECT TO THE APPROVAL OF THE RELEVANT AUTHORITY AND THE SUPERINTENDENT.

SITE DRAINAGE REQUIREMENTS - CONSTRUCTION STAGE:

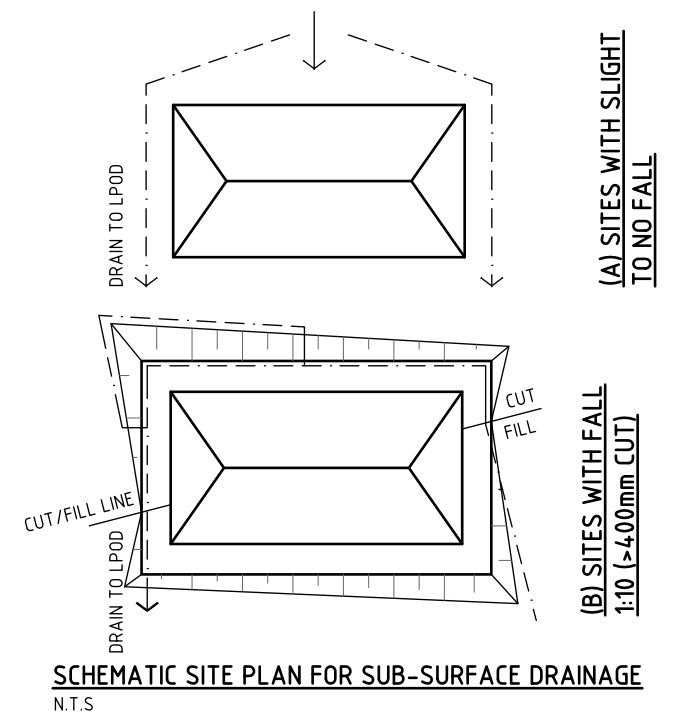
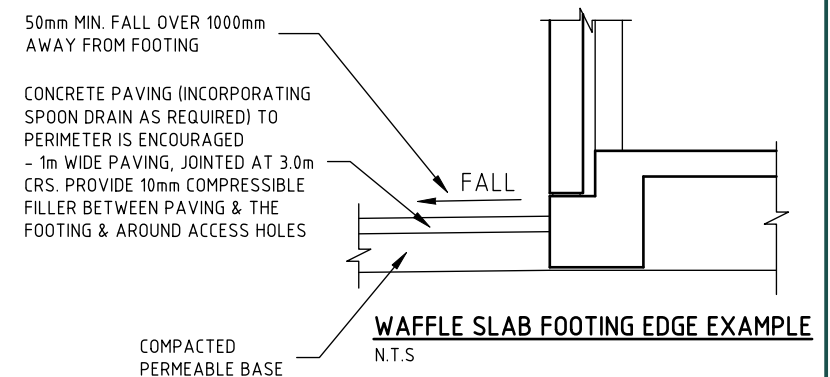
THE GEOTECHNICAL REPORT HAS RECOMMENDED THE USE OF A CERTAIN FOOTING THAT IS APPROPRIATE FOR THIS SITE. WHILE MAKING THIS RECOMMENDATION IT HAS BEEN ASSUMED THAT CERTAIN SITE DRAINAGE REQUIREMENTS AS PER AS2870-2011 & BCA HAS BEEN MET. DURING THE CONSTRUCTION OF THE FOOTING THE FOLLOWING SITE DRAINAGE REQUIREMENTS ARE LISTED AS BEING PART OF THE FINAL FOOTING DESIGN BY INTRAX CONSULTING ENGINEERS.

1. MUST PREVENT WATER PONDING AGAINST OR NEAR THE FOOTING
2. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING SHALL BE GRADED TO A FALL OF 50mm MIN. AWAY FROM THE FOOTING OVER A DISTANCE OF 1000mm (1:20) AND SHAPED TO PREVENT PONDING OF WATER (THIS INCLUDES THE GROUND UPHILL FROM THE FOOTING ON A CUT/FILL SITE) - WHERE FILLING IS PLACED ADJACENT TO THE BUILDING, THE FILLING SHALL BE COMPACTED AND GRADED TO ENSURE DRAINAGE OR WATER AWAY FROM THE BUILDING

3. ALL COLLECTED STORMWATER MUST BE DISCHARGED TO A LPOD
4. SURFACE DRAINAGE OF THE SITE SHALL BE CONTROLLED FROM THE START OF THE SITE PREPARATION AND CONSTRUCTION, SURFACE DRAINAGE INCLUDES SURFACE WATER RUN-OFF AND BUILDING WATER (ROOF/FLOOR/CONCRETE) RUN-OFF:
 - ALL WATER RUN-OFF SHALL BE CONTROLLED AT ALL TIMES
 - USE TEMPORARY DOWNPIPES TO COLLECT WATER FROM THE ROOFED BUILDING FRAME;
 - WHEN SILT PITS ARE USED TO GATHER SURFACE WATER FROM AREAS ADJACENT TO THE FOOTINGS, THESE SILT PITS ARE TO BE AT LEAST 1000mm AWAY FROM THE FOOTING AND CONNECTED TO THE STORMWATER SYSTEM WITH SOLID PIPE;
 - STORMWATER DRAINS SHALL BE AT LEAST 90mm AND HAVE A MINIMUM FALL OF 1:100 AND 100mm COVER UNDER THE SOIL AND/OR PAVED AREAS;
 - INSPECTION OPENINGS SHOULD BE PROVIDED AT EACH PIPE CONNECTION POINT AND AT A NOMINAL SPACING OF 25m
 - AVOID UNDERMINING THE FOOTING WITH ANY TRENCHES OR PIPE OR PITS UNLESS THE FOOTING HAS BEEN DESIGNED TO ALLOW FOR SUCH SITUATION.
5. SUB-SURFACE DRAINAGE IS REQUIRED TO REMOVE ANY UNWANTED GROUND WATER BY MEANS 90mm SLOTTED PIPE IN A 300mm WIDE TRENCH (MIN. FALL OF 1:100), BASE OF THE TRENCH IS FILLED WITH 10mm CRUSHED ROCK OR SIMILAR COVERING THE SLOTTED PIPE.
 - AG DRAINS MUST BE INSTALLED AT THE BASE OF ALL SITE CUTS THAT EXCEED 400mm IN HEIGHT, ALONG THE HIGH SIDE OF A SLOPING SITE AND POSSIBLY ALONG THE LOW SIDE OF A SLOPING SITE ALONG THE BOUNDARY. TO BE CONNECTED TO STORMWATER SYSTEM VIA A SILT PIT.
 - AG DRAINS TO BE LAID APPROX. 200mm INTO UNDISTURBED CLAY OR COMPACTED CLAY.
6. AC CONDENSERS, HW OVERFLOW, WATER TANKS AND ADJOINING PROPERTIES ARE ALL POTENTIAL SOURCES OF UNWANTED WATER. THIS WATER MUST BE CONTROLLED AND DIRECTED TO THE LPOD. POSSIBLE WATER IMPACTING THE SITE FROM AN ADJOINING PROPERTY, ESPECIALLY IF THERE IS A FOOTING ON OR NEAR A BOUNDARY MUST BE ADDRESSED. LOCALISED FOOTING STRENGTHENING IS TO BE CONSIDERED DURING CONSTRUCTION ILO DRAINAGE THAT MAY JEOPARDISE THE FOOTINGS.
7. GRATED DRAINS MAY BE UTILISED IN A PAVED AREA (E.G. DRIVERWAY/GARAGE INTERFACE) WHERE THE PAVING NECESSARILY SLOPES TOWARDS THE HOUSE OR GARAGE. SPOON DRAINS MAY ALSO BE USED IN CONJUNCTION WITH A PAVED SURFACE.
8. THE GROUND BENEATH A TIMBER DECK MUST BE GRADED SO THAT THE AREA BENEATH THE DECK IS ABOVE THE ADJACENT FINISHED GROUND LEVEL TO PREVENT PONDING.
9. ALL TRENCHES MUST BE DUG AT A SIMILAR GRADE AS THE PIPES THE TRENCHES HOUSE.
 - ALL TRENCHES MUST GENERALLY SLOPE AWAY FROM THE FOOTINGS
 - TRENCHES MUST BE 'CLAY PLUGGED' OR CONCRETED WHEN PASSING PERPENDICULARLY UNDER ANY PART OF THE FOOTING AND ON ANY SLOTTED PIPE SIDE OF A CONNECTION PIT
 - ALL TRENCHES WITHIN 1500mm OF ANY FOOTING MUST BE EFFECTIVELY SEALED FROM SURFACE WATER, WITH AT LEAST THE TOP 300mm OF THE TRENCH FILLED WITH LOCAL CLAY COMPACTED TO AN IMPERMEABLE TOP LAYER. APPROVED MOISTURE BARRIER USE WITH TRENCHES IS AN OPTION.
 - CONCRETE PAVING IS ADVISED OVER ANY TRENCHES WITHIN 1000mm OF ANY FOOTING.
10. FLEXIBLE PLUMBING JOINTS ARE REQUIRED FOR H1/H2/E/P SITES TO ALLOW FOR EXPECTED VERTICAL GROUND MOVEMENTS (REFER GEOTECHNICAL REPORT). THE JOINTS MUST BE SET AT THE MIDWAY POINT WHEN INSTALLED & MUST ALSO INCORPORATE SWIVEL JOINTS IN THE SYSTEM
 - DRAINS EMERGING FROM UNDER THE FOOTING REQUIRE THE FLEXIBLE JOINT TO BE WITHIN 1000mm OF THE OUTSIDE OF THE PERIMETER FOOTING
 - INSTALLATION, LOCATION AND NUMBER OF JOINTS TO COMPLY WITH MANUFACTURER'S SPECS
11. PLUMBING PENETRATING THE FOOTING MUST BE AVOIDED WHERE PRACTICABLE. IF UNAVOIDABLE THEN THE PIPE MUST PASS THROUGH THE MIDDLE THIRD OF THE FOOTING DEPTH AND LAGGING TO THE PIPE PROVIDED

