

Contract of Sale of Land

Property:

12 Alisterus Road, Kalkallo VIC 3064

Westgate Conveyancing Pty Ltd

Suite 206, 2 INFINITY Drive

TRUGANINA VIC 3029

Tel: 03 9917 8496

PO Box 8410, Tarneit VIC 3029

Ref: ASD:WG-214274

Contract of Sale of Land

IMPORTANT NOTICE TO PURCHASERS – COOLING-OFF

Cooling-off period (Section 31 of the *Sale of Land Act 1962*)

You may end this contract within 3 clear business days of the day that you sign the contract if none of the exceptions listed below applies to you.

You must either give the vendor or the vendor's agent **written** notice that you are ending the contract or leave the notice at the address of the vendor or the vendor's agent to end this contract within this time in accordance with this cooling-off provision.

You are entitled to a refund of all the money you paid EXCEPT for \$100 or 0.2% of the purchase price (whichever is more) if you end the contract in this way.

EXCEPTIONS: the 3-day cooling-off period does not apply if:

- you bought the property at a publicly advertised auction or on the day on which the auction was held; or
- you bought the land within 3 clear business days before a publicly advertised auction was to be held; or
- you bought the land within 3 clear business days after a publicly advertised auction was held; or
- the property is used primarily for industrial or commercial purposes; or
- the property is more than 20 hectares in size and is used primarily for farming; or
- you and the vendor previously signed a contract for the sale of the same land in substantially the same terms; or
- you are an estate agent or a corporate body.

NOTICE TO PURCHASERS OF PROPERTY OFF-THE-PLAN

Off-the-plan sales (Section 9AA(1A) of the *Sale of Land Act 1962*)

You may negotiate with the vendor about the amount of the deposit moneys payable under the contract of sale, up to 10 per cent of the purchase price.

A substantial period of time may elapse between the day on which you sign the contract of sale and the day on which you become the registered proprietor of the lot.

The value of the lot may change between the day on which you sign the contract of sale of that lot and the day on which you become the registered proprietor

WARNING TO ESTATE AGENTS
DO NOT USE THIS CONTRACT FOR SALES OF 'OFF THE PLAN' PROPERTIES
UNLESS IT HAS BEEN PREPARED BY A LEGAL PRACTITIONER

Contract of Sale of Land

The vendor agrees to sell and the purchaser agrees to buy the property, being the land and the goods, for the price and on the terms set out in this contract.

The terms of this contract are contained in the –

- particulars of sale; and
- special conditions, if any; and
- general conditions (which are in standard form: see general condition 6.1)

in that order of priority.

SIGNING OF THIS CONTRACT

WARNING: THIS IS A LEGALLY BINDING CONTRACT. YOU SHOULD READ THIS CONTRACT BEFORE SIGNING IT.

Purchasers should ensure that they have received a section 32 statement from the vendor before signing this contract. In this contract, "section 32 statement" means the statement required to be given by a vendor under section 32 of the *Sale of Land Act 1962*.

The authority of a person signing –

- under power of attorney; or
 - as director of a corporation; or
 - as agent authorised in writing by one of the parties –
- must be noted beneath the signature.

Any person whose signature is secured by an estate agent acknowledges being given by the agent at the time of signing a copy of the terms of this contract.

SIGNED BY THE PURCHASER:

..... on/...../2025

Print names(s) of person(s) signing:

State nature of authority, if applicable:

This offer will lapse unless accepted within [] clear business days (3 clear business days if none specified)

In this contract, "business day" has the same meaning as in section 30 of the *Sale of Land Act 1962*

SIGNED BY THE VENDOR:

..... on/...../2025

Print names(s) of person(s) signing: SHAVETA JOSHI and VISHAL JOSHI

State nature of authority, if applicable:

The **DAY OF SALE** is the date by which both parties have signed this contract.

Particulars of Sale

Vendor's estate agent

Name: Harcourts Rata & Co
Address: _____
Email: sold@rataandco.com.au
Tel: _____ Mob: _____ Fax: _____ Ref: _____

Vendor

Name: SHAVETA JOSHI and VISHAL JOSHI
Address: _____
ABN/ACN: _____
Email: _____

Vendor's legal practitioner or conveyancer

Name: Westgate Conveyancing Pty Ltd
Address: Suite 206, 2 INFINITY Drive, Truganina VIC 3029
PO Box 8410, Tarneit VIC 3029
Email: info@westgateconveyancing.com.au
Tel: 03 9917 8496 Mob: _____ Fax: _____ Ref: WG-214274

Purchaser

Name: _____
Address: _____
ABN/ACN: _____
Email: _____

Purchaser's legal practitioner or conveyancer

Name: _____
Address: _____
Email: _____
Tel: _____ Mob: _____ Fax: _____ Ref: _____

Land (general conditions 7 and 13)

The land is described in the table below –

Certificate of Title reference	being lot	on plan
Volume <u>12615</u> Folio <u>576</u>	<u>33220</u>	<u>PS 905623S</u>

If no title or plan references are recorded in the table, the land is as described in the section 32 statement or the register search statement and the document referred to as the diagram location in the register search statement attached to the section 32 statement

The land includes all improvements and fixtures.

Property address

The address of the land is: 12 Alisterus Road, Kalkallo VIC 3064

Goods sold with the land (general condition 6.3(f)) *(list or attach schedule)*

Payment

Price \$
Deposit \$ by (of which has been paid)
Balance \$ payable at settlement

Deposit bond

General condition 15 applies only if the box is checked

Bank guarantee

General condition 16 applies only if the box is checked

GST (general condition 19)

Subject to general condition 19.2, the price includes GST (if any), unless the next box is checked

- GST (if any) must be paid in addition to the price if the box is checked
- This sale is a sale of land on which a 'farming business' is carried on which the parties consider meets the requirements of section 38-480 of the GST Act if the box is checked
- This sale is a sale of a 'going concern' if the box is checked
- The margin scheme will be used to calculate GST if the box is checked

Settlement (general conditions 17 & 26.2)

is due on

- the above date; and
- the 14th day after the vendor provides the occupancy permit.

Lease (general condition 5.1)

At settlement the purchaser is entitled to vacant possession of the property unless the box is checked, in which case the property is sold subject to*:

(*only one of the boxes below should be checked after carefully reading any applicable lease or tenancy document)

a lease for a term ending on / /20..... with [.....] options to renew, each of [.....] years

OR

a residential tenancy for a fixed term ending on / /20.....

OR

a periodic tenancy determinable by notice

Terms contract (general condition 30)

This contract is intended to be a terms contract within the meaning of the *Sale of Land Act 1962* if the box is checked. *(Reference should be made to general condition 30 and any further applicable provisions should be added as special conditions)*

Loan (general condition 20)

This contract is subject to a loan being approved and the following details apply if the box is checked:

Lender:

Loan amount: no more than Approval date:

Building report

- General condition 21 applies only if the box is checked

Pest report

- General condition 22 applies only if the box is checked

INFORMATION ONLY

Special Conditions

Instructions: *It is recommended that when adding special conditions:*

- *each special condition is numbered;*
- *the parties initial each page containing special conditions;*
- *a line is drawn through any blank space remaining on the last page; and*
- *attach additional pages if there is not enough space.*

INFORMATION ONLY

Contract of Sale of Land - General Conditions

1 ELECTRONIC SIGNATURE

- 1.1 In this general condition “electronic signature” means a digital signature or a visual representation of a person’s handwritten signature or mark which is placed on a physical or electronic copy of this contract by electronic or mechanical means, and “electronically signed” has a corresponding meaning.
- 1.2 The parties consent to this contract being signed by or on behalf of a party by an electronic signature.
- 1.3 Where this contract is electronically signed by or on behalf of a party, the party warrants and agrees that the electronic signature has been used to identify the person signing and to indicate that the party intends to be bound by the electronic signature.
- 1.4 This contract may be electronically signed in any number of counterparts which together will constitute the one document.
- 1.5 Each party consents to the exchange of counterparts of this contract by delivery by email or such other electronic means as may be agreed in writing.
- 1.6 Each party must upon request promptly deliver a physical counterpart of this contract with the handwritten signature or signatures of the party and all written evidence of the authority of a person signing on their behalf, but a failure to comply with the request does not affect the validity of this contract.

2. LIABILITY OF SIGNATORY

Any signatory for a proprietary limited company purchaser is personally liable for the due performance of the purchaser's obligations as if the signatory were the purchaser in the case of a default by a proprietary limited company purchaser.

3. GUARANTEE

The vendor may require one or more directors of the purchaser to guarantee the purchaser's performance of this contract if the purchaser is a proprietary limited company.

4. NOMINEE

The purchaser may nominate a substitute or additional transferee, but the named purchaser remains personally liable for the due performance of all the purchaser's obligations under this contract.

Title

5. ENCUMBRANCES

- 5.1 The purchaser buys the property subject to:
 - (a) any encumbrance shown in the section 32 statement other than mortgages or caveats; and
 - (b) any reservations, exceptions and conditions in the crown grant; and
 - (c) any lease or tenancy referred to in the particulars of sale.
- 5.2 The purchaser indemnifies the vendor against all obligations under any lease or tenancy that are to be performed by the landlord after settlement.

6. VENDOR WARRANTIES

- 6.1 The vendor warrants that these general conditions 1 to 35 are identical to the general conditions 1 to 35 in the form of contract of sale of land published by the Law Institute of Victoria Limited and the Real Estate Institute of Victoria Ltd in the month and year set out in the header of this page
- 6.2 The warranties in general conditions 6.3 and 6.4 replace the purchaser’s right to make requisitions and inquiries.
- 6.3 The vendor warrants that the vendor:
 - (a) has, or by the due date for settlement will have, the right to sell the land; and
 - (b) is under no legal disability; and

- (c) is in possession of the land, either personally or through a tenant; and
 - (d) has not previously sold or granted any option to purchase, agreed to a lease or granted a pre-emptive right which is current over the land and which gives another party rights which have priority over the interest of the purchaser; and
 - (e) will at settlement be the holder of an unencumbered estate in fee simple in the land; and
 - (f) will at settlement be the unencumbered owner of any improvements, fixtures, fittings and goods sold with the land.
- 6.4 The vendor further warrants that the vendor has no knowledge of any of the following:
- (a) public rights of way over the land;
 - (b) easements over the land;
 - (c) lease or other possessory agreement affecting the land;
 - (d) notice or order directly and currently affecting the land which will not be dealt with at settlement, other than the usual rate notices and any land tax notices;
 - (e) legal proceedings which would render the sale of the land void or voidable or capable of being set aside.
- 6.5 The warranties in general conditions 6.3 and 6.4 are subject to any contrary provisions in this contract and disclosures in the section 32 statement.
- 6.6 If sections 137B and 137C of the *Building Act 1993* apply to this contract, the vendor warrants that:
- (a) all domestic building work carried out in relation to the construction by or on behalf of the vendor of the home was carried out in a proper and workmanlike manner; and
 - (b) all materials used in that domestic building work were good and suitable for the purpose for which they were used and that, unless otherwise stated in the contract, those materials were new; and
 - (c) domestic building work was carried out in accordance with all laws and legal requirements, including, without limiting the generality of this warranty, the *Building Act 1993* and regulations made under the *Building Act 1993*.
- 6.7 Words and phrases used in general condition 6.6 which are defined in the *Building Act 1993* have the same meaning in general condition 6.6.

7. IDENTITY OF THE LAND

- 7.1 An omission or mistake in the description of the property or any deficiency in the area, description or measurements of the land does not invalidate the sale.
- 7.2 The purchaser may not:
- (a) make any objection or claim for compensation for any alleged misdescription of the property or any deficiency in its area or measurements; or
 - (b) require the vendor to amend title or pay any cost of amending title.

8. SERVICES

- 8.1 The vendor does not represent that the services are adequate for the purchaser's proposed use of the property and the vendor advises the purchaser to make appropriate inquiries. The condition of the services may change between the day of sale and settlement and the vendor does not promise that the services will be in the same condition at settlement as they were on the day of sale.
- 8.2 The purchaser is responsible for the connection of all services to the property after settlement and the payment of any associated cost.

9. CONSENTS

The vendor must obtain any necessary consent or licence required for the vendor to sell the property. The contract will be at an end and all money paid must be refunded if any necessary consent or licence is not obtained by settlement.

10. TRANSFER & DUTY

10.1 The purchaser must prepare and deliver to the vendor at least 7 days before the due date for settlement any paper transfer of land document which is necessary for this transaction. The delivery of the transfer of land document is not acceptance of title.

10.2 The vendor must promptly initiate the Duties on Line or other form required by the State Revenue Office in respect of this transaction, and both parties must co-operate to complete it as soon as practicable.

11. RELEASE OF SECURITY INTEREST

11.1 This general condition applies if any part of the property is subject to a security interest to which the *Personal Property Securities Act 2009 (Cth)* applies.

11.2 For the purposes of enabling the purchaser to search the Personal Property Securities Register for any security interests affecting any personal property for which the purchaser may be entitled to a release, statement, approval or correction in accordance with general condition 11.4, the purchaser may request the vendor to provide the vendor's date of birth to the purchaser. The vendor must comply with a request made by the purchaser under this condition if the purchaser makes the request at least 21 days before the due date for settlement.

11.3 If the purchaser is given the details of the vendor's date of birth under general condition 11.2, the purchaser must

- (a) only use the vendor's date of birth for the purposes specified in general condition 11.2; and
- (b) keep the date of birth of the vendor secure and confidential.

11.4 The vendor must ensure that at or before settlement, the purchaser receives—

- (a) a release from the secured party releasing the property from the security interest; or
- (b) a statement in writing in accordance with section 275(1)(b) of the *Personal Property Securities Act 2009 (Cth)* setting out that the amount or obligation that is secured is nil at settlement; or
- (c) a written approval or correction in accordance with section 275(1)(c) of the *Personal Property Securities Act 2009 (Cth)* indicating that, on settlement, the personal property included in the contract is not or will not be property in which the security interest is granted.

11.5 Subject to general condition 11.6, the vendor is not obliged to ensure that the purchaser receives a release, statement, approval or correction in respect of personal property—

- (a) that—
 - (i) the purchaser intends to use predominantly for personal, domestic or household purposes; and
 - (ii) has a market value of not more than \$5000 or, if a greater amount has been prescribed for the purposes of section 47(1) of the *Personal Property Securities Act 2009 (Cth)*, not more than that prescribed amount; or
- (b) that is sold in the ordinary course of the vendor's business of selling personal property of that kind.

- 11.6 The vendor is obliged to ensure that the purchaser receives a release, statement, approval or correction in respect of personal property described in general condition 11.5 if—
- (a) the personal property is of a kind that may or must be described by serial number in the Personal Property Securities Register; or
 - (b) the purchaser has actual or constructive knowledge that the sale constitutes a breach of the security agreement that provides for the security interest.
- 11.7 A release for the purposes of general condition 11.4(a) must be in writing.
- 11.8 A release for the purposes of general condition 11.4(a) must be effective in releasing the goods from the security interest and be in a form which allows the purchaser to take title to the goods free of that security interest.
- 11.9 If the purchaser receives a release under general condition 11.4(a) the purchaser must provide the vendor with a copy of the release at or as soon as practicable after settlement.
- 11.10 In addition to ensuring that a release is received under general condition 11.4(a), the vendor must ensure that at or before settlement the purchaser receives a written undertaking from a secured party to register a financing change statement to reflect that release if the property being released includes goods of a kind that are described by serial number in the Personal Property Securities Register.
- 11.11 The purchaser must advise the vendor of any security interest that is registered on or before the day of sale on the Personal Property Securities Register, which the purchaser reasonably requires to be released, at least 21 days before the due date for settlement.
- 11.12 The vendor may delay settlement until 21 days after the purchaser advises the vendor of the security interests that the purchaser reasonably requires to be released if the purchaser does not provide an advice under general condition 11.11.
- 11.13 If settlement is delayed under general condition 11.12 the purchaser must pay the vendor—
- (a) interest from the due date for settlement until the date on which settlement occurs or 21 days after the vendor receives the advice, whichever is the earlier; and
 - (b) any reasonable costs incurred by the vendor as a result of the delay—
as though the purchaser was in default.
- 11.14 The vendor is not required to ensure that the purchaser receives a release in respect of the land. This general condition 11.14 applies despite general condition 11.1.
- 11.15 Words and phrases which are defined in the *Personal Property Securities Act 2009* (Cth) have the same meaning in general condition 11 unless the context requires otherwise.

12. BUILDER WARRANTY INSURANCE

The vendor warrants that the vendor will provide at settlement details of any current builder warranty insurance in the vendor's possession relating to the property if requested in writing to do so at least 21 days before settlement.

13. GENERAL LAW LAND

13.1 The vendor must complete a conversion of title in accordance with section 14 of the *Transfer of Land Act 1958* before settlement if the land is the subject of a provisional folio under section 23 of that Act.

- 13.2 The remaining provisions of this general condition 13 only apply if any part of the land is not under the operation of the *Transfer of Land Act 1958*.
- 13.3 The vendor is taken to be the holder of an unencumbered estate in fee simple in the land if there is an unbroken chain of title starting at least 30 years before the day of sale proving on the face of the documents the ownership of the entire legal and equitable estate without the aid of other evidence.
- 13.4 The purchaser is entitled to inspect the vendor's chain of title on request at such place in Victoria as the vendor nominates.
- 13.5 The purchaser is taken to have accepted the vendor's title if:
- (a) 21 days have elapsed since the day of sale; and
 - (b) the purchaser has not reasonably objected to the title or reasonably required the vendor to remedy a defect in the title.
- 13.6 The contract will be at an end if:
- (a) the vendor gives the purchaser a notice that the vendor is unable or unwilling to satisfy the purchaser's objection or requirement and that the contract will end if the objection or requirement is not withdrawn within 14 days of the giving of the notice; and
 - (b) the objection or requirement is not withdrawn in that time.
- 13.7 If the contract ends in accordance with general condition 13.6, the deposit must be returned to the purchaser and neither party has a claim against the other in damages.
- 13.10 General condition 17.1 [settlement] should be read as if the reference to 'registered proprietor' is a reference to 'owner' in respect of that part of the land which is not under the operation of the *Transfer of Land Act 1958*.