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MAINTENANCE:
APPROVED DOCUMENT
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1. THE MAINTENANCE OF THE SITE AROUND A NEW HOME IS AN IMPORTANT FACTOR IN THE LONG TERM PERFORMANCE OF THE FOOTING SYSTEM
2. THE PRIMARY OBJECTIVE OF THIS MAINTENANCE IS TO MINIMIZE THE VARIATION IN SOIL MOISTURE LEVELS AROUND THE FOOTING THAT COULD LEAD THE EXCESSIVE SOIL MOVEMENT AND POSSIBLE DISTRESS OF THE SUPERSTRUCTURE AND/OR FOOTING. WHEN THE SLAB FORMS PART OF THE TERMITE BARRIER SYSTEM FOR THE HOUSE, THEN IT IS ALSO NECESSARY TO MAINTAIN THE EFFECTIVENESS OF THAT BARRIER WITH APPROPRIATE MAINTENANCE ACTIVITIES.
3. WHEN A CONCRETE SLAB-ON-GROUND IS USED AS PART OF THE TERMITE BARRIER SYSTEM AS OUTLINES IN AS3660.0, THEN IT CANNOT BE TOO HIGHLY STRESSED THAT REGULAR INSPECTION AND MAINTENANCE OF THE SLAB SURROUNDING BY A COMPETENT PROFESSIONAL IS REQUIRED TO ENSURE THAT ANY TERMITE INFESTATION IS DETECTED AND TREATED PROMPTLY.
4. ONGOING MAINTENANCE AND INSPECTION ON A REGULAR BASIS IS A REQUIREMENT OF AS3660.1 AND OWNER SHOULD BE CLEARLY ADVISED IF THEIR RESPONSIBILITIES TO ENSURE THAT THEIR INVESTMENT IS PROPERLY PROTECTED.
5. LEAKING TAPS, DOWNPIPES, SEWERS, GUTTERS AND DRAINAGE CAN ALSO AFFECT THE MOISTURE CONTENT OF THE SOIL AND THESE MUST BE INSPECTED REGULARLY TO ENSURE AGAINST DAMAGE TO THE FOOTINGS. SIMILARLY, GUTTERS, DOWNPIPE AND COLLECTION POINTS CAN GET BLOCKED WITH LEAVES AND OTHER DEBRIS, PREVENTING THE EFFECTIVE DRAINAGE OF STORMWATER AWAY FROM THE HOUSE. AGAIN, REGULAR INSPECTIONS AND MAINTENANCE SHOULD BE CARRIED OUT TO PREVENT BLOCKAGES.
6. IT IS THE BUILDERS RESPONSIBILITY TO INFORM THE HOMEOWNER OF MAINTENANCE REQUIREMENTS TO ENSURE THE LONG TERM PERFORMANCE OF THE FOUNDATIONS AS PER CSIRO PAMPHLET BTf-18 'FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE' OR EQUIVALENT.



01	CONSTRUCTION ISSUE	20.11.23	
REV.	REMARK/COMMENT	DATE:	APPR.

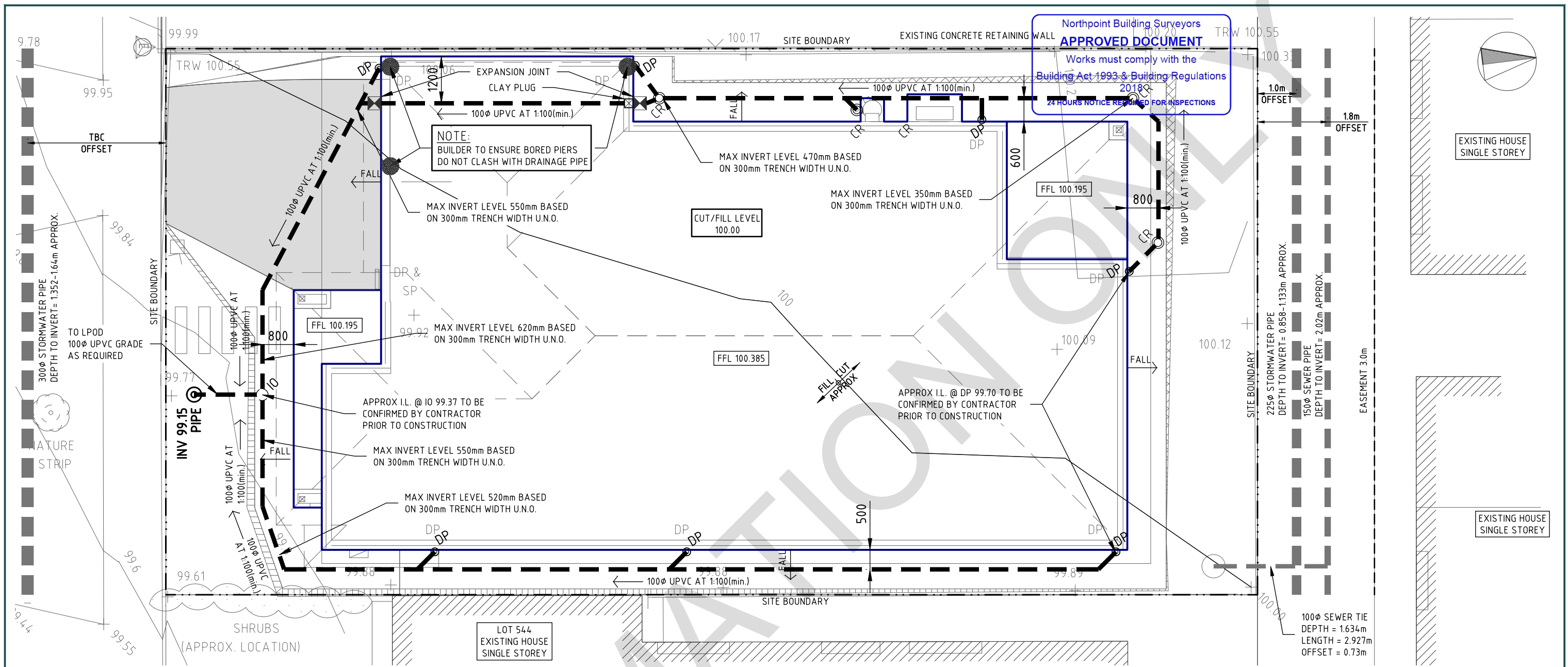
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PROJECT	PROPOSED RESIDENCE LOT 545 NO.16 NICASTRO AVENUE WOLLERT
CLIENT	ORBIT HOMES AUSTRALIA PTY LTD

CONSTRUCTION ISSUE			
DRAWING DRAINAGE NOTES			
213113	ENGINEER: P.H	DRAWN: Y.S.	REV
	SHEET NO. S15	NO. OF SHEETS 20	01



DRAINAGE LAYOUT PLAN
SCALE = 1:100

NOTES:

- STORM WATER TO BE CONNECTED TO EXISTING LEGAL POINT OF DISCHARGE (L.P.O.D) BY CONTRACTOR AND TO MEET COUNCIL'S REQUIREMENT;
- CONTRACTOR TO CONFIRM LOCATION AND DEPTH OF L.P.O.D. PRIOR TO CONSTRUCTION TO ENSURE DESIGN INTENT IS ACHIEVABLE

DOWNPIPE ADAPTER NOTES:

- DOWNPIPE ADAPTERS SHOULD INCLUDE INSPECTION OUTLETS TO ALLOW FOR INSPECTION AND MAINTENANCE;
- THIS OFFICE RECOMMENDS THE USE OF CASTEC DOWNPIPE ADAPTER WITH I.O. OR EQUIVALENT

NOTE:

IT IS THE BUILDERS RESPONSIBILITY TO INFORM THE HOMEOWNER OF MAINTENANCE REQUIREMENTS TO ENSURE THE LONG TERM PERFORMANCE OF THE FOUNDATIONS AS PER CSIRO PAMPHLET BTF-18 'FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE' OR EQUIVALENT.

NOTE:

THE DRAINAGE DESIGN ASSUMES THAT THE INVERT LEVEL OF THE L.P.O.D PROVIDED ON THE SITE PLAN (99.15) IS CORRECT. INTRAX NEEDS TO BE CONTACTED FOR FURTHER ADVICE IF THE INVERT LEVEL OF THE L.P.O.D PROVIDED IS FOUND TO BE INCORRECT.

NOTE:

THE OFFICE MUST BE NOTIFIED IF ANY PROPOSED LANDSCAPING DESIGN HAS BEEN REVISED/CHANGED

NOTE:

MINIMUM FALL OF GROUND SURFACE AWAY FROM THE SLAB TO BE 1:20 (A MIN. DISTANCE 1000mm TYPICAL U.N.O.)

LEGEND

	EXISTING LEVEL		NATURAL SWALE DRAIN		INSPECTION SHAFT		DIRECTION OF SURFACE RUNOFF MINIMUM 1:20 FALL AWAY FROM THE BUILDING TYPICAL U.N.O.
	EXISTING SURFACE CONTOURS		EXISTING TREES		GRATED SILT PIT		
	FINISHED FLOOR LEVEL				CLAY PLUG		EXPANSION/FLEXI JOINT
	INVERT LEVEL				EXPANSION/FLEXI JOINT		100φ DOWNPIPES
	RETAINING WALL				100φ DOWNPIPES		DRAINAGE PIPE FLOW DIRECTION
	PROPERTY BOUNDARY				100φ DOWNPIPES		
	SITE BOUNDARY				100φ DOWNPIPES		

MINIMUM REQUIREMENT FOR EXPANSION/FLEXI JOINTS (IF REQUIRED)			
SITE CLASS	DESIGN Ys MOVEMENT (mm)	MIN. EXPANSION JOINT CAPACITY REQUIREMENT	ALLOWABLE ROTATION
E	Ys >75	150mm	15°

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CONSTRUCTION ISSUE

DRAWING
DRAINAGE LAYOUT PLAN

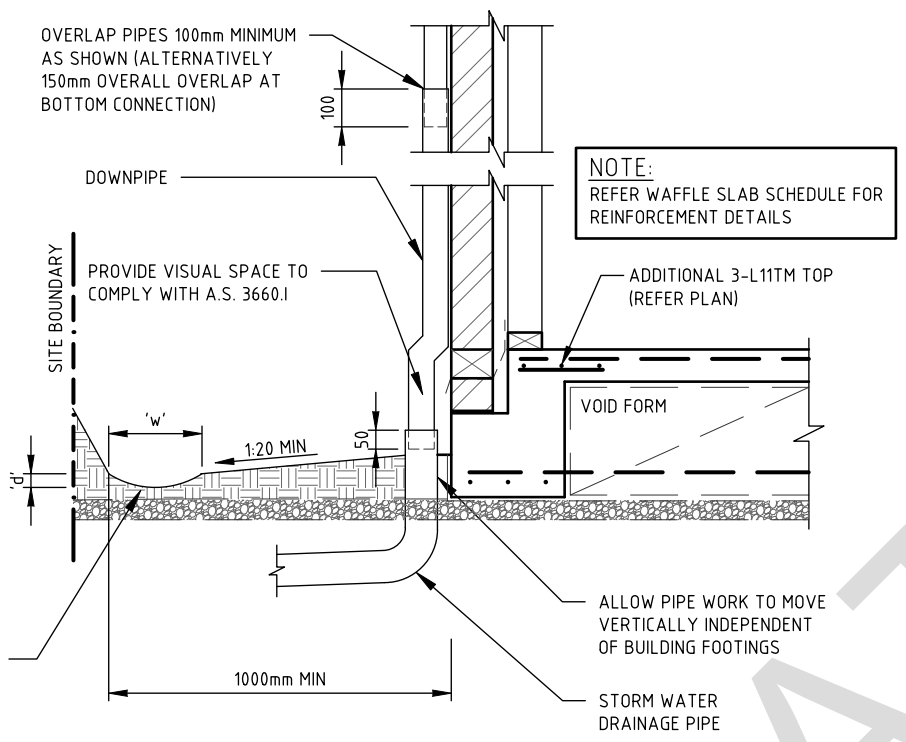
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ENGINEER: P.H	DRAWN: Y.S.	REV
SHEET NO. S16	NO. OF SHEETS 20	01

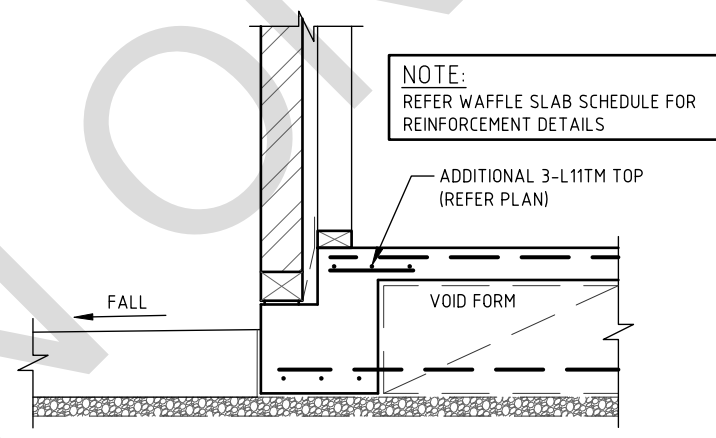
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NATURAL SWALE DRAIN GUIDELINE		
CUT DEPTH	SWALE DEPTH 'd'	SWALE WIDTH 'w'
< 400mm	100mm	300mm
400mm-800mm	150mm	400mm
> 800mm	200mm	400mm

NATURAL SWALE (SPOON) FORMED FOR SURFACE WATER RUN OFF AT 1:100 MIN. WITH COMPACTED CLAY OR SAND BASE (REFER TO TABLE FOR RECOMMENDED SWALE SIZE)



TYPICAL DOWNPIPE & SWALE DRAIN DETAIL (IF REQUIRED)
 N.T.S.



TYPICAL BENCHING DETAIL
 N.T.S.