Money

14. DEPOSIT

- 14.1 The purchaser must pay the deposit:
- (a) to the vendor's licensed estate agent; or
 - (b) if there is no estate agent, to the vendor's legal practitioner or conveyancer; or
 - (c) if the vendor directs, into a special purpose account in an authorised deposit-taking institution in Victoria specified by the vendor in the joint names of the purchaser and the vendor.
- 14.2 If the land sold is a lot on an unregistered plan of subdivision, the deposit:
- (a) must not exceed 10% of the price; and
 - (b) must be paid to the vendor's estate agent, legal practitioner or conveyancer and held by the estate agent, legal practitioner or conveyancer on trust for the purchaser until the registration of the plan of subdivision.
- 14.3 The deposit must be released to the vendor if:
- (a) the vendor provides particulars, to the satisfaction of the purchaser, that either-
 - (i) there are no debts secured against the property; or

- (ii) if there are any debts, the total amount of those debts together with any amounts to be withheld in accordance with general conditions 24 and 25 does not exceed 80% of the sale price; and
 - (b) at least 28 days have elapsed since the particulars were given to the purchaser under paragraph (a); and
 - (c) all conditions of section 27 of the *Sale of Land Act 1962* have been satisfied.
- 14.4 The stakeholder must pay the deposit and any interest to the party entitled when the deposit is released, the contract is settled, or the contract is ended.
- 14.5 The stakeholder may pay the deposit and any interest into court if it is reasonable to do so.
- 14.6 Where the purchaser is deemed by section 27(7) of the *Sale of Land Act 1962* to have given the deposit release authorisation referred to in section 27(1), the purchaser is also deemed to have accepted title in the absence of any prior express objection to title.
- 14.7 Payment of the deposit may be made or tendered:
- (a) in cash up to \$1,000 or 0.2% of the price, whichever is greater; or
 - (b) by cheque drawn on an authorised deposit-taking institution; or
 - (c) by electronic funds transfer to a recipient having the appropriate facilities for receipt.
- However, unless otherwise agreed:
- (d) payment may not be made by credit card, debit card or any other financial transfer system that allows for any chargeback or funds reversal other than for fraud or mistaken payment, and
 - (e) any financial transfer or similar fees or deductions from the funds transferred, other than any fees charged by the recipient's authorised deposit-taking institution, must be paid by the remitter.
- 14.8 Payment by electronic funds transfer is made when cleared funds are received in the recipient's bank account.
- 14.9 Before the funds are electronically transferred the intended recipient must be notified in writing and given sufficient particulars to readily identify the relevant transaction.
- 14.10 As soon as the funds have been electronically transferred the intended recipient must be provided with the relevant transaction number or reference details.
- 14.11 For the purpose of this general condition 'authorised deposit-taking institution' means a body corporate for which an authority under section 9(3) of the *Banking Act 1959 (Cth)* is in force.

15. DEPOSIT BOND

- 15.1 This general condition only applies if the applicable box in the particulars of sale is checked.
- 15.2 In this general condition "deposit bond" means an irrevocable undertaking to pay on demand an amount equal to the deposit or any unpaid part of the deposit. The issuer and the form of the deposit bond must be satisfactory to the vendor. The deposit bond must have an expiry date at least 45 days after the due date for settlement.
- 15.3 The purchaser may deliver a deposit bond to the vendor's estate agent, legal practitioner or conveyancer within 7 days after the day of sale.
- 15.4 The purchaser may at least 45 days before a current deposit bond expires deliver a replacement deposit bond on the same terms and conditions.
- 15.5 Where a deposit bond is delivered, the purchaser must pay the deposit to the vendor's legal practitioner or conveyancer on the first to occur of:

- (a) settlement;
 - (b) the date that is 45 days before the deposit bond or any replacement deposit bond expires;
 - (c) the date on which this contract ends in accordance with general condition 35.2 [default not remedied] following breach by the purchaser; and
 - (d) the date on which the vendor ends this contract by accepting repudiation of it by the purchaser.
- 15.6 The vendor may claim on the deposit bond without prior notice if the purchaser defaults under this contract or repudiates this contract and the contract is ended. The amount paid by the issuer satisfies the obligations of the purchaser under general condition 15.5 to the extent of the payment.
- 15.7 Nothing in this general condition limits the rights of the vendor if the purchaser defaults under this contract or repudiates this contract, except as provided in general condition 15.6.
- 15.8 This general condition is subject to general condition 14.2 [deposit].

16. BANK GUARANTEE

- 16.1 This general condition only applies if the applicable box in the particulars of sale is checked.
- 16.2 In this general condition:
- (a) “bank guarantee” means an unconditional and irrevocable guarantee or undertaking by a bank in a form satisfactory to the vendor to pay on demand any amount under this contract agreed in writing, and
 - (b) “bank” means an authorised deposit-taking institution under the *Banking Act 1959 (Cth)*.
- 16.3 The purchaser may deliver a bank guarantee to the vendor's legal practitioner or conveyancer.
- 16.4 The purchaser must pay the amount secured by the bank guarantee to the vendor's legal practitioner or conveyancer on the first to occur of:
- (a) settlement;
 - (b) the date that is 45 days before the bank guarantee expires;
 - (c) the date on which this contract ends in accordance with general condition 35.2 [default not remedied] following breach by the purchaser; and
 - (d) the date on which the vendor ends this contract by accepting repudiation of it by the purchaser.
- 16.5 The vendor must return the bank guarantee document to the purchaser when the purchaser pays the amount secured by the bank guarantee in accordance with general condition 16.4.
- 16.6 The vendor may claim on the bank guarantee without prior notice if the purchaser defaults under this contract or repudiates this contract and the contract is ended. The amount paid by the bank satisfies the obligations of the purchaser under general condition 16.4 to the extent of the payment.
- 16.7 Nothing in this general condition limits the rights of the vendor if the purchaser defaults under this contract or repudiates this contract except as provided in general condition 16.6.
- 16.8 This general condition is subject to general condition 14.2 [deposit].

17. SETTLEMENT

- 17.1 At settlement:
- (a) the purchaser must pay the balance; and

- (b) the vendor must:
 - (i) do all things necessary to enable the purchaser to become the registered proprietor of the land; and
 - (ii) give either vacant possession or receipt of rents and profits in accordance with the particulars of sale.
- 17.2 Settlement must be conducted between the hours of 10.00 am and 4.00 pm unless the parties agree otherwise.
- 17.3 The purchaser must pay all money other than the deposit in accordance with a written direction of the vendor or the vendor's legal practitioner or conveyancer.

18. ELECTRONIC SETTLEMENT

- 18.1 Settlement and lodgment of the instruments necessary to record the purchaser as registered proprietor of the land will be conducted electronically in accordance with the Electronic Conveyancing National Law. This general condition 18 has priority over any other provision of this contract to the extent of any inconsistency.
- 18.2 A party must immediately give written notice if that party reasonably believes that settlement and lodgment can no longer be conducted electronically. General condition 18 ceases to apply from when such a notice is given.
- 18.3 Each party must:
 - (a) be, or engage a representative who is, a subscriber for the purposes of the Electronic Conveyancing National Law,
 - (b) ensure that all other persons for whom that party is responsible and who are associated with this transaction are, or engage, a subscriber for the purposes of the Electronic Conveyancing National Law, and
 - (c) conduct the transaction in accordance with the Electronic Conveyancing National Law.
- 18.4 The vendor must open the electronic workspace ("workspace") as soon as reasonably practicable and nominate a date and time for settlement. The inclusion of a specific date and time for settlement in a workspace is not of itself a promise to settle on that date or at that time. The workspace is an electronic address for the service of notices and for written communications for the purposes of any electronic transactions legislation.
- 18.5 This general condition 18.5 applies if there is more than one electronic lodgment network operator in respect of the transaction. In this general condition 18.5 "the transaction" means this sale and purchase and any associated transaction involving any of the same subscribers.
To the extent that any interoperability rules governing the relationship between electronic lodgment network operators do not provide otherwise:
 - (a) the electronic lodgment network operator to conduct all the financial and lodgment aspects of the transaction after the workspace locks must be one which is willing and able to conduct such aspects of the transaction in accordance with the instructions of all the subscribers in the workspaces of all the electronic lodgment network operators after the workspace locks;
 - (b) if two or more electronic lodgment network operators meet that description, one may be selected by purchaser's incoming mortgagee having the highest priority but if there is no mortgagee of the purchaser, the vendor must make the selection.
- 18.6 Settlement occurs when the workspace records that:
 - (a) there has been an exchange of funds or value between the exchange settlement account or accounts in the Reserve Bank of Australia of the relevant financial institutions or their financial settlement agents in accordance with the instructions of the parties; or

- (b) if there is no exchange of funds or value, the documents necessary to enable the purchaser to become registered proprietor of the land have been accepted for electronic lodgment.

18.7 The parties must do everything reasonably necessary to effect settlement:

- (a) electronically on the next business day, or
- (b) at the option of either party, otherwise than electronically as soon as possible –

if, after the locking of the workspace at the nominated settlement time, settlement in accordance with general condition 18.6 has not occurred by 4.00 pm, or 6.00 pm if the nominated time for settlement is after 4.00 pm.

18.8 Each party must do everything reasonably necessary to assist the other party to trace and identify the recipient of any missing or mistaken payment and to recover the missing or mistaken payment.

18.9 The vendor must before settlement:

- (a) deliver any keys, security devices and codes (“keys”) to the estate agent named in the contract,
- (b) direct the estate agent to give the keys to the purchaser or the purchaser’s nominee on notification of settlement by the vendor, the vendor’s subscriber or the electronic lodgment network operator;
- (c) deliver all other physical documents and items (other than the goods sold by the contract) to which the purchaser is entitled at settlement, and any keys if not delivered to the estate agent, to the vendor’s subscriber or, if there is no vendor’s subscriber, confirm in writing to the purchaser that the vendor holds those documents, items and keys at the vendor’s address set out in the contract, and

give, or direct its subscriber to give, all those documents and items and any such keys to the purchaser or the purchaser’s nominee on notification by the electronic lodgment network operator of settlement.

19. GST

19.1 The purchaser does not have to pay the vendor any amount in respect of GST in addition to the price if the particulars of sale specify that the price includes GST (if any).

19.2 The purchaser must pay to the vendor any GST payable by the vendor in respect of a taxable supply made under this contract in addition to the price if:

- (a) the particulars of sale specify that GST (if any) must be paid in addition to the price; or
- (b) GST is payable solely as a result of any action taken or intended to be taken by the purchaser after the day of sale, including a change of use; or
- (c) the particulars of sale specify that the supply made under this contract is of land on which a ‘farming business’ is carried on and the supply (or part of it) does not satisfy the requirements of section 38-480 of the GST Act; or
- (d) the particulars of sale specify that the supply made under this contract is of a going concern and the supply (or a part of it) does not satisfy the requirements of section 38-325 of the GST Act.

19.3 The purchaser is not obliged to pay any GST under this contract until a tax invoice has been given to the purchaser.

19.4 If the particulars of sale specify that the supply made under this contract is of land on which a ‘farming business’ is carried on:

- (a) the vendor warrants that the property is land on which a farming business has been carried on for the period of 5 years preceding the date of supply; and

- (b) the purchaser warrants that the purchaser intends that a farming business will be carried on after settlement on the property.

19.5 If the particulars of sale specify that the supply made under this contract is a 'going concern':

- (a) the parties agree that this contract is for the supply of a going concern; and
- (b) the purchaser warrants that the purchaser is, or prior to settlement will be, registered for GST; and
- (c) the vendor warrants that the vendor will carry on the going concern until the date of supply.

19.6 If the particulars of sale specify that the supply made under this contract is a 'margin scheme' supply, the parties agree that the margin scheme applies to this contract.

19.7 In this general condition:

- (a) 'GST Act' means *A New Tax System (Goods and Services Tax) Act 1999 (Cth)*; and
- (b) 'GST' includes penalties and interest.

20. LOAN

20.1 If the particulars of sale specify that this contract is subject to a loan being approved, this contract is subject to the lender approving the loan on the security of the property by the approval date or any later date allowed by the vendor.

20.2 The purchaser may end the contract if the loan is not approved by the approval date, but only if the purchaser:

- (a) immediately applied for the loan; and
- (b) did everything reasonably required to obtain approval of the loan; and
- (c) serves written notice ending the contract, together with written evidence of rejection or non-approval of the loan, on the vendor within 2 clear business days after the approval date or any later date allowed by the vendor; and
- (d) is not in default under any other condition of this contract when the notice is given.

20.3 All money must be immediately refunded to the purchaser if the contract is ended.

21. BUILDING REPORT

21.1 This general condition only applies if the applicable box in the particulars of sale is checked.

21.2 The purchaser may end this contract within 14 days from the day of sale if the purchaser:

- (a) obtains a written report from a registered building practitioner or architect which discloses a current defect in a structure on the land and designates it as a major building defect;
- (b) gives the vendor a copy of the report and a written notice ending this contract; and
- (c) is not then in default.

21.3 All money paid must be immediately refunded to the purchaser if the contract ends in accordance with this general condition.

21.4 A notice under this general condition may be served on the vendor's legal practitioner, conveyancer or estate agent even if the estate agent's authority has formally expired at the time of service.

21.5 The registered building practitioner may inspect the property at any reasonable time for the purpose of preparing the report.

22. PEST REPORT

22.1 This general condition only applies if the applicable box in the particulars of sale is checked.

22.2 The purchaser may end this contract within 14 days from the day of sale if the purchaser:

- (a) obtains a written report from a pest control operator licensed under Victorian law which discloses a current pest infestation on the land and designates it as a major infestation affecting the structure of a building on the land;
 - (b) gives the vendor a copy of the report and a written notice ending this contract; and
 - (c) is not then in default.
- 22.3 All money paid must be immediately refunded to the purchaser if the contract ends in accordance with this general condition.
- 22.4 A notice under this general condition may be served on the vendor's legal practitioner, conveyancer or estate agent even if the estate agent's authority has formally expired at the time of service.
- 22.5 The pest control operator may inspect the property at any reasonable time for the purpose of preparing the report.

23. ADJUSTMENTS

- 23.1 All periodic outgoings payable by the vendor, and any rent and other income received in respect of the property must be apportioned between the parties on the settlement date and any adjustments paid and received as appropriate.
- 23.2 The periodic outgoings and rent and other income must be apportioned on the following basis:
- (a) the vendor is liable for the periodic outgoings and entitled to the rent and other income up to and including the day of settlement; and
 - (b) the land is treated as the only land of which the vendor is owner (as defined in the *Land Tax Act 2005*); and
 - (c) the vendor is taken to own the land as a resident Australian beneficial owner; and
 - (d) any personal statutory benefit available to each party is disregarded in calculating apportionment.
- 23.3 The purchaser must provide copies of all certificates and other information used to calculate the adjustments under general condition 23, if requested by the vendor.

24. FOREIGN RESIDENT CAPITAL GAINS WITHHOLDING

- 24.1 Words defined or used in Subdivision 14-D of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* have the same meaning in this general condition unless the context requires otherwise.
- 24.2 Every vendor under this contract is a foreign resident for the purposes of this general condition unless the vendor gives the purchaser a clearance certificate issued by the Commissioner under section 14-220 (1) of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*. The specified period in the clearance certificate must include the actual date of settlement.
- 24.3 The remaining provisions of this general condition 24 only apply if the purchaser is required to pay the Commissioner an amount in accordance with section 14-200(3) or section 14-235 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* ("the amount") because one or more of the vendors is a foreign resident, the property has or will have a market value not less than the amount set out in section 14-215 of the legislation just after the transaction, and the transaction is not excluded under section 14-215(1) of the legislation.
- 24.4 The amount is to be deducted from the vendor's entitlement to the contract consideration. The vendor must pay to the purchaser at settlement such part of the amount as is represented by non-monetary consideration.
- 24.5 The purchaser must:
- (a) engage a legal practitioner or conveyancer ("representative") to conduct all the legal aspects of settlement, including the performance of the purchaser's obligations under the legislation and this general condition; and

- (b) ensure that the representative does so.
- 24.6 The terms of the representative's engagement are taken to include instructions to have regard to the vendor's interests and instructions that the representative must:
- (a) pay, or ensure payment of, the amount to the Commissioner in the manner required by the Commissioner and as soon as reasonably and practicably possible, from moneys under the control or direction of the representative in accordance with this general condition if the sale of the property settles;
 - (b) promptly provide the vendor with proof of payment; and
 - (c) otherwise comply, or ensure compliance, with this general condition;
- despite:
- (d) any contrary instructions, other than from both the purchaser and the vendor; and
 - (e) any other provision in this contract to the contrary.
- 24.7 The representative is taken to have complied with the requirements of general condition 24.6 if:
- (a) the settlement is conducted through an electronic lodgment network; and
 - (b) the amount is included in the settlement statement requiring payment to the Commissioner in respect of this transaction.
- 24.8 Any clearance certificate or document evidencing variation of the amount in accordance with section 14-235(2) of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* must be given to the purchaser at least 5 business days before the due date for settlement.
- 24.9 The vendor must provide the purchaser with such information as the purchaser requires to comply with the purchaser's obligation to pay the amount in accordance with section 14-200 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*. The information must be provided within 5 business days of request by the purchaser. The vendor warrants that the information the vendor provides is true and correct.
- 24.10 The purchaser is responsible for any penalties or interest payable to the Commissioner on account of late payment of the amount.

25. GST WITHHOLDING

- 25.1 Words and expressions defined or used in Subdivision 14-E of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* or in *A New Tax System (Goods and Services Tax) Act 1999 (Cth)* have the same meaning in this general condition unless the context requires otherwise. Words and expressions first used in this general condition and shown in italics and marked with an asterisk are defined or described in at least one of those Acts.
- 25.2 The purchaser must notify the vendor in writing of the name of the recipient of the *supply for the purposes of section 14-255 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* at least 21 days before the due date for settlement unless the recipient is the purchaser named in the contract.
- 25.3 The vendor must at least 14 days before the due date for settlement provide the purchaser and any person nominated by the purchaser under general condition 4 with a GST withholding notice in accordance with section 14-255 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*, and must provide all information required by the purchaser or any person so nominated to confirm the accuracy of the notice.
- 25.4 The remaining provisions of this general condition 25 apply if the purchaser is or may be required to pay the Commissioner an *amount in accordance with section 14-250 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* because the property is *new residential premises or *potential residential land in either case falling within the parameters of that section, and also if the sale attracts the operation of section 14-255 of the legislation. Nothing in this general condition 25 is to be taken as relieving the vendor from compliance with section 14-255.

- 25.5 The amount is to be deducted from the vendor's entitlement to the contract *consideration and is then taken to be paid to the vendor, whether or not the vendor provides the purchaser with a GST withholding notice in accordance with section 14-255 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*. The vendor must pay to the purchaser at settlement such part of the amount as is represented by non-monetary consideration.
- 25.6 The purchaser must:
- (a) engage a legal practitioner or conveyancer ("representative") to conduct all the legal aspects of settlement, including the performance of the purchaser's obligations under the legislation and this general condition; and
 - (b) ensure that the representative does so.
- 25.7 The terms of the representative's engagement are taken to include instructions to have regard to the vendor's interests relating to the payment of the amount to the Commissioner and instructions that the representative must:
- (a) pay, or ensure payment of, the amount to the Commissioner in the manner required by the Commissioner and as soon as reasonably and practicably possible, from moneys under the control or direction of the representative in accordance with this general condition on settlement of the sale of the property;
 - (b) promptly provide the vendor with evidence of payment, including any notification or other document provided by the purchaser to the Commissioner relating to payment; and
 - (c) otherwise comply, or ensure compliance, with this general condition;
- despite:
- (d) any contrary instructions, other than from both the purchaser and the vendor; and
 - (e) any other provision in this contract to the contrary.
- 25.8 The representative is taken to have complied with the requirements of general condition 25.7 if:
- (a) settlement is conducted through an electronic lodgment network; and
 - (b) the amount is included in the settlement statement requiring payment to the Commissioner in respect of this transaction.
- 25.9 The purchaser may at settlement give the vendor a bank cheque for the amount in accordance with section 16-30 (3) of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*, but only if:
- (a) so agreed by the vendor in writing; and
 - (b) the settlement is not conducted through an electronic lodgment network.
- However, if the purchaser gives the bank cheque in accordance with this general condition 25.9, the vendor must:
- (c) immediately after settlement provide the bank cheque to the Commissioner to pay the amount in relation to the supply; and
 - (d) give the purchaser a receipt for the bank cheque which identifies the transaction and includes particulars of the bank cheque, at the same time the purchaser gives the vendor the bank cheque.
- 25.10 A party must provide the other party with such information as the other party requires to:
- (a) decide if an amount is required to be paid or the quantum of it, or
 - (b) comply with the purchaser's obligation to pay the amount,
- in accordance with section 14-250 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*. The information must be provided within 5 business days of a written request. The party providing the information warrants that it is true and correct.
- 25.11 The vendor warrants that:

- (a) at settlement, the property is not new residential premises or potential residential land in either case falling within the parameters of section 14-250 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* if the vendor gives the purchaser a written notice under section 14-255 to the effect that the purchaser will not be required to make a payment under section 14-250 in respect of the supply, or fails to give a written notice as required by and within the time specified in section 14-255; and
- (b) the amount described in a written notice given by the vendor to the purchaser under section 14-255 of Schedule 1 to the *Taxation Administration Act 1953 (Cth)* is the correct amount required to be paid under section 14-250 of the legislation.

25.12 The purchaser is responsible for any penalties or interest payable to the Commissioner on account of non-payment or late payment of the amount, except to the extent that:

- (a) the penalties or interest arise from any failure on the part of the vendor, including breach of a warranty in general condition 25.11; or
- (b) the purchaser has a reasonable belief that the property is neither new residential premises nor potential residential land requiring the purchaser to pay an amount to the Commissioner in accordance with section 14-250 (1) of Schedule 1 to the *Taxation Administration Act 1953 (Cth)*.

The vendor is responsible for any penalties or interest payable to the Commissioner on account of non-payment or late payment of the amount if either exception applies.

Transactional

26. TIME & CO OPERATION

- 26.1 Time is of the essence of this contract.
- 26.2 Time is extended until the next business day if the time for performing any action falls on a day which is not a business day.
- 26.3 Each party must do all things reasonably necessary to enable this contract to proceed to settlement, and must act in a prompt and efficient manner.
- 26.4 Any unfulfilled obligation will not merge on settlement.

27. SERVICE

- 27.1 Any document required to be served by or on any party may be served by or on the legal practitioner or conveyancer for that party.
- 27.2 A cooling off notice under section 31 of the *Sale of Land Act 1962* or a notice under general condition 20 [loan approval], 21 [building report] or 22 [pest report] may be served on the vendor's legal practitioner, conveyancer or estate agent even if the estate agent's authority has formally expired at the time of service.
- 27.3 A document is sufficiently served:
 - (a) personally, or
 - (b) by pre-paid post, or
 - (c) in any manner authorized by law or by the Supreme Court for service of documents, including any manner authorised for service on or by a legal practitioner, whether or not the person serving or receiving the document is a legal practitioner, or
 - (d) by email.
- 27.4 Any document properly sent by:
 - (a) express post is taken to have been served on the next business day after posting, unless proved otherwise;

- (b) priority post is taken to have been served on the fourth business day after posting, unless proved otherwise;
- (c) regular post is taken to have been served on the sixth business day after posting, unless proved otherwise;
- (d) email is taken to have been served at the time of receipt within the meaning of section 13A of the *Electronic Transactions (Victoria) Act 2000*.

27.5 In this contract 'document' includes 'demand' and 'notice', 'serve' includes 'give', and 'served' and 'service' have corresponding meanings.

28. NOTICES

28.1 The vendor is responsible for any notice, order, demand or levy imposing liability on the property that is issued or made before the day of sale, and does not relate to periodic outgoings.

28.2 The purchaser is responsible for any notice, order, demand or levy imposing liability on the property that is issued or made on or after the day of sale, and does not relate to periodic outgoings.

28.3 The purchaser may enter the property to comply with that responsibility where action is required before settlement.

29. INSPECTION

The purchaser and/or another person authorised by the purchaser may inspect the property at any reasonable time during the 7 days preceding and including the settlement day.

30. TERMS CONTRACT

30.1 If this is a 'terms contract' as defined in the *Sale of Land Act 1962*:

- (a) any mortgage affecting the land sold must be discharged as to that land before the purchaser becomes entitled to possession or to the receipt of rents and profits unless the vendor satisfies section 29M of the *Sale of Land Act 1962*; and
- (b) the deposit and all other money payable under the contract (other than any money payable in excess of the amount required to so discharge the mortgage) must be paid to a legal practitioner or conveyancer or a licensed estate agent to be applied in or towards discharging the mortgage.

30.2 While any money remains owing each of the following applies:

- (a) the purchaser must maintain full damage and destruction insurance of the property and public risk insurance noting all parties having an insurable interest with an insurer approved in writing by the vendor;
- (b) the purchaser must deliver copies of the signed insurance application forms, the policies and the insurance receipts to the vendor not less than 10 days before taking possession of the property or becoming entitled to receipt of the rents and profits;
- (c) the purchaser must deliver copies of any amendments to the policies and the insurance receipts on each amendment or renewal as evidence of the status of the policies from time to time;
- (d) the vendor may pay any renewal premiums or take out the insurance if the purchaser fails to meet these obligations;
- (e) insurance costs paid by the vendor under paragraph (d) must be refunded by the purchaser on demand without affecting the vendor's other rights under this contract;
- (f) the purchaser must maintain and operate the property in good repair (fair wear and tear excepted) and keep the property safe, lawful, structurally sound, weatherproof and free from contaminations and dangerous substances;

- (g) the property must not be altered in any way without the written consent of the vendor which must not be unreasonably refused or delayed;
- (h) the purchaser must observe all obligations that affect owners or occupiers of land;
- (i) the vendor and/or other person authorised by the vendor may enter the property at any reasonable time to inspect it on giving 7 days written notice, but not more than twice in a year.

31. LOSS OR DAMAGE BEFORE SETTLEMENT

- 31.1 The vendor carries the risk of loss or damage to the property until settlement.
- 31.2 The vendor must deliver the property to the purchaser at settlement in the same condition it was in on the day of sale, except for fair wear and tear.
- 31.3 The purchaser must not delay settlement because one or more of the goods is not in the condition required by general condition 31.2 but may claim compensation from the vendor after settlement.
- 31.4 The purchaser may nominate an amount not exceeding \$5,000 to be held by a stakeholder to be appointed by the parties if the property is not in the condition required by general condition 31.2 at settlement.
- 31.5 The nominated amount may be deducted from the amount due to the vendor at settlement and paid to the stakeholder, but only if the purchaser also pays an amount equal to the nominated amount to the stakeholder.
- 31.6 The stakeholder must pay the amounts referred to in general condition 31.5 in accordance with the determination of the dispute, including any order for payment of the costs of the resolution of the dispute.

32. BREACH

A party who breaches this contract must pay to the other party on demand:

- (a) compensation for any reasonably foreseeable loss to the other party resulting from the breach; and
- (b) any interest due under this contract as a result of the breach.

Default

33. INTEREST

Interest at a rate of 2% per annum plus the rate for the time being fixed by section 2 of the *Penalty Interest Rates Act 1983* is payable at settlement on any money owing under the contract during the period of default, without affecting any other rights of the offended party.

34. DEFAULT NOTICE

- 34.1 A party is not entitled to exercise any rights arising from the other party's default, other than the right to receive interest and the right to sue for money owing, until the other party is given and fails to comply with a written default notice.
- 34.2 The default notice must:
 - (a) specify the particulars of the default; and

- (b) state that it is the offended party's intention to exercise the rights arising from the default unless, within 14 days of the notice being given -
 - (i) the default is remedied; and
 - (ii) the reasonable costs incurred as a result of the default and any interest payable are paid.

35. DEFAULT NOT REMEDIED

35.1 All unpaid money under the contract becomes immediately payable to the vendor if the default has been made by the purchaser and is not remedied and the costs and interest are not paid.

35.2 The contract immediately ends if:

- (a) the default notice also states that unless the default is remedied and the reasonable costs and interest are paid, the contract will be ended in accordance with this general condition; and
- (b) the default is not remedied and the reasonable costs and interest are not paid by the end of the period of the default notice.

35.3 If the contract ends by a default notice given by the purchaser:

- (a) the purchaser must be repaid any money paid under the contract and be paid any interest and reasonable costs payable under the contract; and
- (b) all those amounts are a charge on the land until payment; and
- (c) the purchaser may also recover any loss otherwise recoverable.

35.4 If the contract ends by a default notice given by the vendor:

- (a) the deposit up to 10% of the price is forfeited to the vendor as the vendor's absolute property, whether the deposit has been paid or not; and
- (b) the vendor is entitled to possession of the property; and
- (c) in addition to any other remedy, the vendor may within one year of the contract ending either:
 - (i) retain the property and sue for damages for breach of contract; or
 - (ii) resell the property in any manner and recover any deficiency in the price on the resale and any resulting expenses by way of liquidated damages; and
- (d) the vendor may retain any part of the price paid until the vendor's damages have been determined and may apply that money towards those damages; and
- (e) any determination of the vendor's damages must take into account the amount forfeited to the vendor.

35.5 The ending of the contract does not affect the rights of the offended party as a consequence of the default.

GUARANTEE and INDEMNITY

I/We, of

and of

being the **Sole Director / Directors** of ACN

(called the "Guarantors") IN CONSIDERATION of the Vendor selling to the Purchaser at our request the Land described in this Contract of Sale for the price and upon the terms and conditions contained therein **DO** for ourselves and our respective executors and administrators **JOINTLY AND SEVERALLY COVENANT** with the said Vendor and their assigns that if at any time default shall be made in payment of the Deposit Money or residue of Purchase Money or interest or any other moneys payable by the Purchaser to the Vendor under this Contract or in the performance or observance of any term or condition of this Contract to be performed or observed by the Purchaser I/we will immediately on demand by the Vendor pay to the Vendor the whole of the Deposit Money, residue of Purchase Money, interest or other moneys which shall then be due and payable to the Vendor and indemnify and agree to keep the Vendor indemnified against all loss of Deposit Money, residue of Purchase Money, interest and other moneys payable under the within Contract and all losses, costs, charges and expenses whatsoever which the Vendor may incur by reason of any default on the part of the Purchaser. This Guarantee shall be a continuing Guarantee and Indemnity and shall not be released by:-

- a) any neglect or forbearance on the part of the Vendor in enforcing payment of any of the moneys payable under the within Contract;
- b) the performance or observance of any of the agreements, obligations or conditions under the within Contract;
- c) by time given to the Purchaser for any such payment performance or observance;
- d) by reason of the Vendor assigning his, her or their rights under the said Contract; and
- e) by any other thing which under the law relating to sureties would but for this provision have the effect of releasing me/us, my/our executors or administrators.

IN WITNESS whereof the parties hereto have set their hands and seals

this day of 20.....

SIGNED SEALED AND DELIVERED by the said)
)
 Print Name.....)

in the presence of:) **Director (Sign)**
)

Witness.....)

SIGNED SEALED AND DELIVERED by the said)
)
 Print Name.....)

in the presence of:) **Director (Sign)**
)

Witness.....)

SPECIAL CONDITIONS

Special condition 1 – Purchaser’s acknowledgements

The land and buildings as sold hereby and inspected by the purchaser is sold on the basis of existing improvements including fencing, sheds, swimming pool or spa (if applicable) and the purchaser shall not make any requisition or claim any compensation for any deficiency, defect or noncompliance of the said improvements as to their suitability for occupation or otherwise including any requisition in relation to the issue or non-issue of Building Permits and/or completion of inspections or compliance by the relevant authorities in respect of any improvements herein.

Special condition 2 – Settlement re-scheduling fee

Without limiting any other rights of the Vendor, the Purchaser acknowledges and agrees notwithstanding any other provision in this contract, if the Purchaser delays settlement for any reason whatsoever or requests an extension or variation to the due date, the Purchaser must pay costs incurred as a result of each delay, being \$200.00 plus GST. This is in addition to any other costs the Purchaser is liable for under this Contract and this fee is to be allowed on the Adjustment statement.

Special condition 3 – Auction

3.1 If the Property is offered for sale by public auction (subject to the vendor’s reserve price), the Rules for the conduct of the auction shall be as set out in the Schedules to the Sale of Land (Public Auctions) Regulations 2014 or any rules prescribed by regulations which may modify or replace those, Rules.

3.2 In addition to the Statutory Rules applicable to this auction, the following conditions apply:

3.2.1 The bidder to whom the auctioneer knocks the property down is the Purchaser and must, immediately on the fall of the hammer, sign this contract and pay the deposit.

3.2.2 If the Purchaser does not sign the Contract and pay the deposit within 15 minutes after the auctioneer has knocked the property down, the vendor may sell the property by auction or private treaty to any other person, and the Purchaser:

- (a) has no right of action against the Vendor or the Vendor’s agent or auctioneer.
- (b) is not entitled to call for a contract of sale of the property.
- (c) has no legal or equitable interest in the property; and
- (d) must pay the Vendor on demand a deficiency in price on the re-sale (if any) and the Vendor’s costs and expenses of re-sale.

Special condition 4 – Representations, warranties and acknowledgments

4.1 The Purchaser enters into this Contract entirely because of the Purchaser’s own enquiries and the Purchaser warrants to the Vendor that it has not nor has anyone on the Vendor’s behalf made any representation other than as set out in this Contract which has in any manner influenced the Purchaser to enter into this Contract. The Purchaser does not rely on any representation letter document correspondence or arrangement whether oral or in writing as adding to or amending the terms conditions warranties and arrangements set out in this written Contract.

Special condition 5 – Purchaser’s Acknowledgements – Identity of Land

5.1 The purchaser admits that the property as offered for sale and inspected by it is identical with that described in the title particulars give in the Particulars of Sale to this Contract.

Special condition 6 – Finance

General Condition 20.2(c) is hereby deleted and replaced with the following:

“(c) The Purchaser must serve written notice terminating this Contract, accompanied by a formal letter on the letterhead of an approved lending institution (not a mortgage broker) confirming the rejection or non-approval of the Purchaser's loan application. Such notice must be provided to the Vendor within two (2) clear business days after the Approval Date or any later date as agreed in writing by the Vendor.”

For the purposes of this Contract, a "business day" means any day other than a Saturday, Sunday or public holiday proclaimed in the State of Victoria, and the hours of a business day shall be deemed to be from 9:00 a.m. to 5:00 p.m.

In addition to the above, the following amendments and requirements shall apply to General Condition 20:

2.1 General Condition 20.2(b) is amended by inserting the words “and provides evidence satisfactory to the Vendor of those endeavors” after the word “loan”.

2.2 If the Purchaser seeks to end the Contract on the grounds of non-approval of finance by the Approval Date, the Purchaser must provide written evidence from the nominated lending institution (not a mortgage broker) confirming such rejection. Failure to provide such evidence shall be deemed as finance approval, and the Contract shall be treated as unconditional with respect to finance.