1. PREVENT "OVERPOUR" OF CONCRETE BY LINING ANY COLLAPSED SIDES OF TRENCHES WITH FIBRE CEMENT SHEETING, FORMPLY, BOARDS OR COMPACTED SOIL BACKFILLING BEHIND VAPOUR BARRIER (OR DAMP-PROOF MEMBRANE) DURING POUR.
2. FALL "CUT" BENCHING AWAY FROM THE FOOTING.
3. TERMINATE VAPOUR BARRIER (OR DAMP-PROOF MEMBRANE) UNDER DPM OR "CUT" BENCHING.
4. PLACE DPM BETWEEN PAVING AND FOOTING.
5. MINIMUM EDGE EXPOSURE (E) OF 70mm MAY BE REQUIRED FOR TERMITE PROTECTION TO COMPLY WITH AS3660.1 AND IS REQUIRED ON "E" CLASS SITES TO COMPLY WITH THE SOUTH AUSTRALIA HOUSING CODE (THE GREATER THE EXPOSURE HOWEVER, THE GREATER THE OPPORTUNITY TO DRY OUT FROM THE OUTSIDE FACE).
6. THE DPM (VISCOUS DAMP PROOF MEMBRANE AS USED BY BRICKLAYERS) SHOULD SIT ON THE "CUT" BENCH LEVEL FOR A MINIMUM OF 75mm. IT SHOULD THEN EXTEND UP THE FACE OF THE FOOTING TO END AT THE TOP OF THE PAVEMENT.

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PROJECT
PROPOSED RESIDENCE
 LOT 545 NO.16 NICASTRO AVENUE
 WOLLERT

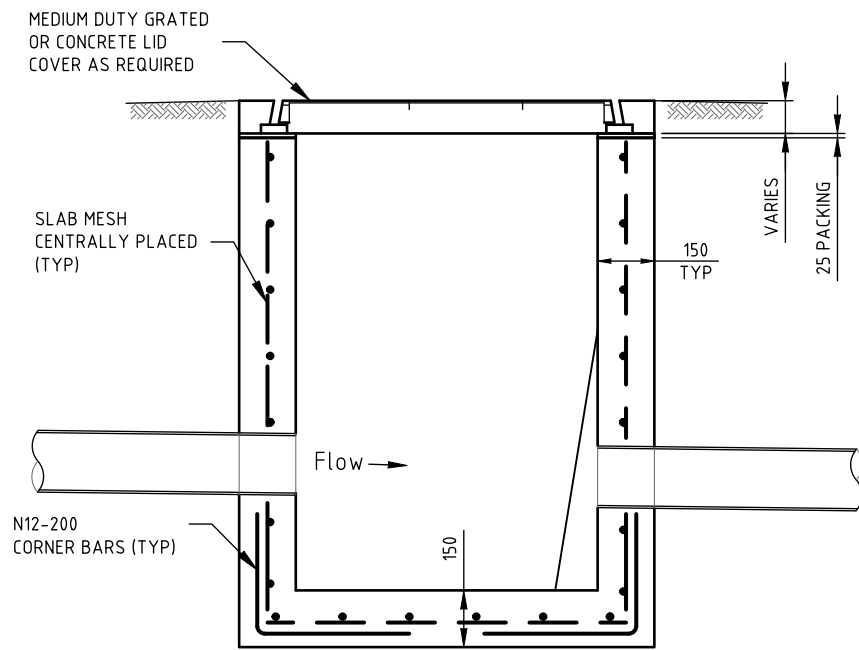
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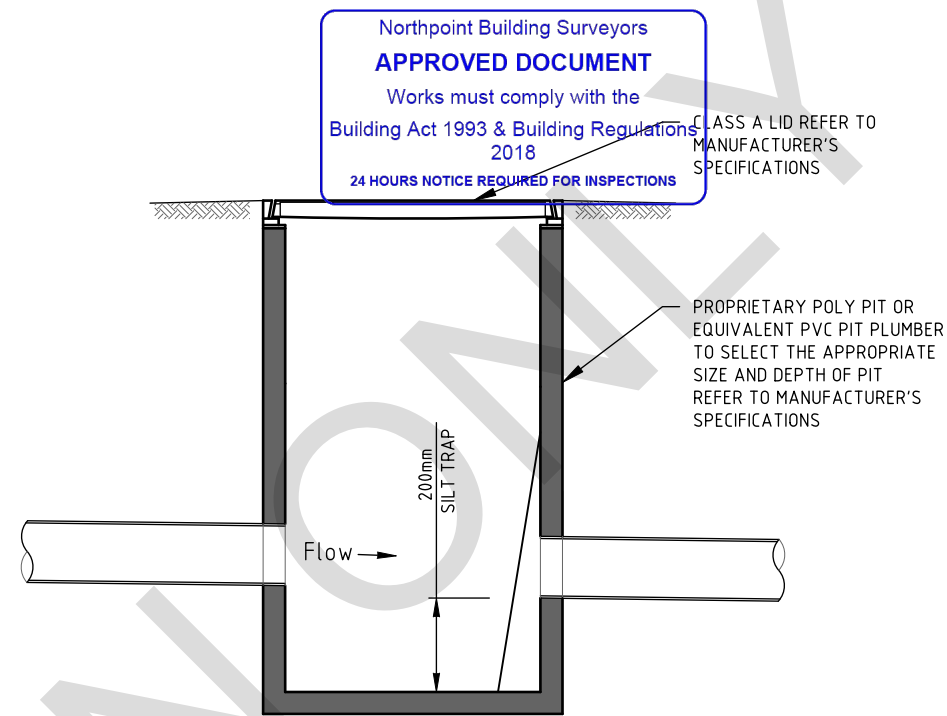
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DRAINAGE DETAILS - SHEET 1

213113

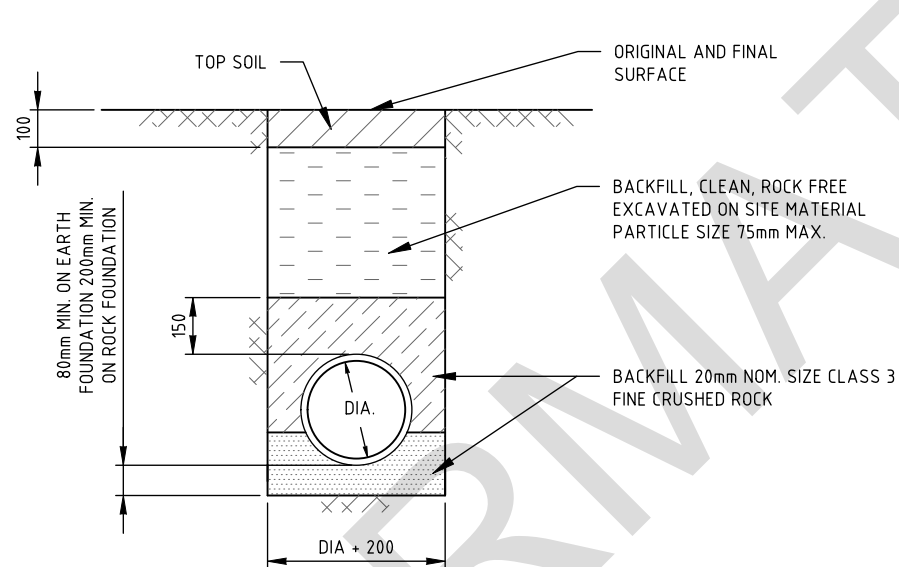
ENGINEER: P.H	DRAWN: Y.S.	REV
SHEET NO. S17	NO. OF SHEETS 20	01



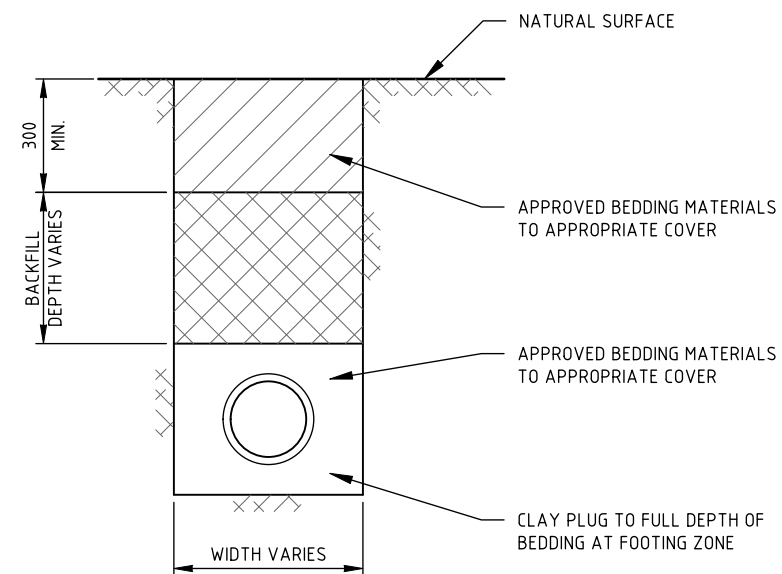
500
500
PIT WITH SILT TRAP DETAIL FOR TRAFFICABLE AREA (IF REQUIRED)
N.T.S.