Special condition 7 – FIRB

7.1 The Purchaser warrants it is ordinarily resident in Australia and does not require the consent of the Foreign Investment Review Board (“FIRB”) to the purchase of the property. In the event, notwithstanding this warranty, any fine or penalty is incurred by the Vendor for the purchaser’s non-compliance to the Foreign Acquisitions and Takeovers Act 1975 relating to the foreign acquisition of certain land interests and to foreign control of certain business enterprises and mineral rights, then the Purchaser shall indemnify and keep indemnified the Vendor against such fine or penalty. This clause shall not merge on completion

Special condition 8 – Adjustments

8.1 General condition 23.3 is replaced with the following: 23.3 The purchaser must provide copies of all certificates and other information used to calculate the adjustments under general condition 23, if requested by the vendor. All certificates and information shall be issued within 3 months from the date of and prior to settlement. The responsibility of the purchaser to provide the certificates and information is irrespective of the validity of any document or information provided contained in the Vendor’s Statement

Special condition 9 – Swimming Pools & Spa

The vendor makes no guarantees or representations that any pool or spa on the property has been registered with the relevant council or that the pool or spa has a compliant safety barrier. The purchaser acknowledges and agrees that it shall be responsible for registering the pool or spa with the council. The purchaser may not make any objection or a requisition, claim any compensation or delay settlement as a result of a pool or spa does not have a compliant safety barrier or because of the issue or no issuance, lodgement or non-lodgement of any certificate of barrier compliance.

Special condition 10 – Nomination

To validly nominate a substitute or additional purchaser under General Condition 4, the

Purchaser must:

- a) make its nomination in writing to the Vendor not less than 14 days before the Settlement Date.
- b) ensure the nomination includes an acknowledgement by the nominee that the Vendor's legal Costs of re-preparing documentation arising from the nomination are paid at Settlement.
- c) not be in default under this Contract of Sale when the nomination is made.
- d) The Purchaser acknowledges (and must procure the acknowledgement of the nominee) that the Vendor will incur additional legal Costs arising from the Purchaser's nomination as the Vendor's Lawyer/Conveyancer will be required to re-prepare records, re-prepare the State Revenue Office's stamp duty declaration and re-prepare the notices of disposition. The Purchaser (or its nominee) agrees to pay the Vendor's legal costs of \$220.00 in relation to the nomination, payable at Settlement.

Special condition 11 – Condition of the Property

11.1 The property and any chattels are sold:

- (a) in their present condition and state of repair.
- (b) subject to all defects latent and patent.
- (c) subject to any infestations and dilapidation.
- (d) subject to all existing water, sewage, drainage and plumbing services and connections in respect of the property.
- (e) Subject to any non-compliance, that is disclosed herein, with the Local Government Act or any Ordinance under that Act in respect of any building on the land; and
- (f) subject to all easements, covenants, leases, encumbrances, appurtenant easements and encumbrances and restrictions (if any) as set out herein or attached hereto whether known to the Vendor or not. The purchaser should make his own enquiries whether any structures or buildings are constructed over any easements prior to signing the contract, otherwise the purchaser accepts the location of all buildings and shall not make any claim in relation thereto

11.2. The Purchaser acknowledges having carried out his/ her own searches with the relevant council/water and any other authority applicable to the property for accurate information and has obtained all information in relation to all matter and relies and admits that he/she is satisfied with the

same. The Purchaser cannot seek any costs or claim compensation from the Vendor in relation to any search and or information obtained by the Purchaser.

11.3. The purchaser agrees not to seek to terminate rescind or make any objection requisition or claim for compensation arising out of any of the matters covered by this clause.

11.4. No failure of any buildings or improvements to comply with any planning or building legislation regulations or bylaws or any planning permit constitutes a defect in the vendor's title or affects the validity of this contract.

11.5 The purchaser further acknowledges that any improvements on the property may be subject to or require compliance with Victorian Building Regulations, Municipal By-Laws, relevant statutes and/or other regulations thereunder and any repealed laws under which the improvements were or should have been constructed. Any failure to comply with any one or more of those laws or regulations shall not be deemed to constitute a defect in title and the purchaser shall not claim any compensation whatsoever nor require the vendor to comply with any of the above-mentioned laws and regulations or carry out any final inspections including any requirement to fence any pool or spa or install smoke detectors. The purchaser shall not make any requisition or claim any compensation for any deficiency or defect in the said improvements as to their suitability for occupation or otherwise include any requisition in relation to the issue or non-issue of Building Permits and/or completion of inspections by the relevant authorities in respect of any improvements herein. The purchaser agrees not to seek to terminate, rescind or make any objection, requisition or claim compensation in relation to anything referred to in this special condition.

Special condition 12 – Dwelling

The land and buildings (if any) as sold hereby and inspected by the purchaser are sold based on existing improvements thereon and the purchaser shall not make any requisition or claim any compensation for any deficiency or defect in the said improvements as to their suitability for occupation or otherwise including any requisition in relation to the issue or non-issue of Building Permits and/or completion of inspections by the relevant authorities in respect of any improvements herein.

Special condition 13- Default Notice

The vendor gives notice to the Purchaser that in the event that the Purchaser fails to complete the purchase of the property on the due date specified in the contract of sale or any other date as may have been mutually agreed to by the parties, then the Purchaser will pay to the Vendor.

13.1 Interest on the balance owing under the Contract of sale, from the due date, at the rate of 2% per annum plus the rate for the time being fixed by the Penalty Interest Rates Act 1983 as well as the following expenses.

13.2 All reasonably foreseeable losses incurred by the vendor resulting from the purchaser's breach of this contract of sale. which includes additional legal fees of the Vendor's Solicitor, and legal costs of Notice of Default, which amounts are to be paid at settlement.

13.3 In the event the Vendor is required to issue a Default Notice, the Purchaser shall pay the cost of \$800 + GST due to the Vendor's Solicitors, for each Default Notice issued.

13.4 Without limiting any other rights of the Vendor, if the Purchaser fails to settle on the due date for Settlement as set out in the particulars of sale to this Contract or on a subsequent date to which the vendor has agreed to, the Purchaser shall pay to the Vendor's solicitors an amount of \$300 + GST for each extension of date, representing the contribution to the Vendor's additional legal costs. This provision does not intend to limit the rights of the Vendor under this contract.

Special condition 14- Reasonably Foreseeable Loss for failing to settle

In GC 32 & the expression "any reasonably foreseeable loss" (without limiting the generality of those words) include:

14.1 all costs and expenses incurred by the vendor as a result of the delay/breach from the settlement date on the contract of Sale.

14.2 additional legal costs, expenses and disbursements between the Solicitor and Vendor due to the delay/breach, including legal costs of Notice of Default, which amounts are to be paid at settlement.

14.3 all additional interest, penalties, fees and charges payable to lenders under any existing mortgages over the property calculated from the due date including bridging loans.

14.4 Penalties payable by the vendor to a third party resulting from the delay in completion of this settlement.

14.5 all costs incurred by the Vendor either directly or indirectly in reselling the property including but not limited to the cost of marketing, advertising and commissions; incurred by the Vendor as a result of the Purchaser failing to pay the residue of the Price (except where the failure has arisen because of the Vendor being in breach of this contract) on the date fixed by the Contract or any other date agreed by the parties.

Special condition 15. Land Tax

15.1 General Condition 23.2(b) is deleted.

15.2 For the purpose of General Condition 23, land tax and windfall gains tax will not be adjusted at settlement, pursuant to section 10G and 10H of the Sale of Land Act 1962 (Vic).

Special condition 16. Condition of the Walls

(a) If on or before the day of sale, the Vendor has affixed, applied or installed implements on the walls of the building or the property for the purpose of displaying pictures or other decorative items, the Vendor will not be required or obliged to remove such implements if such items are removed, or to restore or reinstate the walls and the Purchaser buys the property subject to the condition of the walls the day of sale.

(b) The Purchaser acknowledges that the Vendor has affixed, applied and/or installed fixtures & fittings on the walls of the property for the purposes of, but not limited to hanging pictures, shelving, and/or TV brackets. The Purchaser will not call upon the Vendor to repair, rectify and/or reinstate any item or condition of the walls and doors of the dwelling.

(c) The Purchaser acknowledges the provisions of GC 31 and will not call upon the Vendor to clean, maintain, repair or replace any fixtures, fittings, or any item included in the sale of this property.

INFORMATION ONLY

Vendor Statement

The vendor makes this statement in respect of the land in accordance with section 32 of the *Sale of Land Act 1962*.

This statement must be signed by the vendor and given to the purchaser before the purchaser signs the contract.
The vendor may sign by electronic signature.

The purchaser acknowledges being given this statement signed by the vendor with the attached documents before the purchaser signed any contract.

Land	12 ALISTERUS ROAD, KALKALLO VIC 3064
-------------	--------------------------------------

Vendor's name	SHAVETA JOSHI	Date	/ /
Vendor's signature	_____		
Vendor's name	VISHAL JOSHI	Date	/ /
Vendor's signature	_____		

Purchaser's name		Date	/ /
Purchaser's signature	_____		
Purchaser's name		Date	/ /
Purchaser's signature	_____		

1. FINANCIAL MATTERS

1.1 Particulars of any Rates, Taxes, Charges or Other Similar Outgoings (and any interest on them)

(a) Their total does not exceed: \$5,000.00

1.2 Particulars of any Charge (whether registered or not) imposed by or under any Act to secure an amount due under that Act, including the amount owing under the charge

\$0.00	To	
--------	----	--

Other particulars (including dates and times of payments):

1.3 Terms Contract

This section 1.3 only applies if this vendor statement is in respect of a terms contract where the purchaser is obliged to make 2 or more payments (other than a deposit or final payment) to the vendor after the execution of the contract and before the purchaser is entitled to a conveyance or transfer of the land.

Not Applicable

1.4 Sale Subject to Mortgage

This section 1.4 only applies if this vendor statement is in respect of a contract which provides that any mortgage (whether registered or unregistered), is NOT to be discharged before the purchaser becomes entitled to possession or receipts of rents and profits.

Not Applicable

1.5 Commercial and Industrial Property Tax Reform Act 2024 (Vic) (CIPT Act)

(a) The Australian Valuation Property Classification Code (within the meaning of the CIPT Act) most recently allocated to the land is set out in the attached Municipal rates notice or property clearance certificate or is as follows	AVPC No.
(b) Is the land tax reform scheme land within the meaning of the CIPT Act?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
(c) If the land is tax reform scheme land within the meaning of the CIPT Act, the entry date within the meaning of the CIPT Act is set out in the attached Municipal rates notice or property clearance certificate or is as follows	Date: OR <input checked="" type="checkbox"/> Not applicable

2. INSURANCE

2.1 Damage and Destruction

This section 2.1 only applies if this vendor statement is in respect of a contract which does NOT provide for the land to remain at the risk of the vendor until the purchaser becomes entitled to possession or receipt of rents and profits.

Not Applicable

2.2 Owner Builder

This section 2.2 only applies where there is a residence on the land that was constructed by an owner-builder within the preceding 6 years and section 137B of the Building Act 1993 applies to the residence.

Not Applicable

3. LAND USE

3.1 Easements, Covenants or Other Similar Restrictions

(a) A description of any easement, covenant or other similar restriction affecting the land (whether registered or

unregistered):

Is in the attached copies of title document/s

(b) Particulars of any existing failure to comply with that easement, covenant or other similar restriction are:

Not Applicable

3.2 Road Access

There is NO access to the property by road if the square box is marked with an 'X'

3.3 Designated Bushfire Prone Area

The land is in a designated bushfire prone area within the meaning of section 192A of the *Building Act* 1993 if the square box is marked with an 'X'

3.4 Planning Scheme

Attached is a certificate with the required specified information.

4. NOTICES

4.1 Notice, Order, Declaration, Report or Recommendation

Particulars of any notice, order, declaration, report or recommendation of a public authority or government department or approved proposal directly and currently affecting the land, being a notice, order, declaration, report, recommendation or approved proposal of which the vendor might reasonably be expected to have knowledge:

Not Applicable

4.2 Agricultural Chemicals

There are NO notices, property management plans, reports or orders in respect of the land issued by a government department or public authority in relation to livestock disease or contamination by agricultural chemicals affecting the ongoing use of the land for agricultural purposes. However, if this is not the case, the details of any such notices, property management plans, reports or orders, are as follows:

NIL

4.3 Compulsory Acquisition

The particulars of any notices of intention to acquire that have been served under section 6 of the *Land Acquisition and Compensation Act* 1986 are as follows:

NIL

5. BUILDING PERMITS

Particulars of any building permit issued under the *Building Act* 1993 in the preceding 7 years (required only where there is a residence on the land):

Are contained in the attached certificate

6. OWNERS CORPORATION

This section 6 only applies if the land is affected by an owners corporation within the meaning of the *Owners Corporations Act* 2006.

Not Applicable

7. GROWTH AREAS INFRASTRUCTURE CONTRIBUTION ("GAIC")

Words and expressions in this section 7 have the same meaning as in Part 9B of the *Planning and Environment Act* 1987.

Not Applicable

8. SERVICES

The services which are marked with an 'X' in the accompanying square box are NOT connected to the land:

Electricity supply <input type="checkbox"/>	Gas supply <input checked="" type="checkbox"/>	Water supply <input type="checkbox"/>	Sewerage <input type="checkbox"/>	Telephone services <input checked="" type="checkbox"/>
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9. TITLE

Attached are copies of the following documents:

9.1 (a) Registered Title

A Register Search Statement and the document, or part of a document, referred to as the 'diagram location' in that statement which identifies the land and its location.

9.2 Evidence of the vendor's right or power to sell (where the vendor is not the registered proprietor or the owner in fee simple).

10. SUBDIVISION

10.1 Unregistered Subdivision

This section 10.1 only applies if the land is subject to a subdivision which is not registered.

Not Applicable

10.2 Staged Subdivision

This section 10.2 only applies if the land is part of a staged subdivision within the meaning of section 37 of the *Subdivision Act 1988*.

(a) Attached is a copy of the plan for the first stage if the land is in the second or subsequent stage.

(b) The requirements in a statement of compliance relating to the stage in which the land is included that have Not been complied With are As follows:

NIL

(c) The proposals relating to subsequent stages that are known to the vendor are as follows:

NIL

(d) The contents of any permit under the Planning and Environment Act 1987 authorising the staged subdivision are:

NIL

10.3 Further Plan of Subdivision

This section 10.3 only applies if the land is subject to a subdivision in respect of which a further plan within the meaning of the *Subdivision Act 1988* is proposed.

Not Applicable

11. DISCLOSURE OF ENERGY INFORMATION

(Disclosure of this information is not required under section 32 of the Sale of Land Act 1962 but may be included in this vendor statement for convenience.)

Details of any energy efficiency information required to be disclosed regarding a disclosure affected building or disclosure area affected area of a building as defined by the *Building Energy Efficiency Disclosure Act 2010* (Cth)

(a) to be a building or part of a building used or capable of being used as an office for administrative, clerical, professional or similar based activities including any support facilities; and

(b) which has a net lettable area of at least 1000m²; (but does not include a building under a strata title system or if an occupancy permit was issued less than 2 years before the relevant date):

Not Applicable

12. DUE DILIGENCE CHECKLIST

(The Sale of Land Act 1962 provides that the vendor or the vendor's licensed estate agent must make a prescribed due diligence checklist available to purchasers before offering land for sale that is vacant residential land or land on which there is a residence. The due diligence checklist is NOT required to be provided with, or attached to, this vendor statement but the checklist may be attached as a matter of convenience.)

Is attached

13. ATTACHMENTS

(Any certificates, documents and other attachments may be annexed to this section 13)

*(Additional information may be added to this section 13 where there is insufficient space in any of the earlier sections)
(Attached is an "Additional Vendor Statement" if section 1.3 (Terms Contract) or section 1.4 (Sale Subject to Mortgage) applies)*

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INFORMATION ONLY

Due diligence checklist

What you need to know before buying a residential property

Before you buy a home, you should be aware of a range of issues that may affect that property and impose restrictions or obligations on you, if you buy it. This checklist aims to help you identify whether any of these issues will affect you. The questions are a starting point only and you may need to seek professional advice to answer some of them. You can find links to organisations and web pages that can help you learn more, by visiting the [Due diligence checklist page on the Consumer Affairs Victoria website](http://consumer.vic.gov.au/duediligencechecklist) (consumer.vic.gov.au/duediligencechecklist).

Urban living

Moving to the inner city?

High density areas are attractive for their entertainment and service areas, but these activities create increased traffic as well as noise and odours from businesses and people. Familiarising yourself with the character of the area will give you a balanced understanding of what to expect.

Is the property subject to an owners corporation?

If the property is part of a subdivision with common property such as driveways or grounds, it may be subject to an owners corporation. You may be required to pay fees and follow rules that restrict what you can do on your property, such as a ban on pet ownership.

Growth areas

Are you moving to a growth area?

You should investigate whether you will be required to pay a growth areas infrastructure contribution.

Flood and fire risk

Does this property experience flooding or bushfire?

Properties are sometimes subject to the risk of fire and flooding due to their location. You should properly investigate these risks and consider their implications for land management, buildings and insurance premiums.

Rural properties

Moving to the country?

If you are looking at property in a rural zone, consider:

- Is the surrounding land use compatible with your lifestyle expectations? Farming can create noise or odour that may be at odds with your expectations of a rural lifestyle.
- Are you considering removing native vegetation? There are regulations which affect your ability to remove native vegetation on private property.
- Do you understand your obligations to manage weeds and pest animals?

Can you build new dwellings?

Does the property adjoin crown land, have a water frontage, contain a disused government road, or are there any crown licences associated with the land?

Is there any earth resource activity such as mining in the area?

You may wish to find out more about exploration, mining and quarrying activity on or near the property and consider the issue of petroleum, geothermal and greenhouse gas sequestration permits, leases and licences, extractive industry authorisations and mineral licences.

Soil and groundwater contamination

Has previous land use affected the soil or groundwater?

You should consider whether past activities, including the use of adjacent land, may have caused contamination at the site and whether this may prevent you from doing certain things to or on the land in the future.

(04/10/2016)

Land boundaries

Do you know the exact boundary of the property?

You should compare the measurements shown on the title document with actual fences and buildings on the property, to make sure the boundaries match. If you have concerns about this, you can speak to your lawyer or conveyancer, or commission a site survey to establish property boundaries.

Planning controls

Can you change how the property is used, or the buildings on it?

All land is subject to a planning scheme, run by the local council. How the property is zoned and any overlays that may apply, will determine how the land can be used. This may restrict such things as whether you can build on vacant land or how you can alter or develop the land and its buildings over time.

The local council can give you advice about the planning scheme, as well as details of any other restrictions that may apply, such as design guidelines or bushfire safety design. There may also be restrictions – known as encumbrances – on the property's title, which prevent you from developing the property. You can find out about encumbrances by looking at the section 32 statement.

Are there any proposed or granted planning permits?

The local council can advise you if there are any proposed or issued planning permits for any properties close by. Significant developments in your area may change the local 'character' (predominant style of the area) and may increase noise or traffic near the property.

Safety

Is the building safe to live in?

Building laws are in place to ensure building safety. Professional building inspections can help you assess the property for electrical safety, possible illegal building work, adequate pool or spa fencing and the presence of asbestos, termites, or other potential hazards.

Building permits

Have any buildings or retaining walls on the property been altered, or do you plan to alter them?

There are laws and regulations about how buildings and retaining walls are constructed, which you may wish to investigate to ensure any completed or proposed building work is approved. The local council may be able to give you information about any building permits issued for recent building works done to the property, and what you must do to plan new work. You can also commission a private building surveyor's assessment.

Are any recent building or renovation works covered by insurance?

Ask the vendor if there is any owner-builder insurance or builder's warranty to cover defects in the work done to the property.

Utilities and essential services

Does the property have working connections for water, sewerage, electricity, gas, telephone and internet?

Unconnected services may not be available, or may incur a fee to connect. You may also need to choose from a range of suppliers for these services. This may be particularly important in rural areas where some services are not available.

Buyers' rights

Do you know your rights when buying a property?

The contract of sale and section 32 statement contain important information about the property, so you should request to see these and read them thoroughly. Many people engage a lawyer or conveyancer to help them understand the contracts and ensure the sale goes through correctly. If you intend to hire a professional, you should consider speaking to them before you commit to the sale. There are also important rules about the way private sales and auctions are conducted. These may include a cooling-off period and specific rights associated with 'off the plan' sales. The important thing to remember is that, as the buyer, you have rights.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12615 FOLIO 576

Security no : 124127542460U
Produced 27/08/2025 04:43 PM

LAND DESCRIPTION

Lot 33220 on Plan of Subdivision 905623S.
PARENT TITLE Volume 12614 Folio 744
Created by instrument PS905623S 30/05/2025

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
SHAVETA JOSHI
VISHAL JOSHI both of 7 SYMPHONY ROAD CRAIGIEBURN VIC 3064
AZ266980L 13/06/2025

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AZ266981J 13/06/2025
COMMONWEALTH BANK OF AUSTRALIA

COVENANT PS905623S 30/05/2025

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS905623S FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
PS905623S (B)	PLAN OF SUBDIVISION	Registered	30/05/2025
AZ266980L (E)	TRANSFER	Registered	13/06/2025
AZ266981J (E)	MORTGAGE	Registered	13/06/2025
AZ343936L (E)	TRANSFER CONTROL OF ECT	Completed	03/07/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

ADMINISTRATIVE NOTICES

NIL

eCT Control 18601V BANKWEST
Effective from 03/07/2025

DOCUMENT END



Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	PS905623S
Number of Pages (excluding this cover sheet)	7
Document Assembled	27/08/2025 16:43

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PLAN OF SUBDIVISION			EDITION 1	PS 905623S
<p style="text-align: center;">LOCATION OF LAND</p> <p>PARISH: KALKALLO</p> <p>TOWNSHIP: -</p> <p>SECTION: -</p> <p>CROWN ALLOTMENT: -</p> <p>CROWN PORTION: 26 (PART)</p> <p>TITLE REFERENCE: VOL 12614 FOL 744</p> <p>LAST PLAN REFERENCE: LOT M ON PS927221Q</p> <p>POSTAL ADDRESS: 300M HUME FREEWAY (at time of subdivision) KALKALLO 3064</p> <p>MGA 94 CO-ORDINATES: E 319 080 ZONE: 55 (approx. centre of land in plan) N 5 845 970</p>			<p>Council Name: Hume City Council</p> <p>Council Reference Number: S010279 Planning Permit Reference: P20695 SPEAR Reference Number: S218287H</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 28/12/2023</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied for: this plan</p> <p>Digitally signed by: Antonino Magazzu for Hume City Council on 07/05/2025</p> <p>Statement of Compliance issued: 09/05/2025</p>	
VESTING OF ROADS AND/OR RESERVES			NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON		STAGING	THIS IS IS NOT A STAGED SUBDIVISION PLANNING PERMIT NO. P20695
ROAD R1	HUME CITY COUNCIL		SURVEY	THIS PLAN IS /IS NOT BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS NO(S) MERRIANG 20 & 40 KALKALLO 74 & 591 IN PROCLAIMED SURVEY AREA NO. 74
<p>WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant entry of the Register, noting section 88(3) of the Transfer of Land Act 1958</p>			DEPTH LIMITATION	DOES NOT APPLY
			<p>LOTS 1 TO 33200 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.</p> <p>EASEMENTS E-4, E-9 TO E-13, E-15 TO E-18, E-20 TO E-25 (ALL INCLUSIVE) & E-28 HAVE BEEN OMITTED FROM THIS PLAN.</p> <p>AREA OF LAND SUBDIVIDED IS 2.864ha.</p>	
EASEMENT INFORMATION				
LEGEND: E - ENCUMBERING EASEMENT, CONDITION IN CROWN GRANT IN THE NATURE OF AN EASEMENT OR OTHER ENCUMBRANCE A - APPURTENANT EASEMENT				
SUBJECT LAND	PURPOSE	WIDTH (metres)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
		SEE	SHEET 2	
CLOVERTON - 332		DP3b		
69 LOTS		LICENSED SURVEYOR GREGORY STUART WILLIAMS		
	VERIS AUSTRALIA PTY LTD A Level 3, 1 Southbank Blvd Southbank VIC 3006 T +61 3 7019 8400 E melbourne@veris.com.au W www.veris.com.au	DATE 28/03/25	REFERENCE 331637-ST332	ORIGINAL SHEET SIZE A3
		VERSION D	DRAWING 331637-ST332-AD	SHEET 1 OF 7 SHEETS
		Digitally signed by: Gregory S Williams, Licensed Surveyor, Surveyor's Plan Version (D), 01/04/2025, SPEAR Ref: S218287H		Land Use Victoria Plan Registered 04:46 PM 30/05/2025 Assistant Registrar of Titles

PLAN OF SUBDIVISION	PS 905623S
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EASEMENT INFORMATION

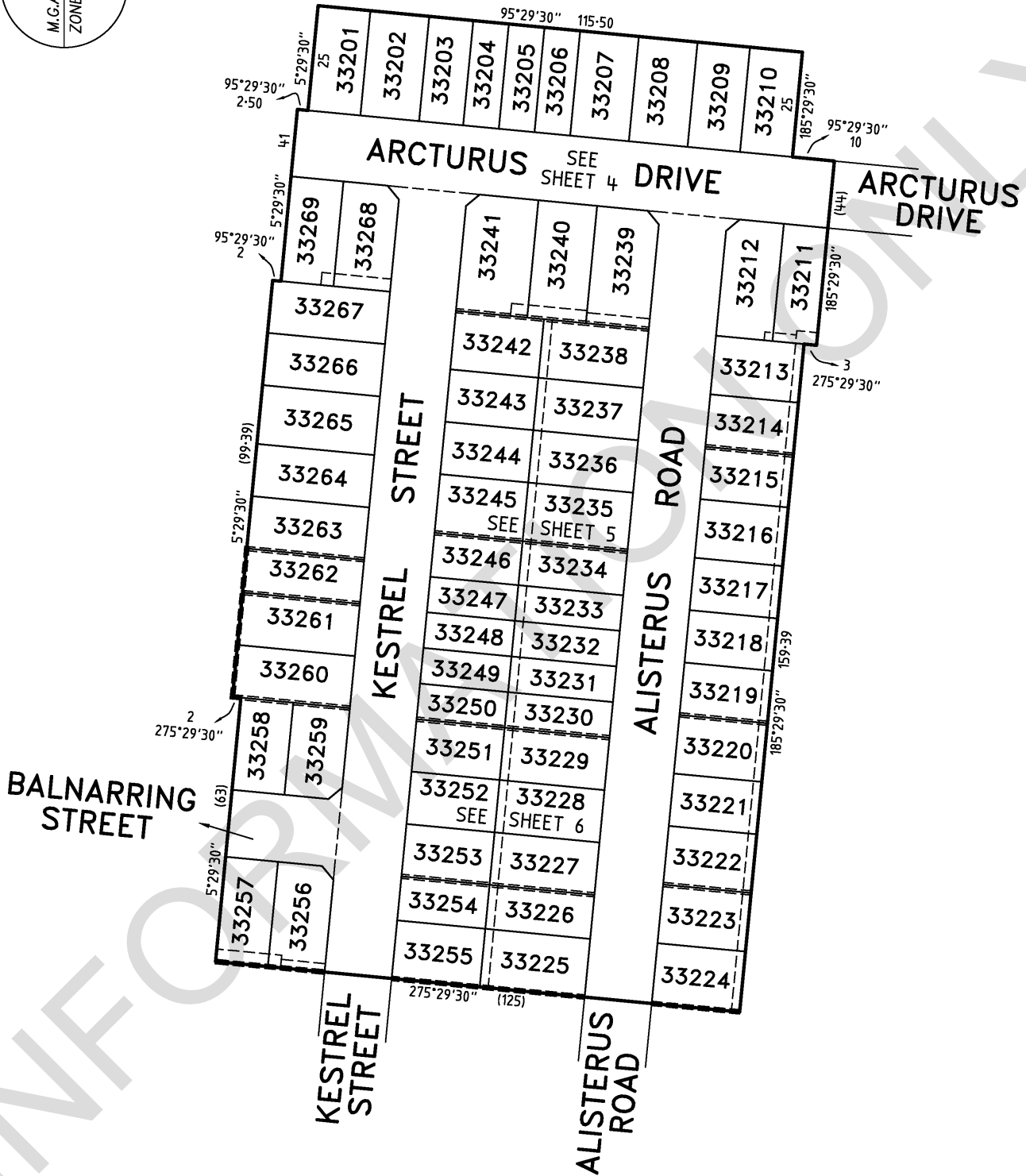
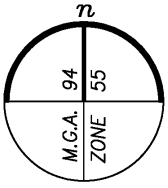
LEGEND: E - ENCUMBERING EASEMENT, CONDITION IN CROWN GRANT IN THE NATURE OF AN EASEMENT OR OTHER ENCUMBRANCE A - APPURTENANT EASEMENT
 *SUPPORT IS DEFINED AS ALL NECESSARY STRUCTURAL SUPPORT RIGHTS FOR RETAINING WALL PURPOSES

SUBJECT LAND	PURPOSE	WIDTH (metres)	ORIGIN	LAND BENEFITED/IN FAVOUR OF
E-1	DRAINAGE	SEE DIAG	THIS PLAN	HUME CITY COUNCIL
E-2	SEWERAGE	SEE DIAG	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-3 E-3	DRAINAGE SEWERAGE	SEE DIAG SEE DIAG	THIS PLAN THIS PLAN	HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION
E-5	*SUPPORT	0.50	THIS PLAN	THE RELEVANT ABUTTING LOTS ON THIS PLAN
E-6 E-6	*SUPPORT DRAINAGE	0.50 0.50	THIS PLAN THIS PLAN	THE RELEVANT ABUTTING LOTS ON THIS PLAN HUME CITY COUNCIL
E-7 E-7	*SUPPORT SEWERAGE	0.50 0.50	THIS PLAN THIS PLAN	THE RELEVANT ABUTTING LOTS ON THIS PLAN YARRA VALLEY WATER CORPORATION
E-8 E-8 E-8	*SUPPORT DRAINAGE SEWERAGE	0.50 0.50 0.50	THIS PLAN THIS PLAN THIS PLAN	THE RELEVANT ABUTTING LOTS ON THIS PLAN HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION
E-14	*SUPPORT	0.50	PS927194Q	VOL 12609 FOL 482 (LOT ZZZ ON PS927194Q)
E-19	*SUPPORT	0.50	SECTION 98 TLA 1958 (PS845608U)	THE RELEVANT ABUTTING LOTS ON PS845608U
E-26 E-26	*SUPPORT DRAINAGE	0.50 0.50	SECTION 98 TLA 1958 (PS845608U) PS908999C	THE RELEVANT ABUTTING LOTS ON PS845608U HUME CITY COUNCIL
E-27 E-27	*SUPPORT DRAINAGE	0.50 0.50	SECTION 98 TLA 1958 (PS845608U) THIS PLAN	THE RELEVANT ABUTTING LOTS ON PS845608U HUME CITY COUNCIL
E-29 E-29 E-29	*SUPPORT DRAINAGE SEWERAGE	0.50 0.50 0.50	SECTION 98 TLA 1958 (PS845608U) THIS PLAN THIS PLAN	THE RELEVANT ABUTTING LOTS ON PS845608U HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION
E-30	DRAINAGE	SEE DIAG	PS908999C	HUME CITY COUNCIL
E-31 E-31	DRAINAGE SEWERAGE	SEE DIAG SEE DIAG	PS908999C PS908999C	HUME CITY COUNCIL YARRA VALLEY WATER CORPORATION
E-32 E-32	*SUPPORT DRAINAGE	0.50 0.50	THIS PLAN PS908999C	THE RELEVANT ABUTTING LOTS ON THIS PLAN HUME CITY COUNCIL
A-1	*SUPPORT	0.50	PS927194Q	VOL 12609 FOL 481 (LOT EE ON PS927194Q)
A-2	*SUPPORT	0.50	PS845608U	VOL 12614 FOL 744 (LOT M ON PS927221Q)

CLOVERTON - 332		DP3b	LICENSED SURVEYOR GREGORY STUART WILLIAMS	
	VERIS AUSTRALIA PTY LTD A Level 3, 1 Southbank Blvd Southbank VIC 3006 T +61 3 7019 8400 E melbourne@veris.com.au W www.veris.com.au		DATE 28/03/25 REFERENCE 331637-ST332 VERSION D DRAWING 331637-ST332-AD	ORIGINAL SHEET SIZE A3 SHEET 2
	Digitally signed by: Gregory S Williams, Licensed Surveyor, Surveyor's Plan Version (D), 01/04/2025, SPEAR Ref: S218287H		Digitally signed by: Hume City Council, 07/05/2025, SPEAR Ref: S218287H	

PLAN OF SUBDIVISION

PS 905623S



CLOVERTON - 332

DP3b

LICENSED SURVEYOR **GREGORY STUART WILLIAMS**

SCALE
1:1000



VERIS AUSTRALIA PTY LTD
A | Level 3, 1 Southbank Blvd
Southbank VIC 3006
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E | melbourne@veris.com.au
W | www.veris.com.au

DATE **28/03/25** REFERENCE **331637-ST332**

VERSION **D** DRAWING **331637-ST332-AD**

ORIGINAL SHEET SIZE A3

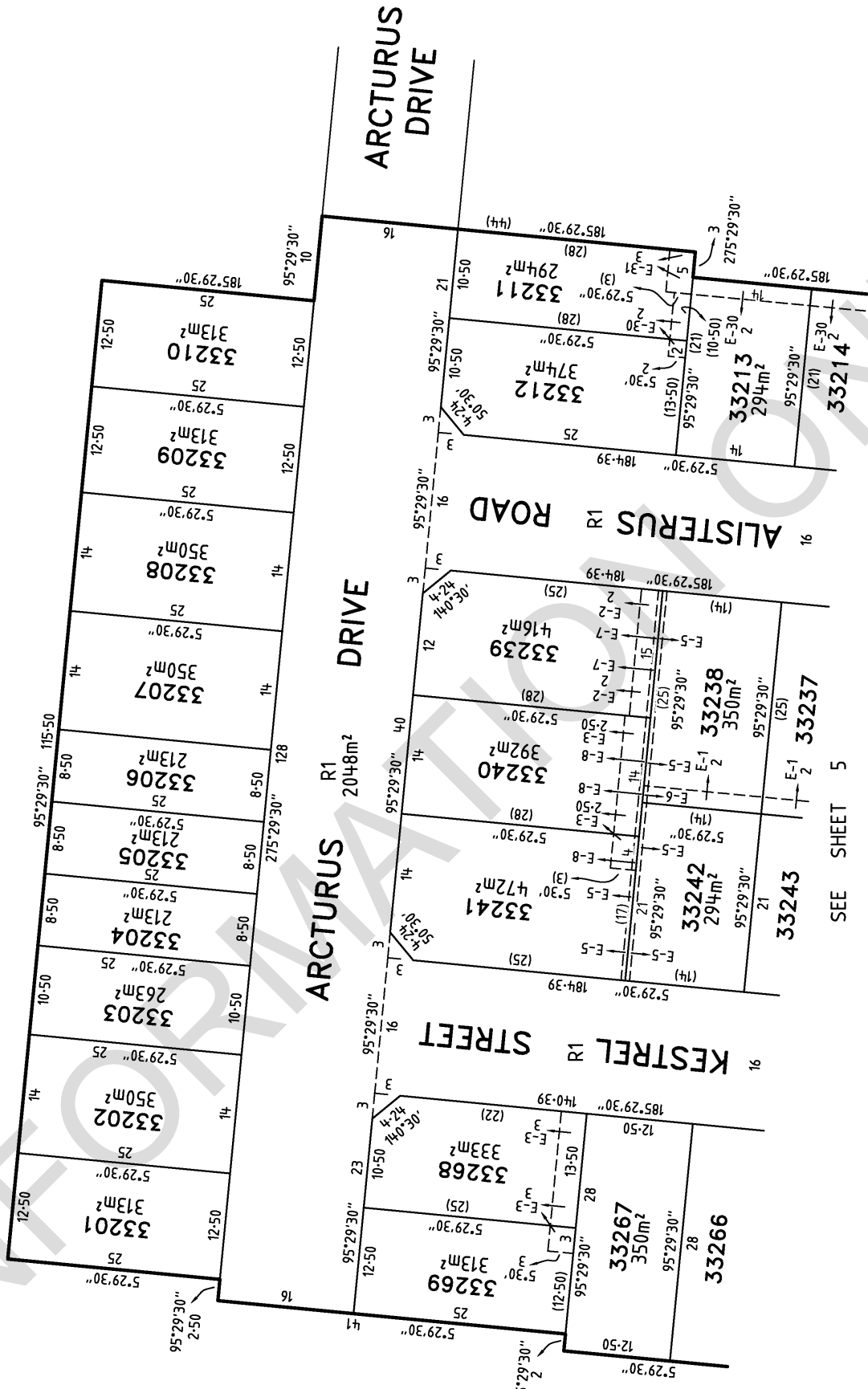
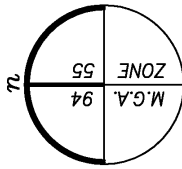
SHEET 3