PIT WITH SILT TRAP DETAIL FOR NON-TRAFFICABLE AREA (IF REQUIRED)
N.T.S.



TRENCH CONDITIONS FOR DRAINAGE PIPE INSTALLATION (NOT UNDER PAVEMENTS)
SCALE = 1:20



TYPICAL CLAY PLUG DETAIL
N.T.S.



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DRAINAGE DETAILS - SHEET 2

213113

ENGINEER: P.H
SHEET NO. S18

DRAWN: Y.S.
NO. OF SHEETS 20

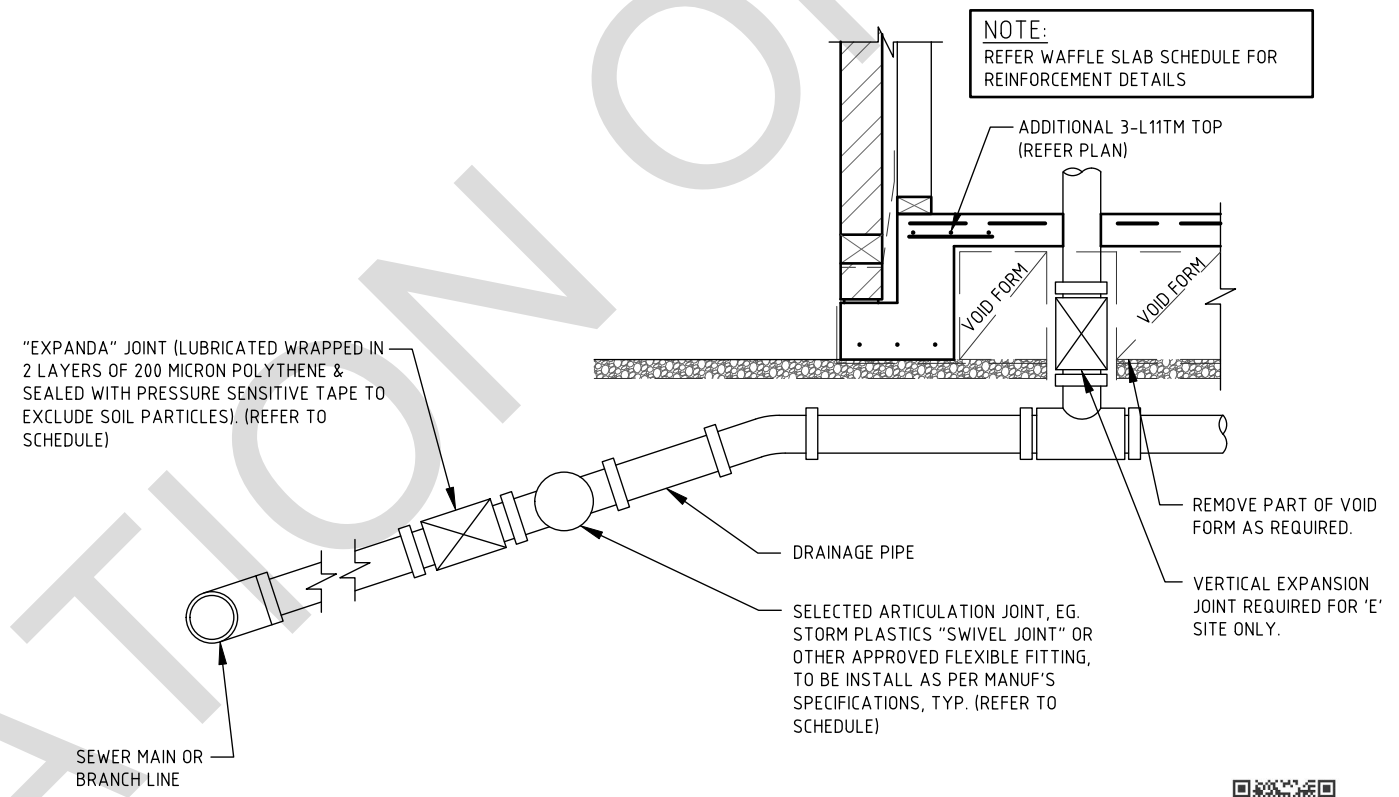
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MINIMUM REQUIREMENTS FOR SEWER ARTICULATION			
SITE CLASS	DESIGN Y _s MOVEMENT (mm)	SEWER EXIT POINTS & ORG	
		SWIVEL	EXPANDER
E	Y _s >75	2	1

NOTE:
 EXPANDER REQUIRED ON ALL RISERS FOR (CLASS E, Y_s >75mm OR EQUIVALENT SITES)

"EXPANDA" JOINT (LUBRICATED WRAPPED IN 2 LAYERS OF 200 MICRON POLYTHENE & SEALED WITH PRESSURE SENSITIVE TAPE TO EXCLUDE SOIL PARTICLES). (REFER TO SCHEDULE)



NOTE:
 REFER WAFFLE SLAB SCHEDULE FOR REINFORCEMENT DETAILS

TYPICAL UNDER WAFFLE SLAB PIPE DETAIL
 SCALE = 1:20



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	SHEET NO. S19	NO. OF SHEETS 20	



northpoint building surveyors P/L

ACN 119 709 116

SURVEYORS, CONSULTANTS & INSPECTORS

Application Number: 202315971

FORM 16

Regulation 192
Building Act 1993
Building Regulations 2018

OCCUPANCY PERMIT

Property Details

Number: 16	Street/Road: Nicastro Avenue	Suburb: Wollert	Postcode: 3750
Lot/s: 545	LP/PS: PS807895D	Volume: 12170	Folio: 793
Crown: allotment	Section: No	Parish:	County:
Municipal District: Whittlesea City Council			

Building permit details

Building permit number: **BS-U 20159/8242684327383**
Version of BCA applicable to building permit: **2022**

Building Details

Part of building to which permit applies:	Dwelling
Permitted use:	Residential
BCA Class of building:	1a(a)
Maximum permissible floor live load:	1.5
Maximum number of people to be accommodated:	N/A

Part of building to which permit applies:	Garage
Permitted use:	residential
BCA Class of building:	10a
Maximum permissible floor live load:	1.5KPa
Maximum number of people to be accommodated:	n/a

Storeys contained: **1**

Effective height:

Rise in storeys (for Class 2-9 buildings):

Type of construction:

Construction of a Detached Dwelling and Garage

Suitability for occupation

At the date this occupancy permit is issued, the to which this permit applies is suitable for occupation.

The building or part of a building to which this permit applies is suitable for occupation. This Occupancy Permit does not constitute a statement of compliance with the Building Act 1993 or the Building Regulations 2018.