Digitally signed by: Gregory S Williams, Licensed Surveyor,
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01/04/2025, SPEAR Ref: S218287H

Digitally signed by:
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07/05/2025,
SPEAR Ref: S218287H

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PLAN OF SUBDIVISION

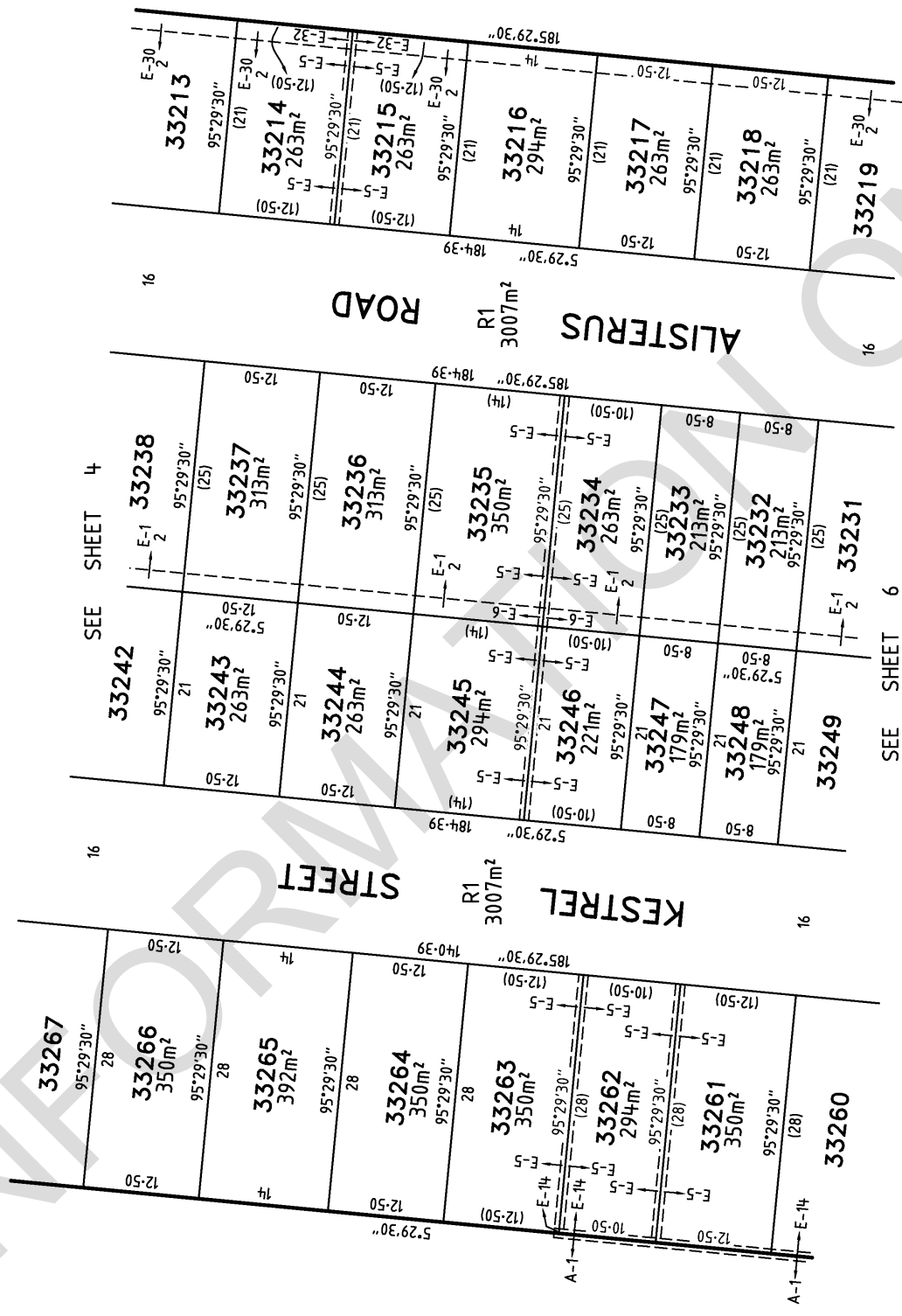
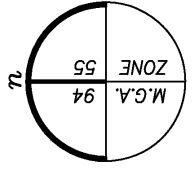


SEE SHEET 5

VERIS AUSTRALIA PTY LTD A Level 3, 1 Southbank Blvd Southbank, VIC 3006 T +61 3 7019 8400 E melbourne@veris.com.au W www.veris.com.au	CLOVERTON - 332		DP3b
	LICENSED SURVEYOR GREGORY STUART WILLIAMS		REFERENCE 331637-ST332 DRAWING 331637-ST332-AD
DATE 28/03/25		VERSION D	
VERIS		LICENSED SURVEYOR GREGORY STUART WILLIAMS	
Amended by: Gregory S Williams, Licensed Surveyor 30/05/2025.		Digitally signed by: Gregory S Williams, Licensed Surveyor, Surveyor's Plan Version (D), 01/04/2025, SPEAR Ref: S218287H	
SCALE 1:500		ORIGINAL SHEET SIZE A3	
LENGTHS ARE IN METRES 5 0 10 20		SHEET 4	

PS 905623S

PLAN OF SUBDIVISION

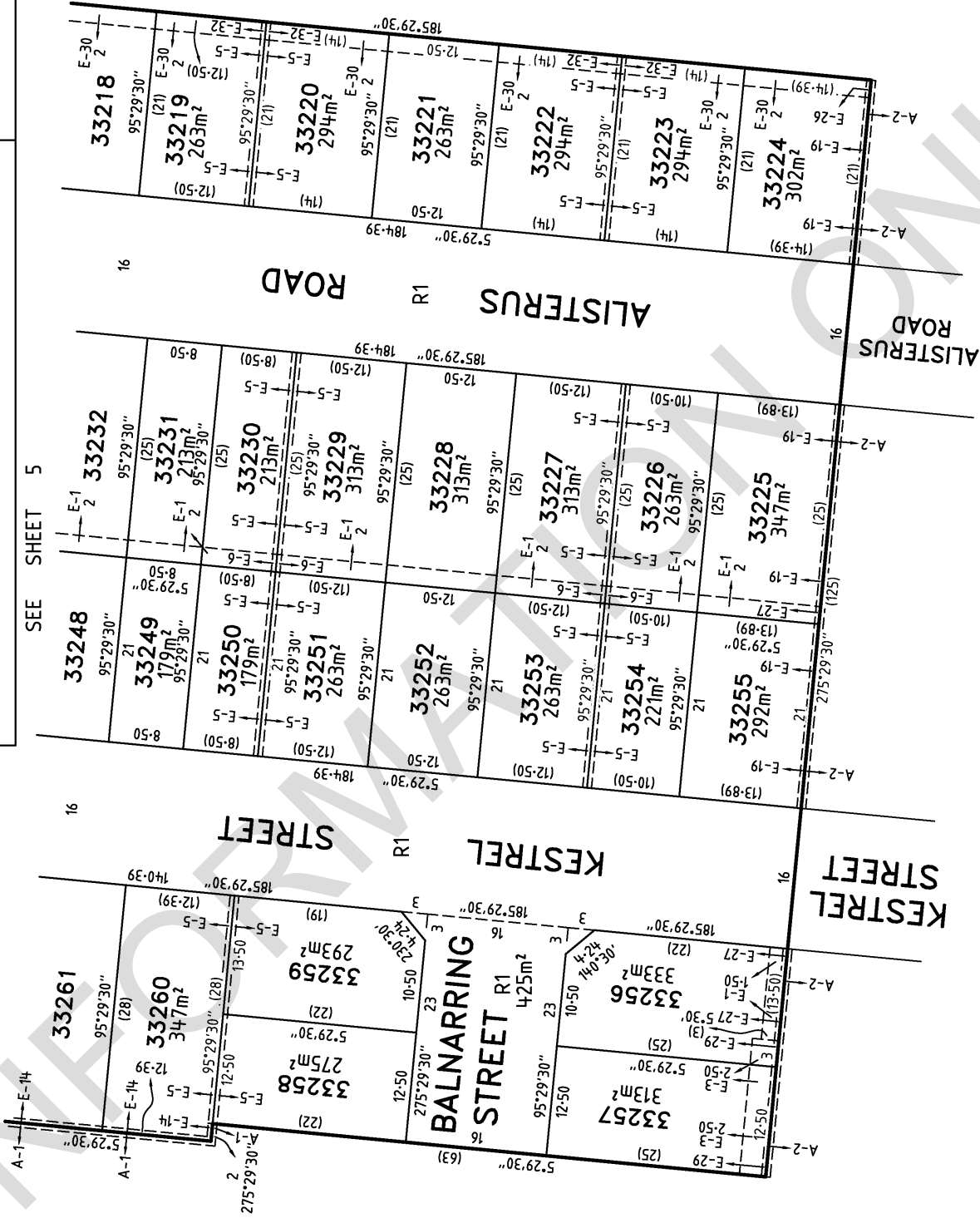
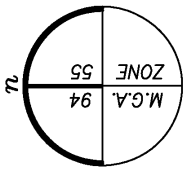


<p>VERIS AUSTRALIA PTY LTD A Level 3, 1 Southbank Blvd Southbank, VIC 3006 T +61 3 7019 8400 E melbourne@veris.com.au W www.veris.com.au</p>	<p>CLOVERTON - 332</p>		<p>SCALE 1:500</p>	<p>ORIGINAL SHEET SIZE A3</p>
	<p>LICENSED SURVEYOR GREGORY STUART WILLIAMS</p>		<p>LENGTHS ARE IN METRES 0 10 20</p>	<p>SHEET 5</p>
<p>DATE 28/03/25</p>		<p>REFERENCE 331637-ST332</p>	<p>Digitally signed by: Gregory S Williams, Licensed Surveyor, Surveyor's Plan Version (D), 01/04/2025, SPEAR Ref: S218287H</p>	
<p>VERSION D</p>		<p>DRAWING 331637-ST332-AD</p>	<p>Digitally signed by: Gregory S Williams, Licensed Surveyor, Surveyor's Plan Version (D), 01/04/2025, SPEAR Ref: S218287H</p>	

PS 905623S

PLAN OF SUBDIVISION

SEE SHEET 5



VERIS AUSTRALIA PTY LTD A Level 3, 1 Southbank Blvd Southbank, VIC 3006 T +61 3 7019 8400 E melbourne@veris.com.au W www.veris.com.au	CLOVERTON - 332	DP3b	SCALE 1:500	ORIGINAL SHEET SIZE A3
	LICENSED SURVEYOR GREGORY STUART WILLIAMS	REFERENCE 331637-ST332 DRAWING 331637-ST332-AD	LENGTHS ARE IN METRES 5 0 10 20	SHEET 6
DATE 28/03/25 VERSION D	Digitally signed by: Gregory S Williams, Licensed Surveyor, Surveyor's Plan Version (D), 01/04/2025, SPEAR Ref: S218287H			Digitally signed by: Hume City Council, 07/05/2025, SPEAR Ref: S218287H



PLAN OF SUBDIVISION

PS 905623S

CREATION OF RESTRICTION 'A'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

TABLE OF BURDENED AND BENEFITED LAND

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
33201	33202
33202	33201, 33203
33207	33206, 33208
33208	33207, 33209
33209	33208, 33210
33210	33209
33212	33211, 33213
33224	33223
33225	33226, 33255
33227	33226, 33228, 33253

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
33228	33227, 33229, 33252
33229	33228, 33230, 33251
33235	33234, 33236, 33245
33236	33235, 33237, 33244
33237	33236, 33238, 33243
33238	33237, 33239, 33240, 33242
33239	33238, 33240
33240	33238, 33239, 33241, 33242
33241	33240, 33242
33256	33257

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
33257	33256
33260	33258, 33259, 33261
33261	33260, 33262
33263	33262, 33264
33264	33263, 33265
33265	33264, 33266
33266	33265, 33267
33267	33266, 33268, 33269
33268	33267, 33269
33269	33267, 33268

RESTRICTION:

THE BURDENED LAND CANNOT BE USED EXCEPT IN ACCORDANCE WITH THE PROVISIONS RECORDED IN MCP AA010619
EXPIRY DATE: 01/01/2031

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

TABLE OF BURDENED AND BENEFITED LAND

BURDENED LOT SUBJECT TO TYPE 'A' OF THE SMALL LOT HOUSING CODE	BENEFITING LOTS ON THIS PLAN
33203	33202, 33204
33204	33203, 33205
33205	33204, 33206
33206	33205, 33207
33211	33212, 33213
33213	33211, 33212, 33214
33214	33213, 33215
33215	33214, 33216
33216	33215, 33217
33217	33216, 33218
33218	33217, 33219
33219	33218, 33220
33220	33219, 33221

BURDENED LOT SUBJECT TO TYPE 'A' OF THE SMALL LOT HOUSING CODE	BENEFITING LOTS ON THIS PLAN
33221	33220, 33222
33222	33221, 33223
33223	33222, 33224
33226	33225, 33227, 33254
33230	33229, 33231, 33250
33231	33230, 33232, 33249
33232	33231, 33233, 33248
33233	33232, 33234, 33247
33234	33233, 33235, 33246
33242	33238, 33240, 33241, 33243
33243	33237, 33242, 33244
33244	33236, 33243, 33245
33245	33235, 33244, 33246

BURDENED LOT SUBJECT TO TYPE 'A' OF THE SMALL LOT HOUSING CODE	BENEFITING LOTS ON THIS PLAN
33246	33234, 33245, 33247
33247	33233, 33246, 33248
33248	33232, 33247, 33249
33249	33231, 33248, 33250
33250	33230, 33249, 33251
33251	33229, 33250, 33252
33252	33228, 33251, 33253
33253	33227, 33252, 33254
33254	33226, 33253, 33255
33255	33227, 33254
33258	33259, 33260
33262	33261, 33263

RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN

- MUST NOT BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT ANY BUILDING OR STRUCTURE THAT HAS NOT BEEN CONSTRUCTED IN ACCORDANCE WITH LOT TYPE 'A' OF THE SMALL LOT HOUSING CODE UNLESS A SPECIFIC PLANNING PERMIT FOR THE SAID DWELLING HAS BEEN OBTAINED FROM THE RESPONSIBLE AUTHORITY.
- SHALL NOT ERECT ANY BUILDINGS ON THE LOT UNLESS THE PLANS FOR SUCH BUILDINGS ARE ENDORSED BY STOCKLAND DEVELOPMENT PTY LTD PRIOR TO THE ISSUE OF THE BUILDING PERMIT, THE REQUIREMENT FOR SUCH ENDORSEMENT CEASING TO HAVE EFFECT ON THE LOT ONE YEAR AFTER AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 IS ISSUED FOR THE WHOLE OF THE DWELLING ON THAT LOT.

EXPIRY DATE: 01/01/2031

CREATION OF RESTRICTION 'C'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

TABLE OF BURDENED AND BENEFITED LAND

BURDENED LOT SUBJECT TO TYPE 'B' OF THE SMALL LOT HOUSING CODE	BENEFITING LOTS ON THIS PLAN
33259	33258, 33260

RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN

- MUST NOT BUILD OR PERMIT TO BE BUILT OR REMAIN ON THE LOT ANY BUILDING OR STRUCTURE THAT HAS NOT BEEN CONSTRUCTED IN ACCORDANCE WITH LOT TYPE 'B' OF THE SMALL LOT HOUSING CODE UNLESS A SPECIFIC PLANNING PERMIT FOR THE SAID DWELLING HAS BEEN OBTAINED FROM THE RESPONSIBLE AUTHORITY.
- SHALL NOT ERECT ANY BUILDINGS ON THE LOT UNLESS THE PLANS FOR SUCH BUILDINGS ARE ENDORSED BY STOCKLAND DEVELOPMENT PTY LTD PRIOR TO THE ISSUE OF THE BUILDING PERMIT, THE REQUIREMENT FOR SUCH ENDORSEMENT CEASING TO HAVE EFFECT ON THE LOT ONE YEAR AFTER AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 IS ISSUED FOR THE WHOLE OF THE DWELLING ON THAT LOT.

EXPIRY DATE: 01/01/2031

CREATION OF RESTRICTION 'D'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

BURDENED LAND: 33201 TO 33207, 33240 TO 33251 & 33256 TO 33269 (ALL INCLUSIVE)
BENEFITED LAND: 33201 TO 33207, 33240 TO 33251 & 33256 TO 33269 (ALL INCLUSIVE)

RESTRICTION:

THE FIRST FLOOR OF ANY DWELLING SHALL NOT BE BUILT ON EACH LOT DESCRIBED UNDER THE BURDENED LAND UNLESS IT IS DESIGNED AND CONSTRUCTED TO MEET THE ACOUSTIC STANDARDS OUTLINED IN AS2107:2016 ACOUSTICS - RECOMMENDED DESIGN SOUND LEVELS AND REVERBERATION TIMES FOR BUILDING INTERIORS.