Approved Inspections

- 1. BORED PIERS - 22/02/2024
- 2. PRE-SLAB - 06/03/2024
- 3. STEEL REINFORCEMENT - 06/03/2024
- 4. FRAMEWORK - 22/03/2024
- 5. FINAL INSPECTION - 17/09/2024

Relevant building surveyor

Name: **Vito Munafo**
Address: **Suite 1, 1-3 Albert Street, Blackburn, VIC, 3130**
Email: **Vito@northpointbs.com.au**
Building practitioner registration no.: **BS-U 20159**
Municipal district name: **Whittlesea City Council**
Occupancy Permit no. **BS-U 20159/8242684327383**
Date of issue: **18 September 2024**
Date of final inspection **17 September 2024**
Signature: 

INFORMATION ONLY

Your quarterly bill



Emailed to: kunwarsuman50@gmail.com
MR S KUNWAR & MRS N ADHIKARI
1 LYNDREN ST
WODONGA VIC 3690

Enquiries	1300 304 688
Faults (24/7)	13 27 62
Account number	88 0935 2248
Invoice number	8802 8852 17615
Issue date	17 Feb 2025
Property address	16 NICASTRO AVE WOLLERT
Property reference	5226146, PS 807895
Tax Invoice Yarra Valley Water ABN 93 066 902 501	

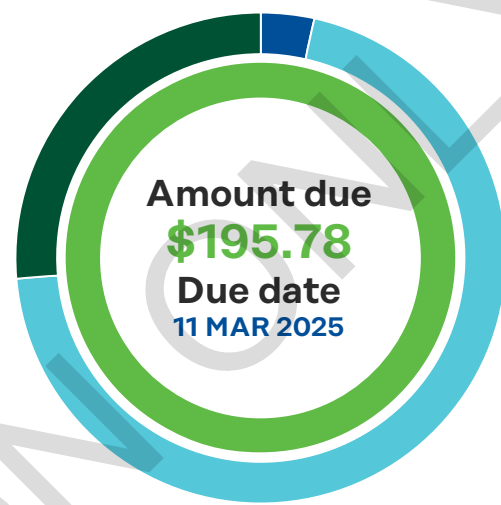
Summary

Previous bill	\$199.98
Payment received thank you	-\$199.98
Balance carried forward	\$0.00
This bill	
Usage charges	\$6.87
Service charges	
Water supply system	\$20.41
Sewerage system	\$116.90
Other authority charges	
Waterways and drainage	\$30.10
Parks	\$21.50
Total this bill (GST does not apply)	\$195.78
Total balance	\$195.78



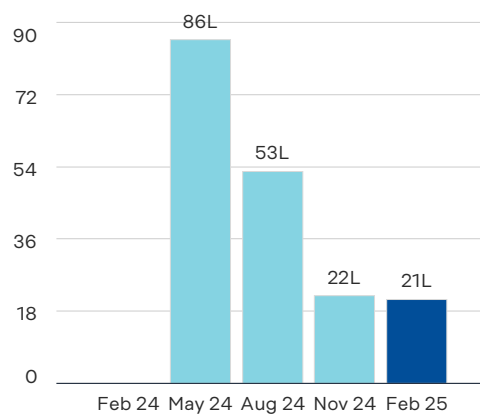
Recycled water is available.

It's not to be used for drinking, preparing food or bathing, but it's great for watering, washing clothes, gardens and flushing toilets.



Your household's daily water use

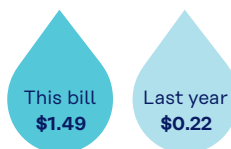
Target 150L of water use per person, per day.



Average use in litres per day

Your daily spend

This bill compared to the same time last year.
Excludes other authority charges.



How to pay



Direct debit

Sign up for Direct Debit at yvwm.com.au/directdebit or call **1300 304 688**.



EFT

Transfer direct from your bank account to ours by Electronic Funds Transfer (EFT).

Account name:
Yarra Valley Water
BSB: **033-885**
Account number: **880992824**



BPAY®

Bill code: **344366**
Ref: **880 9352 2480**



Centrepay

Use Centrepay to arrange regular deductions from your Centrelink payments.

Visit yvwm.com.au/paying
CRN reference: **555 054 118T**



Post Billpay®

Pay in person at any post office, by phone on **13 18 16** or at postbillpay.com.au

Bill code: **3042**
Ref: **8802 8852 17615**



Credit Card

Online: yvwm.com.au/paying
Phone: **1300 362 332**



*3042 880288521761 5

MR S KUNWAR & MRS N ADHIKARI

Account number	88 0935 2248
Invoice number	8802 8852 17615
Total due	\$195.78
Due date	11 Mar 2025
Amount paid	\$

Your usage detail

1kL = 1,000 litres

Meter number	Current reading	Previous reading	Usage
YRATD40624 (Recycled Water)	0kL -	0kL =	0kL
From 12 Nov 2024 - 17 Feb 2025			(97 days)
Total	0.000kL		\$0.00

Meter number	Current reading	Previous reading	Usage
YATD143638	16kL -	14kL =	2kL
From 12 Nov 2024 - 17 Feb 2025			(97 days)
Water and sewer usage charge	Usage	Price \$/kL	Amount
STEP 1 (0-440 litres per day)	2.000kL x	\$3.4342 =	\$6.87
Total	2.000kL		\$6.87
Total usage charges			\$6.87

Your charges explained

- **Water and sewer usage charge**
12 November 2024 - 17 February 2025
The cost for water used at your property. This includes capturing, treating and delivering water, and removing, treating and disposing of sewage from your property. The cost increases with the amount used (STEP tariffs).
- **Water supply system charge**
1 January 2025 - 31 March 2025
A fixed cost for maintaining and repairing pipes and other infrastructure that store, treat and deliver water to your property.
- **Sewerage system charge**
1 January 2025 - 31 March 2025
A fixed cost for running, maintaining, and repairing the sewerage system.
- **Other authority charges**
 - Waterways and drainage charge**
1 January 2025 - 31 March 2025
Collected on behalf of Melbourne Water each quarter and used to manage and improve waterways, drainage, and flood protection. For more information visit melbournewater.com.au/wwdc
 - Parks charge**
1 January 2025 - 31 March 2025
Collected on behalf of Parks Victoria each quarter, and used to maintain and enhance Victoria's parks, zoos, the Royal Botanic Gardens, the Shrine of Remembrance and other community facilities. For more information visit parks.vic.gov.au

Financial assistance

Are you facing financial difficulty? For more time to pay, payment plans and government assistance, we can find a solution that works for you. Please call us on **1800 994 789** or visit yvw.com.au/financialhelp.

Registering your concession can also reduce the amount you need to pay. Please call us on **1800 680 824** or visit yvw.com.au/concession.

Contact us

📞 Enquiries	1300 304 688	For language assistance
🚨 Faults and Emergencies	13 27 62 (24hr)	العربية 1300 914 361
✉️ enquiry@yvw.com.au		廣東話 1300 921 362
🌐 yvw.com.au		Ελληνικά 1300 931 364
🗣️ TTY Voice Calls	133 677	普通话 1300 927 363
🗣️ Speak and Listen	1300 555 727	For all other languages call our translation service on 03 9046 4173

Next meter reading:

Between 13-20 May 2025

Spotted a burst or leak?

- 📍 To report an issue visit yvw.com.au/reportfault
- 📱 Download and use the **Snap Send Solve** app
- 📞 Call our 24-7 emergency hotline on **13 27 62**
- 📍 View our live faults map at faults.yvw.com.au

Tap into naturally better hydration

Here in Australia we're lucky to have some of the best drinking water in the world – clean, safe and ready to drink.

Enjoy it – straight from your tap.

📍 yvw.com.au/ChooseTap





City of Whittlesea

Locked Bag 1,
Bundoora 3083
ABN 72 431 091 058

Valuation and rates notice

For the period 1 July 2024 to 30 June 2025



S Kunwar & N Adhikari
1 Lyndren Street
WODONGA VIC 3690



034
1073009
RD_537

Assessment number: 1092543

To receive your rates notice via email, register at
whittlesea.enotices.com.au
Reference No: 50E352B7CB

Issue date: 31/07/2024

Instalment 1

\$270.59
Due By 30/09/2024

* If full payment of the instalment 1 amount is not received by 30 September 2024, your account will revert to the lump sum option shown below. If this occurs you will not receive instalment reminder notices.

Instalment 2 **\$267.00**
Due By 30/11/2024

Instalment 3 **\$267.00**
Due By 28/02/2025

Instalment 4 **\$267.00**
Due By 31/05/2025

If you would prefer to pay via smaller, regular payments throughout the year, scan the FlexiPay QR code in the payments section below.

OR

Lump sum **\$1,071.59**
Due By 15/02/2025

Access free and discounted waste disposal vouchers online



Visit whittlesea.vic.gov.au/wastevouchers to download your vouchers or call 9217 2170.