CREATION OF RESTRICTION 'E'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

BURDENED LAND: 33201 TO 33204, 33258 & 33260 TO 33269 (ALL INCLUSIVE)
BENEFITED LAND: 33201 TO 33204, 33258 & 33260 TO 33269 (ALL INCLUSIVE)

RESTRICTION:

A SINGLE STOREY DWELLING SHALL NOT BE BUILT ON EACH LOT DESCRIBED UNDER THE BURDENED LAND UNLESS IT IS DESIGNED AND CONSTRUCTED TO MEET THE ACOUSTIC STANDARDS OUTLINED IN AS2107:2016 ACOUSTICS - RECOMMENDED DESIGN SOUND LEVELS AND REVERBERATION TIMES FOR BUILDING INTERIORS.

CLOVERTON - 332

DP3b

LICENSED SURVEYOR **GREGORY STUART WILLIAMS**

SCALE



VERIS AUSTRALIA PTY LTD
A | Level 3, 1 Southbank Blvd
Southbank VIC 3006
T | +61 3 7019 8400
E | melbourne@veris.com.au
W | www.veris.com.au

DATE **28/03/25**
VERSION **D**

REFERENCE **331637-ST332**
DRAWING **331637-ST332-AD**

ORIGINAL SHEET SIZE **A3**
SHEET **7**

Digitally signed by: Gregory S Williams, Licensed Surveyor, Surveyor's Plan Version (D), 01/04/2025, SPEAR Ref: S218287H

Digitally signed by: Hume City Council, 07/05/2025, SPEAR Ref: S218287H

FORM 2

Building Act 1993
Building Regulations 2018 - Regulation 37(1)
Building Permit No. CBS-U 66127/9678943127165

Issue to

Agent of Owner: **Shaveta Joshi & Vishal Joshi**
Postal Address: **7 Symphony Road, CRAIGIEBURN VIC**
Email: libranjoshi@hotmail.com

Address for serving or giving of documents:

7 Symphony Road, CRAIGIEBURN VIC
Contact Person: **Shaveta Joshi & Vishal Joshi**

Postcode: **3064**

Telephone: **0401 912 232**

Postcode: **3064**

Telephone: **0401 912 232**

Ownership Details

Owner: **Shaveta Joshi & Vishal Joshi**
Postal Address: **7 Symphony Road, CRAIGIEBURN VIC**
Email: libranjoshi@hotmail.com
Contact Person: **Shaveta Joshi & Vishal Joshi**

Postcode: **3064**

Telephone: **0401 912 232**

Property Details

Number: **12** Street/Road: **Alisterus Road** Suburb: **Kalkallo** Postcode: **3064**
Lot/s: **33220** LP/PS: **905623S** Volume: **12615** Folio: **576**
CA: **n/a** Section No: **n/a** Parish: **Kalkallo** County: **n/a**
Municipal District: **City of Hume**

Builder

Name: **Barnala Networking Solutions Pty Ltd**
Telephone: **0413 925 389**
Registration no.: **CDB-U 71570** **Domestic Builder - Unlimited**
Postal Address: **13 Sherwin Street, WHITTLESEA VIC**
Postcode: **3757**

This builder is specified under section 24B [4] of the Building Act 1993 for the building work to be carried out under this permit.

Building practitioner or architect engaged to prepare documents for this permit

Name	Category/class	Registration Number
Huu Nam Tran Dang	Draftsperson - Building Design (Architectural)	DP-AD 65315
Jeannyfer Pangestu	Engineer - Civil	PE0003418

Details of Domestic Building Work Insurance

Name of Builder: **Barnala Networking Solutions Pty Ltd**
Name of Issuer or Provider: **BOVILL RISK & INSURANCE CONSULTANTS PTY LTD**
Policy Number: **C985979**
Policy cover: **\$300,000.00**

Nature of Building Work

Construction of a Single Storey Dwelling And Associated Garage
Storeys contains: **1**
Version of BCA applicable to permit: **BCA Vol 2 2022**
Stage of Building Work Permitted: **Entire - Dwelling & Garage**
Cost of Building Work: **\$250,000.00**
Total floor area of new building work m²: **192**

BCA Classification

Part of Building: **Dwelling** Class: **1a(a)**
Part of Building: **Associated Garage** Class: **10a**

Prescribed Reporting Authorities

The following bodies are Prescribed Reporting Authorities for the purpose of the application for this permit in relation to the matters set out below:

Matter Reported On	Regulation	Reporting Authority
Legal Point of Discharge	Regulation 133 (2)	City of Hume

Protection Work

Protection work is not required in relation to the building work proposed in this permit.

Inspection Requirements

The mandatory inspection notification stages are:

1. Pre-Slab Inspection
2. Slab-Steel Inspection
3. Frame Inspection
4. Final Inspection

Occupation or User of Building: An occupancy permit is required prior to the occupation or use of this building.

If an occupancy permit is required, the permit is required for the building in relation to which the building work is carried out.

Commencement and Completion

This building work must commence by 29 July 2026

If the building work to which this building permit applies is not commenced by this date, this building permit will lapse unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

This building work must be completed by 29 July 2027

If the building work to which this building permit applies is not completed by this date this building permit will lapse, unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.


Conditions and required Certificates

This building permit is issued subject to compliance with all the conditions as listed in attached Annexures (Appendix)

Relevant Building Surveyor

Name:	Opes Permits Pty Ltd
Address:	PO BOX 2042, Oak Park VIC 3046
Email:	admin@opesbs.com.au
Building practitioner registration no.:	CBS-U 66127
Municipal district:	City of Hume

Designated Building Surveyor

Name:	Oktay Ozelik
Permit no.:	CBS-U 66127/9678943127165
Building practitioner registration no.:	BS-L 72286
Date of issue of permit:	29 July 2025
Signature:	

Domestic Building Insurance

Certificate of Insurance

VISHAL JOSHI, SHAVETA JOSHI

7 Symphony Rd
CRAIGIEBURN
VIC 3064

Policy Number:
C985979

Policy Inception Date:
27/07/2025

Builder Account Number:
427245

A contract of insurance complying with the Ministerial Order for Domestic Building Insurance issued under Section 135 of the *Building Act 1993* (Vic) (Domestic Building Insurance) has been issued by the insurer, the Victorian Building Authority trading as Building and Plumbing Commission, in respect of the domestic building work described below.

Policy Schedule Details

Domestic Building Work: **C01: New Single Dwelling Construction**
At the property: **12 Alisterus Rd KALKALLO VIC 3064 Australia**
Carried out by the builder: **BARNALA NETWORKING SOLUTIONS PTY LTD**
Builder ACN: **600863830**



If the builder's name and/or its ABN/ACN listed above does not exactly match with the information on the domestic building contract, please contact the Victorian Building Authority trading as Building and Plumbing Commission. If these details are incorrect, the domestic building work will not be covered.

For the building owner(s): **VISHAL JOSHI, SHAVETA JOSHI**
Pursuant to a domestic building contract dated: **01/04/2025**
For the contract price of: **\$ 250,000.00**
Type of Cover: **Cover is only provided if BARNALA NETWORKING SOLUTIONS PTY LTD has died, becomes insolvent or has disappeared or fails to comply with a Tribunal or Court Order ***
The maximum policy limit for claims made under this policy is: **\$300,000 all inclusive of costs and expenses ***
The maximum policy limit for non-completion claims made under this policy is: **20% of the contract price limited to the maximum policy limit for all claims under the policy***

PLEASE CHECK

If the information on this certificate does not match what's on your domestic building contract, please contact the Victorian Building Authority trading as Building and Plumbing Commission immediately on 1300 067 088 or email dbi@bpc.vic.gov.au

IMPORTANT

This certificate must be read in conjunction with the policy terms and conditions and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the period of cover.

* The cover and policy limits described in this certificate are only a summary of the cover and limits and must be read in conjunction with, and are subject to the terms, conditions, limitations and exclusions contained in the policy terms and conditions.



Scan the QR code with your phone's camera to check the details on this policy are correct. Alternatively, visit <https://www.buildvic.vic.gov.au/ClaimsPortal/s/verify-certificate> and enter your policy number to check the details on this policy are correct.

Period of Cover

Cover commences on the earlier of the date of the domestic building contract or date of building permit for the domestic building work and concludes:

- Two years from completion of the domestic building work or termination of the domestic building contract for non structural defects*
- Six years from completion of the domestic building work or termination of the domestic building contract for structural defects*

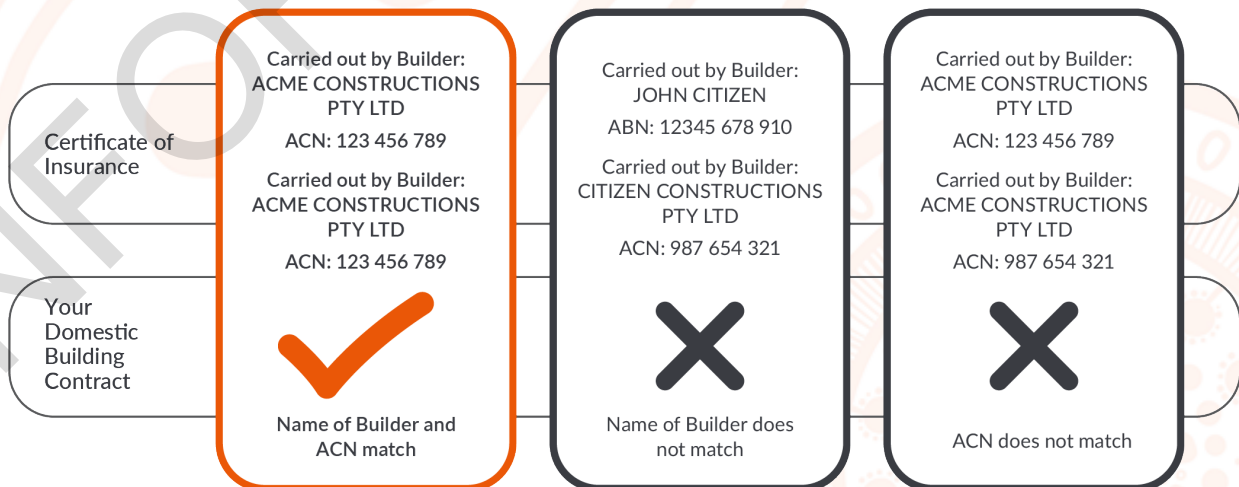
Subject to the Building Act 1993, and the Ministerial Order and the conditions of the insurance contract, cover will be provided to the building owner named in the domestic building contract and to the successors in title to the building owner in relation to the domestic building work undertaken by the Builder.

Issued by the Victorian Building Authority trading as Building and Plumbing Commission

Domestic Building Insurance Premium and Statutory Costs

Base DBI Premium:	\$3,110.00
GST:	\$311.00
Stamp Duty:	\$273.68
Total:	\$3,694.68

If the information on the certificate does not match exactly what is on your domestic building contract, please contact the Victorian Building Authority trading as Building and Plumbing Commission on 1300 067 088 Below are some examples of what to look for:



24 JULY 2025



WORKING DRAWINGS

PROPOSED SINGLE STOREY DWELLING

JOB NUMBER:

#20763

SUBJECT SITE:

LOT 33220, NO.12 ALISTERUS ROAD, KALKALLO 3064

CLIENT NAME:

BARNALA DESIGNER HOMES

PROJECT D

HUU NAM TRAN DANG
DP-AD 65315

MOB: 0412 223 771
EMAIL: NAM@PROJECTD.COM.AU

This land is designated in a sensitive zone. Termit management system is required in accordance with AS2601.



THIS DOCUMENT IS THE SUBJECT OF -
BUILDING PERMIT NUMBER: CBS-U 66127/9678943127165
ISSUED DATE: 29/07/2025

FOR INSPECTIONS & ENQUIRIES CALL (03) 9304 4412

GENERAL NOTES & SPECIFICATIONS

- DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.
 - ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATION (CURRENT EDITIONS), THE BUILDING CODE OF AUSTRALIA (CURRENT EDITIONS) AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
 - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH RELEVANT STRUCTURAL & ALL OTHER CONSULTANTS DRAWINGS/DETAILS & WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
 - FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 - THE BUILDER SHALL TAKE ALL NECESSARY STEPS TO ENSURE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS
 -THE CONTRACTOR/BUILDER IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE.
 - CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
 - ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF LOCAL GOVERNMENT BUILDING SURVEYOR.
 - ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH NCC 2022 VOLUME 2.
 - NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
 - OWNER/BUILDER TAKES ALL RESPONSIBILITY TO NOTIFY DESIGN ENGINEER OF SITE SUPERVISION.
 - WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/ COMPUTATIONS SUPPLIED.
 - FOR BUILDINGS OF CLOSE PROXIMITY TO THE SEA, ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES AND STEEL LINTELS ETC, THAT ARE EMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH AS 1650 OR AS 3700 - TABLE 2.2, HOT DIPPED GALV, STAINLESS STEEL OR CADMIUM COATED.

EXCAVATION

- EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS.

SUB FLOOR

- WHERE THE BUILDING (EXCLUDES CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO THE UNDERSIDE OF THE BUILDING AND PERIMETERS TO BE TREATED AGAINST TERMITE ATTACK.
 - INSTALLATION OF ALL SERVICES SHALL COMPLY WITH SUPPLY AUTHORITY REQUIREMENTS
 - SUB FLOOR VENTS TO PROVIDE A RATE OF 7500mm SQ CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 2200mm SQ CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS.
 - NOTE ALL STUMPS EXCEEDING 1200mm ABOVE GROUND TO BE BRACED.
 - CONCRETE STUMPS:
 - 100mm SQ UP TO 1400mm LONG (1no. H.D WIRE)
 - 100mm SQ UP TO 1801mm TO 3000mm LONG (2no. H.D WIRE)
 - 100mm SQ UP TO 1401mm TO 1800mm LONG (2no. H.D WIRE)

- PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOORS WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING
 - THE BUILDER & SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES & THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDER MINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
 - THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY CLIENT OF BN DESIGN FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND / OR RESILIANCE

CONCRETE [AS2870-2011]

- ALL CONCRETE FOOTING AND SLAB WORKS SHALL COMPLY WITH AS 2870.1-2011 "RESIDENTIAL SLABS AND FOOTINGS" PART 1: CONSTRUCTION IN THE ABSENCE OF ENGINEER'S DRAWINGS OR COMPUTATIONS.

ENERGY RATINGS

-BATHROOMS WHICH HAVE A DOOR TO BEDROOMS; ROOMS WITH CENTRAL HEATING OR ARE ONLY MECHANICALLY VENTILATED ARE NOT A UTILITY (EG. ENSUITE)
 - EXHAUST FANS A SEALED EXHAUST FAN HAS LOUVRES THAT CLOSE TIGHTLY WHEN NOT IN USE AND DOES NOT OPEN EASILY WITH WIND
 - SEALED DOORS HAVE AT LEAST ONE WEATHER STRIP FITTED TO THE BOTTOM OF THE DOOR.

LIGHTING

- ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS1680.0-2009
 - ARTIFICIAL LIGHTING TO BE INSTALLED IN ACCORDANCE WITH PART 13.7.6 OF THE NCC 2022 VOLUME 2

BRICK VENEER WALLS [TN61]

- COMPLY WITH AS 3700 MASONRY IN BUILDINGS AND AS 2904 DAMP PROOF COURSES AND FLASHINGS. USE BRICKS AS SELECTED AND M3 (1:1.6) MORTAR. USE FACE FIXING CAVITY TIES TO AVOID HOLES IN FOIL INSULATION MATERIAL.
 - STEEL LINTELS TO EACH 110 BRICK SKIN OVER ALL OPENINGS NOT OTHERWISE SPECIFIED (ALL EXTERNAL LINTELS TO BE PRIMED):

OPENINGS	SIZE	MATERIAL
UP TO 950	75 x 10	MS FLAT
950 TO 1200	75 x 80(horiz) x 8	MS ANGLE
1200 TO 1650	90 x 90(horiz) x 8	MS ANGLE
1650 TO 2400	100 x 100(horiz) x 8	MS ANGLE
2400 TO 3000	150 x 90(horiz) x 8	MS ANGLE

PROVIDE 50 mm MIN. END BEARING TO ALL LINTELS

- PROVIDE MASONRY CONTROL JOINTS AS RECOMMENDED BY SOIL TEST REPORT AND IN STRICT ACCORDANCE WITH TECHNICAL NOTE TN61 OF CEMENT AND CONCRETE ASSOCIATION OF AUST.
 - PROVIDE MASONRY CONTROL JOINTS AS RECOMMENDED BY SOIL TEST REPORT AND IN STRICT ACCORDANCE WITH TECHNICAL NOTE TN61 OF CEMENT AND CONCRETE ASSOCIATION OF AUST.