Property details 16 Nicastro Avenue WOLLERT VIC 3750

LOT 545 PS 807895D

Owner: Kunwar Suman & Adhikari Nabina

Ward: Ganbu Gulinj

Valuation details

Site Value	Capital Improved Value	Net Annual Value
\$380,000	\$380,000	\$19,000

Level of value date 01/01/2024 Valuation operative date 01/07/2024

AVPCC 100 Vacant Residential Dwelling Site/Surveyed Lot

Rates and charges

Council Charges
General rate 19,000 x 0.04683579 **\$889.88**

State Government Charges
Fire services charge (Res) 1 x 132 **\$132.00**
Fire services levy (Res) 380,000 x 0.00008700 **\$33.06**
Waste Landfill Levy General 1 x 0.00008700 **\$16.65**

Total **\$1,071.59**

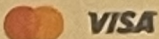
Payments received after 15 July 2024 may not be included on this notice

How to pay

whittlesea.vic.gov.au



Phone 1300 301 185



Council Offices
See the back of this notice for opening hours and locations

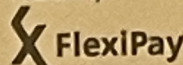
BPAY



Billers Code: 5157
Ref: 1092543

BPAY this payment via internet or phone banking

FlexiPay

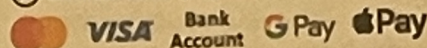


Set up your flexible payment options.



Scan the QR code or visit

whittlesea-pay.enotices.com.au



Post Billpay

Post Billpay Code: 0350
Ref: 10925435

Pay in person at any post office:
131 816 or postbillpay.com.au
Scan the barcode below and pay with your iPhone, iPad or Android device. Download the Australia Post mobile app.



*350 10925435



*350 10925435

Waste and recycling vouchers are now online - whittlesea.vic.gov.au/wastevouchers

From www.planning.vic.gov.au at 21 February 2025 03:18 PM

PROPERTY DETAILS

Address: **16 NICASTRO AVENUE WOLLERT 3750**
 Lot and Plan Number: **Lot 545 PS807895**
 Standard Parcel Identifier (SPI): **545\PS807895**
 Local Government Area (Council): **WHITTLESEA**
 Council Property Number: **1092543**
 Planning Scheme: **Whittlesea**
 Directory Reference: **Melway 388 E9**

www.whittlesea.vic.gov.au

[Planning Scheme - Whittlesea](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Melbourne Water Retailer: **Yarra Valley Water**
 Melbourne Water: **Inside drainage boundary**
 Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **NORTHERN METROPOLITAN**
 Legislative Assembly: **THOMASTOWN**

OTHER

Registered Aboriginal Party: **Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation**

[View location in VicPlan](#)

Note

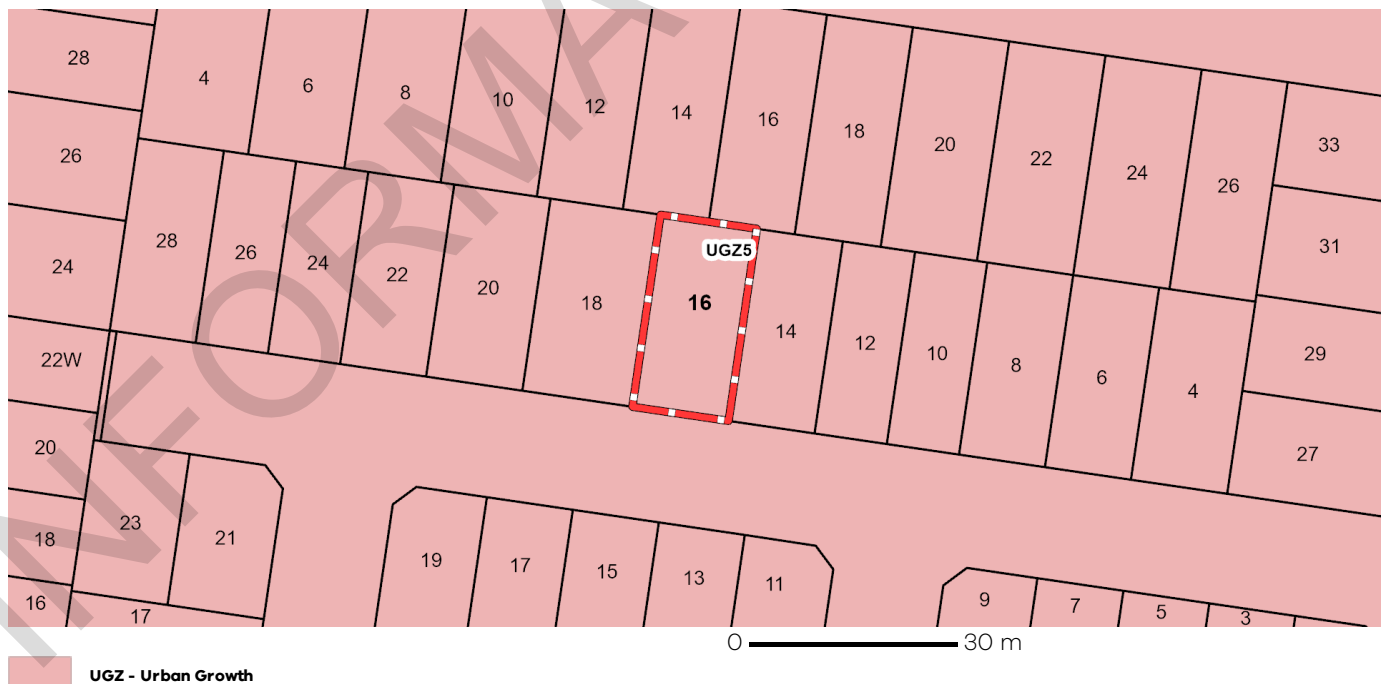
This land is in an area added to the Urban Growth Boundary after 2005. It may be subject to the Growth Area Infrastructure Contribution.

For more information about this project go to [Victorian Planning Authority](#)

Planning Zones

[URBAN GROWTH ZONE \(UGZ\)](#)

[URBAN GROWTH ZONE - SCHEDULE 5 \(UGZ5\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Read the full disclaimer at <https://www.delwp.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

Planning Overlay

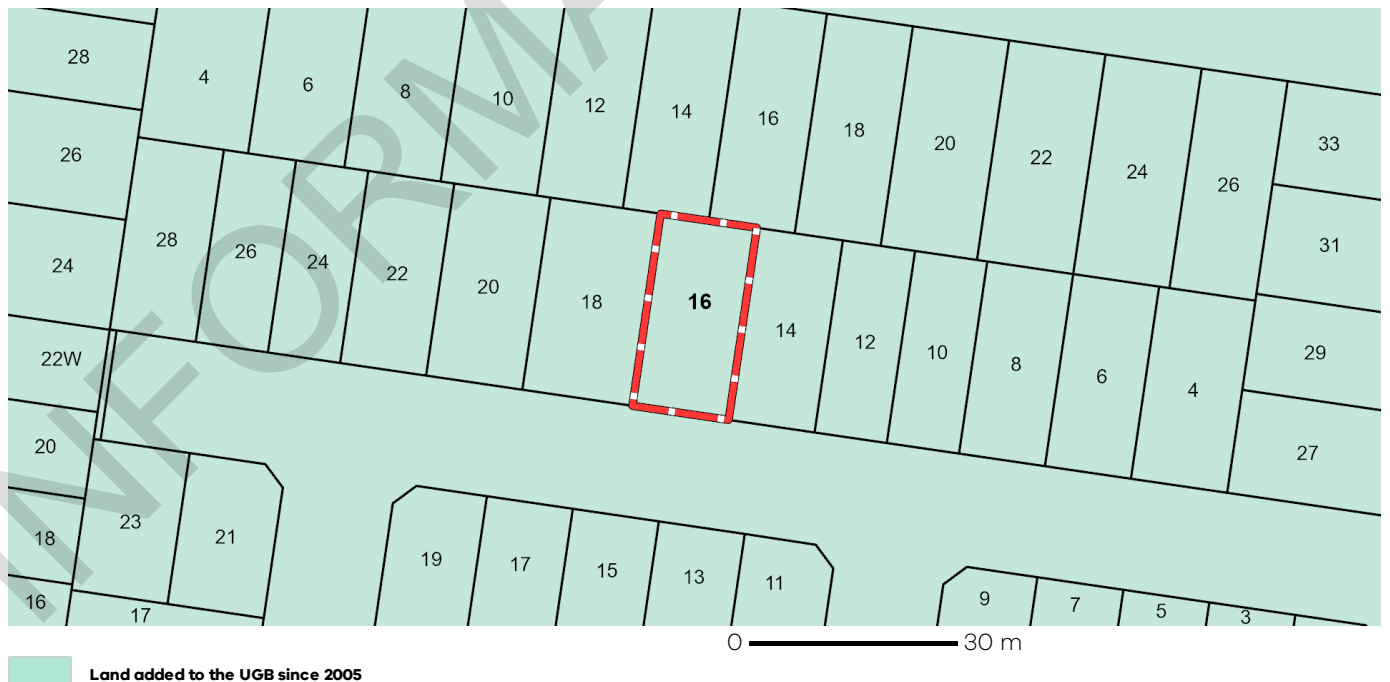
[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY \(DCPO\)](#)

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 16 \(DCPO16\)](#)



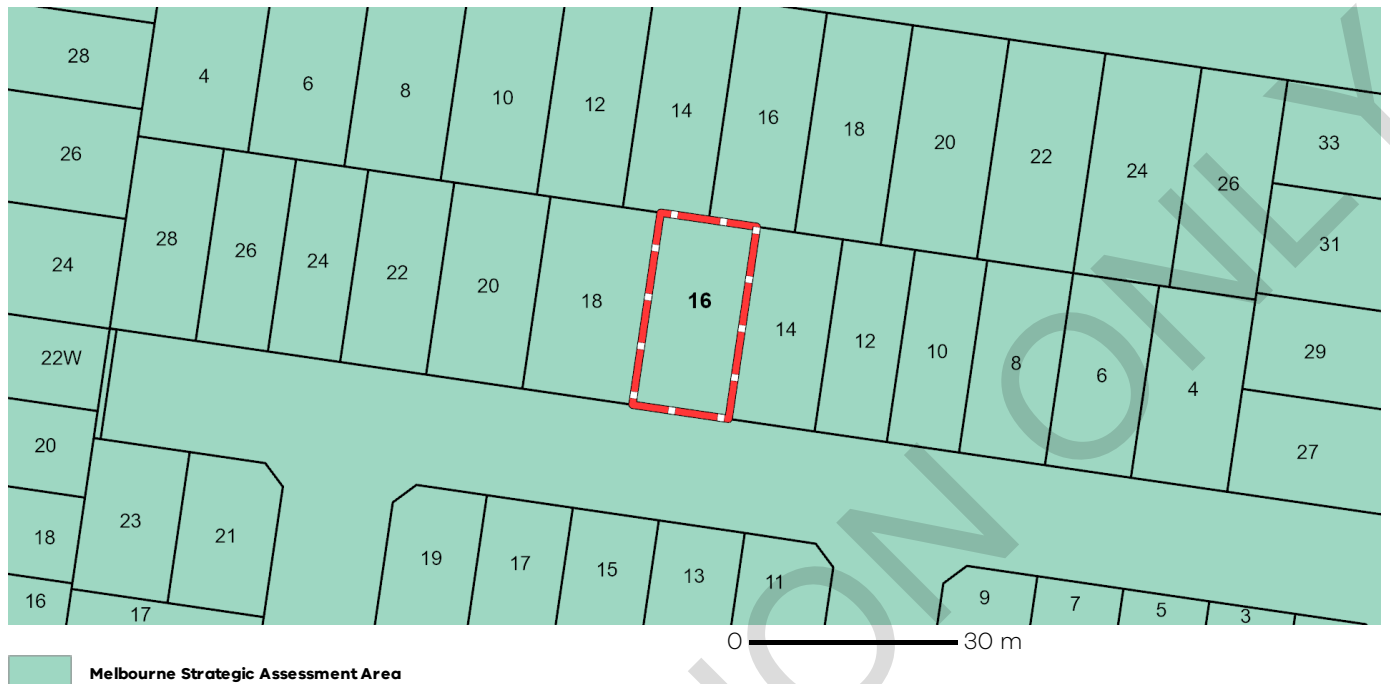
Growth Area Infrastructure Contribution

This property is in an area added to the Urban Growth Boundary after 2005. It may be subject to the Growth Area Infrastructure Contribution. For more information about this contribution go to [Victorian Planning Authority](#)



Melbourne Strategic Assessment

This property may be located within the Melbourne Strategic Assessment program area. Actions associated with urban development are subject to requirements of the Commonwealth Environment Protection and Biodiversity Conservation Act 1999. Follow the link for more details: <https://nvm.delwp.vic.gov.au/BCS>



Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <http://www.aav.nrms.net.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.aboriginalvictoria.vic.gov.au/aboriginal-heritage-legislation>



Further Planning Information

Planning scheme data last updated on 20 February 2025.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicplan>

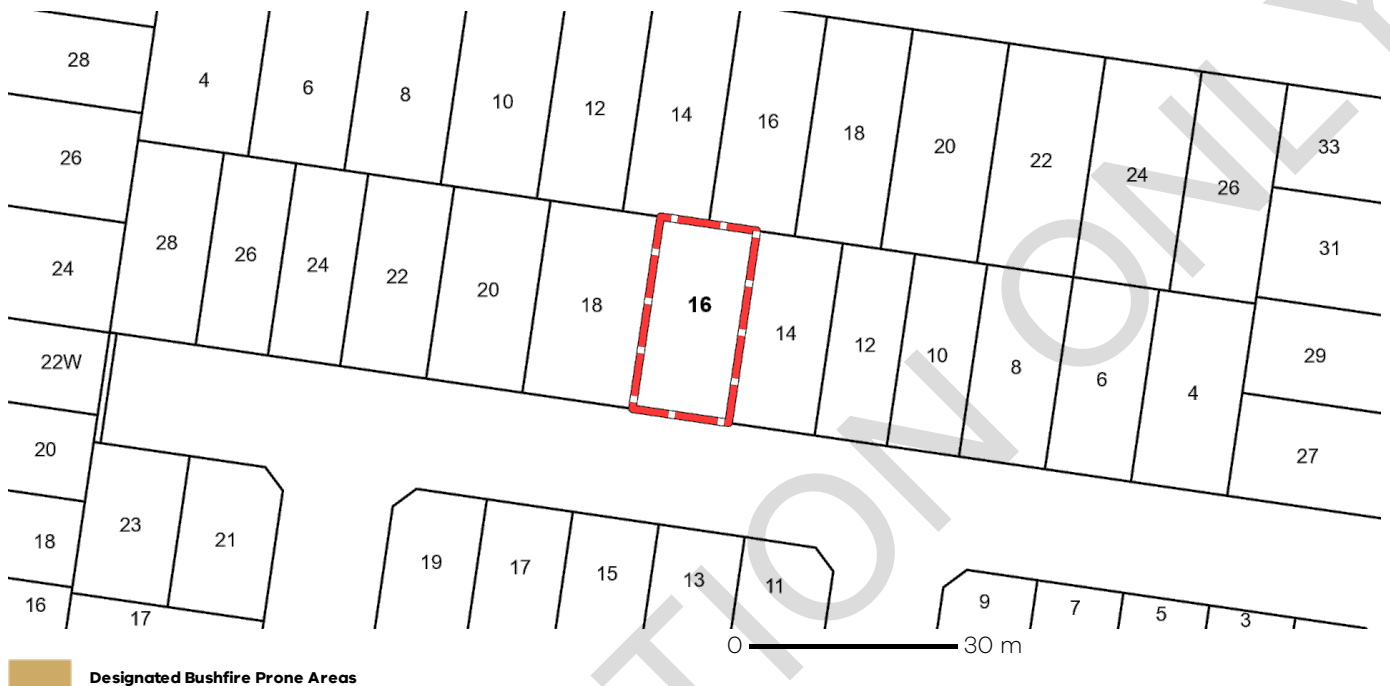
For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Designated Bushfire Prone Areas

This property is not in a designated bushfire prone area.
No special bushfire construction requirements apply. Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.