STANDARDS

- THE OWNER/BUILDER SHALL ENSURE THAT ALL BUILDING WORKS CONFORM TO THE NCC 2022 VOLUME 2, AUSTRALIAN STANDARD CODES, BUILDING REGULATIONS, LOCAL BY-LAW & TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATIONS.
 - ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

- AS 1288 - 2021 GLASS IN BUILDINGS SELECTION AND STALLATIONS
- AS 1562 - 2006 DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING. PART 1 METAL
- AS 1684 - 2021 NATIONAL TIMBER FRAMING CODE
- AS 1860 - 2006 INSTALLATION OF PARTICLE BOARD FLOORING
- AS 2049 - 2002 ROOF TILES
- AS 2050 - 2018 INSTALLATION OF ROOFING TILES
- AS 2870 - 2011 RESIDENTIAL SLABS AND FOOTING CONSTRUCTION
- AS NZS 2904 - 1995 DAMP PROOF COURSES AND FLASHINGS
- AS 3600 - 2018 CONCRETE STRUCTURES
- AS 3660.1 - 2014 PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES PART1 NEW BUILDINGS
- AS 3700 or AS4773.1 AND AS4773.2 - MASONRY STRUCTURES
- AS 3740-2021, AS/NZS4654.1-2012 AS/NZS4654.2-2012 - WATERPROOFING OR DOMESTIC WET AREAS
- AS 3876 - 2014 SMOKE ALARMS
- AS 4055 - 2021 WIND LOADING FOR HOUSING
- AS 4100 - 2020 STEEL STRUCTURES
- AS 4256 - 1994/96 PLASTIC ROOF AND WALL CLADDING MATERIALS
- AS 4586-2013 AND PART 11.2.3 RAMPS – SLIP RESISTANCE CLASSIFICATION OF NEW PEDESTRIAN SURFACE MATERIALS. NOTE TEST REPORTS BASED ON 2004 EDITION OF STANDARD REMAIN CURRENT WHERE ISSUED PRIOR TO 2013.

SOIL CLASSIFICATION

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT
 - FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTH INDICATED IN THE SOIL REPORT. THE H.G.F.L. RECOMMENDS THAT FOOTINGS/SLABS AND DRAINAGE TO BE DESIGNED & INSPECTED BY AN ENGINEER TO SATISFY THEIR REQUIREMENTS.

STORMWATER

- STORM WATER SHALL COMPLY WITH AS/NZS3500.3-2021 AND AS2870.2011
 - STORM WATER INCLUDING AOG DRAINS SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY
 - SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS
 - 90mm DIAM. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM AS DIRECTED BY CITY ENGINEER. PROVIDE INSPECTION OPENINGS AT GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF DISCHARGE 90000mm C/C & AT EACH CHANGE OF DIRECTION.
 - THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:
 - 100mm UNDER SOIL
 - 50mm UNDER RAVED OR CONC. AREAS
 - 100mm UNDER UNREINFORCED CONC. OR PAVED DRIVEWAYS
 - 75mm UNDER REINFORCED CONC. DRIVEWAYS

PLASTER

- PROVIDE 10mm THICK PLASTERBOARD TO WALLS AND 10mm THICK PLASTERBOARD TO CEILINGS. ALL WET AREAS SHALL HAVE AN APPROVED 10mm THICK WR PLASTER'D OR "HARDIES" VILLABOARD INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS

BUSHFIRE PRONE LAND

THE BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS3959-2018 OR FOR STEEL STRUCTURES NASH STANDARD "STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS" 2014 WHERE LOCATED IN A BUSHFIRE PRONE AREA. REFER TO SEPARATE SPECIFICATION AND/OR ARCHITECTURAL PLANS

GLAZING

- ALL GLAZING TO COMPLY WITH AS1288-2021 & AS2047-2014. LOW LEVEL GLAZ'G TO BE 5mm THICK GRADE 'A' SAFETY GLASS.
 (LESS THAN 500 ABOVE FINISHED FLOOR LEVEL) AND GLASS DOORS
 - SAFETY GLAZING SHALL BE USED IN FOLLOWING CASES;
 (A) ALL ROOM - WITHIN 500mm VERTICAL OF THE FLOOR WITHIN 500mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOOR
 (B) BATHROOMS - WITHIN 1500mm VERTICAL FROM THE BATH BASE
 (C) LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm HORIZONTAL FROM ALL DOORS
 (D) DOORWAY - WITHIN 300mm HORIZONTAL FROM ALL DOORS.
 SHOWER SCREENS SHALL BE GRADE 'A' SAFETY GLASS.
 (E) ENSUITE - WITHIN 500mm VERTICAL OF THE FLOOR.
 - STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
 RISER (R) 190mm MAXIMUM AND 115mm MINIMUM
 2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM
 GOING (G) 355mm MAXIMUM AND 550mm MINIMUM
 - WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZES MAY VARY 125mm MAXIMUM GAP TO OPEN TREADS

ACCORDING TO MANUFACTURER. WINDOWS ARE TO BE FLASHED ALL AROUND

CORROSION

- FOR BUILDINGS IN AREAS LESS THAN 1KM FROM BREAKING SURF OR LESS THAN 100m FROM SALTWATER NOT SUBJECT TO BREAKING SURF OR IN HEAVY INDUSTRIAL AREAS WALL TIES SHALL BE EITHER: GRADE 316 OR 316L STAINLESS STEEL, OR ENGINEERED POLYMER TIES.

WET AREAS:

- ALL WET AREAS TO COMPLY WITH PART 10.2.1 AND TABLE 10.2.1 OF THE NCC 2022 VOLUME 2 AND AS3740-2021 AND EXTERNAL AREAS TO AS/NZS4654.1-2012 AS/NZS4654.2-2.12. WALL FINISHES SHALL BE WATER RESISTANT TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.
 - TIMBER FLOORS INCLUDING PARTICLEBOARD AND PLYWOOD IN AREAS ADJACENT TO BATHS AND SPAS AND OUTSIDE SHOWER AREAS TO BE WATERPROOFED AS PER PART 10.2.1 VOL. 2 AND AS3740-2021.
 - TO FLOOR PROVIDE CERAMIC FLOOR TILES OR VINYL TILES AS SELECTED TO WET AREAS FIXED TO CONCRETE SLAB NO MORTAR BASE OR RESIFEX GLUE.
 - TO WALLS PROVIDE TILES TO SHOWERS TO HEIGHT OF 1800mm & 300mm TO SINK, BATHS, ROUGHS AND BASINS. ALL JOINTS, CORNERS AND JUNCTIONS BETWEEN WALLS AND FLOORS TO BE MADE WATER TIGHT.
 - PROVIDE R2 SISALATION TO ALL EXTERNAL WALLS.
 R3.5 FIBRE FLUFF CEILING THROUGHOUT.

TILING TO WET AREAS

- THE WALLS OF SANITARY COMPARTMENTS (KITCHEN, LAUNDRY, WC, BATH, E-S) SHALL BE FINISHED WITH FULLY COMPRESSED FIBRE CEMENT, WATERPROOF RENDER, CERAMIC TILE OR OTHER IMPERVIOUS FINISH TO A HEIGHT OF NOT LESS THAN 1800 ABOVE THE LOWEST POINT OF THE SHOWER AND 300 ABOVE THE RIM OF THE BATH, VANITY BASIN, TROUGH OR SINK

VENTILATION & INSULATION [NCC 2022 VOL.2]

- PROVIDE THERMAL INSULATION IN ACCORDANCE WITH THE REQUIREMENTS OF NCC 2022 VOLUME 2 PART 13.2 BUILDING FABRIC. NOTE THAT REFLECTIVE FOIL LAMINATE MUST COMPLY WITH AS1904 AND HAVE A FLAMABILITY INDEX OF NOT MORE THAN 5.
 - MECHANICAL VENTILATION TO BE INSTALLED IN ACCORDANCE WITH PART 10.6 VENTILATION OF THE NCC 2022 VOLUME 2.
 - PROVIDE CLEARANCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLEBOARD FLOORING OR 300mm WHERE IN TERMITE PRONE AREA.
 - SUB FLOOR VENTS TO PROVIDE A RATE OF 6000mm SQ. CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL
 - THERMAL INSULATION TO BE PROVIDED AS FOLLOWS FOR SLAB CONSTRUCTION. (REFER TO ENERGY RATING REPORT) R.F.L TO HAVE FLAMMABILITY INDEX NOT EXCEEDING 5

MASONRY

- MASONRY TO COMPLY WITH AS3700 OR AS4773.1 & AS4773.2
 - PROVIDE WALL TIES TO BRICKWORK AS PER PART 5.2 OF NCC 2022 VOL.2. GENERAL WALL TIES TO BE 6000mm CTRS IN EACH DIRECTION FOR CAVITY MASONRY. FOR MASONRY VENEER: 600x450 FOR 450 STUD WALLS AND 600x600 FOR 600 STUD WALLS AND WITHIN 300mm OF ARTICULATION JOINTS.
 - PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 5000mm CTRS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS 2200mm SQ. CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS
 - SPACING OF WALL TIES TO TOP AND SIDES OF OPENING TO BE HALVED.

CONSTRUCTION OF SANITARY COMPARTMENTS:

- THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS CLEAR SPACE OF AT LEAST 1.2m BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE NEAREST PART OF THE DOOR WAY.
 - PROVIDE "DALCO" 13301 ESCAPE HINGES SET TO THE DOOR OF THE WC SO THAT THE DOOR CAN BE REMOVED FROM OUTSIDE IN AN EMERGENCY. (OR THE DOOR MAY OPEN OUTWARDS OR SLIDE)

ALL WORK TO COMPLY TO THE VICTORIAN

BUILDING REGULATIONS & NCC 2022 VOLUME 2

- ALL TIMBER FRAME WORK TO COMPLY WITH AS 1684. 4 RESI. TIMBER FRAME CONNECTIONS.
 - ALL BRICKWORK TO COMPLY WITH AS 3700.
 - SMOKE DETECTORS TO BE INSTALLED TO AS 3786 AND VIC SUPP E1.7.1
 - PROVIDE IMPERVIOUS FLOOR AND WALL COVERING AND SUBSTRUCTION TO WET AREAS 1800mm HIGH IN SHOWERS, 150mm HIGH BEHIND FEATURES WITHIN 75mm OF THE WALL.
 - GRADE FINISH GROUND SURFACE FOR 1500mm AWAY FROM THE BUILDING.
 - ALL GLAZING TO COMPLY WITH AS 1288.
 - GLAZED PANELS WITH 500MM OF THE FINISHED FLOOR LEVELS & LESS THAN 2m ARE TO BE GLAZED WITH AT LEAST 5mm ANNEALED GLASS.
 - GLAZED PANELS NOT EXCEEDING 2m TO BE GLAZED WITH min. 3mm ANNEALED GLASS.
 - GLAZING WITHIN 1.5m OF A SHOWER OR BATH TO BE GLAZED WITH GRADE 'A' SAFETY GLASS.
 - GLAZED DOOR AND SIDE PANELS NOT EXCEEDING 3m TO BE GLAZED WITH 5mm TOUGHENED SAFETY GLASS.

LANDING AND STEPS

- A CONTINUOUS BALUSTRADE OR OTHER BARRIERS MUST BE PROVIDED ALONG THE SIDE OF ANY STAIR WAY OR RUMP, ANY FLOOR, CORRIDIR, HALLWAY, BALCONY, VERANDAH, OR THE LIKE ALON THE SIDE OF ANY PATH ACCESS TO A BUILDING. IF:
 * IT IS NOT BOUNDED BY A WALL
 * ANY LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHES.
 THE REQUIREMENTS ARE NOT APPLY TO A WINDOW OPENING. THE HEIGHT OF A BALUSTRADE OR OTHER BARRIER MUST BE IN ACCORDANCE WITH THE FOLLOWING:
 - THE HEIGHT MUST NOT BE LESS THAN 865mm ABOVE THE NOSING OF THE STAIR TREADS OR THE FLOOR OF A RAMP.
 - THE HEIGHT MUST NOT BE LESS THAN 1m ABOVE THE FLOOR OF ANY ACCESS PATH, BALCONY, LANDING OR THE LIKE.
 ANY OPENING IN BALUSTRADES MUST NOT PASS THROUGH A 125mm.

STAIRS AND BALUSTRADES

- STAIRS, STAIRWAYS AND BALUSTRADES TO COMPLY WITH NCC VOL.2 PART 11.2 STAIRWAY AND RAMP CONSTRUCTION AND PART 11.3 BARRIERS AND HADRAILS: (OTHER THAN SPIRAL STAIRS)
 RISERS 190mm MAXIMUM, 115mm MINIMUM
 GOING 355mm MAXIMUM, 240mm MINIMUM
 PRIVATE STAIRS (AND 250mm FOR PUBLIC STAIRS), RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.
 - PROVIDE NONSLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSING TO AS4586-2013 AND PART 11.2.3 OF THE NCC 2022 VOL. 2 - ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125mm OR USE CLOSED RISES. PROVIDE CONTINUOUS BALUSTRADE 1000mm MIN.
 - HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL. 865mm MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSING AND LANDINGS.
 - MAXIMUM OPENING BETWEEN BALUSTERS NOT TO EXCEED 125mm
 - CONTINUOUS HANDRAIL TO BE INSTALLED TO ONE SIDE OF STAIR COMPLIANT WITH PART 11.2.3 RAMPS AND PART 11.3.5 HANDRAILS
 - STAIR LANDINGS MUST EXTEND FULL WIDTH AT THE DOOR

THRESHOLDS

- IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190mm ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF, OR 900mm WIDE x 900mm LONG, WHICHEVER IS GREATER.

SMOKE ALARMS

- LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS3786-2014 AND PART 9.2 FIRE SEPARATION OF EXTERNAL WALLS AND SHALL BE HARD WIRED WITH BATTERY BACKUP AND INTERCONNECTED.
 - INSTALL SMOKE ALARM SYSTEM AS SHOWN IN PLAN CONFORMING TO AS 3786-2014. SELF CONTAINED ALARMS WIRED DIRECTLY TO POWER SUPPLY.

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

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AREA SCHEDULE

	AREA
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT		General Notes		CLIENT SIGNATURE:
Barnala Designer Homes				
SUBJECT SITE		Date	July 2025	1 OF 20
Lot 33220, No.12 Alisterus Road KALKALLO 3064		Drawn by	NDT	
		Scale	1 : 100	

PROJECT D
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 EMAIL: NAM@PROJECTD.COM.AU
 PERMIT NUMBER: 0412 223 774 8943
 ISSUED DATE: 29/07/2025

LEGEND

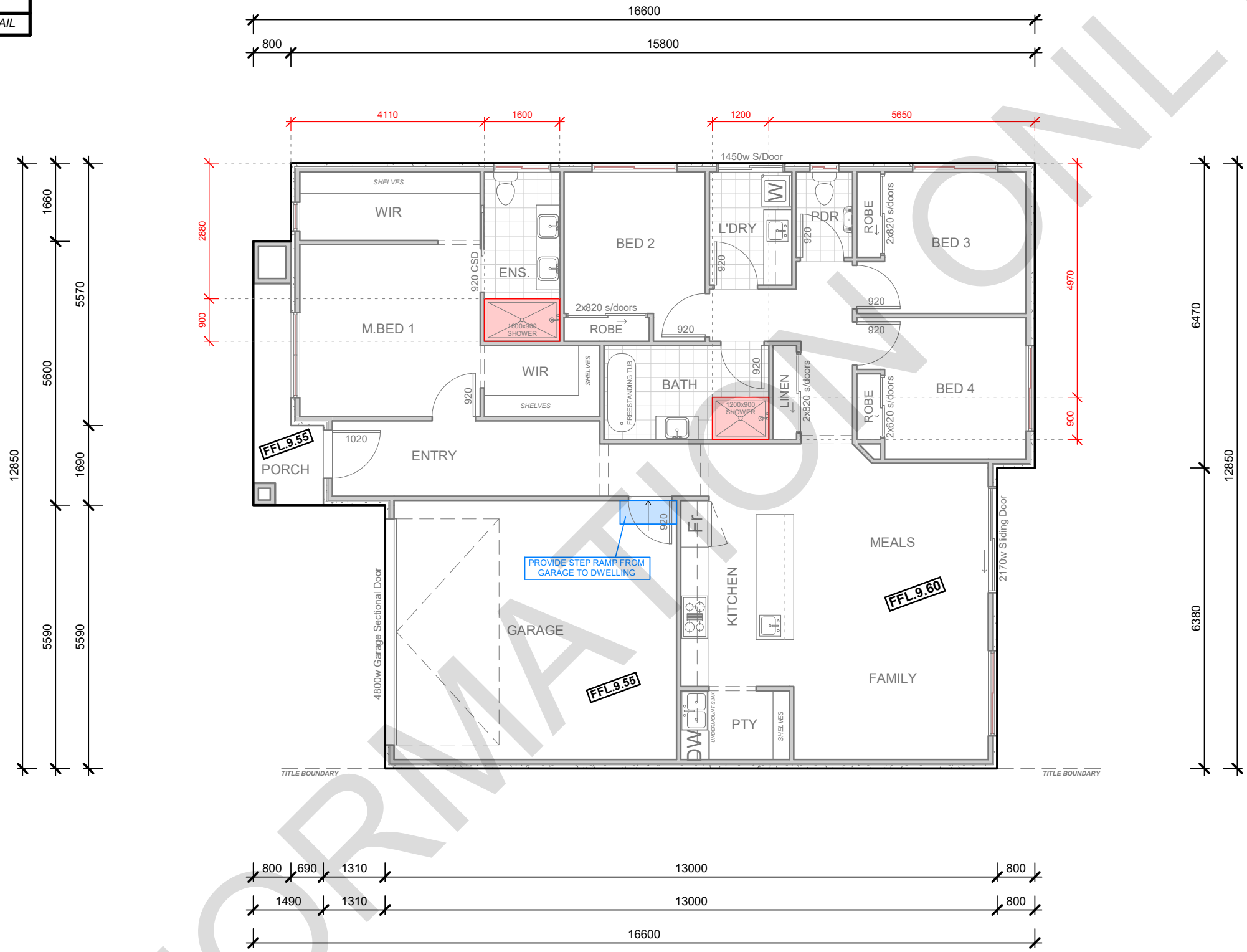
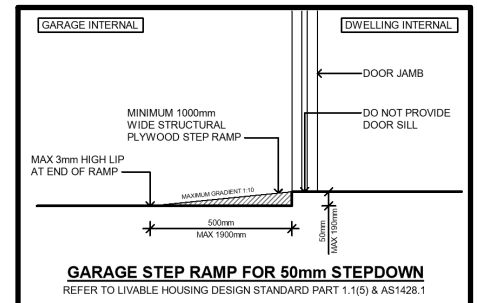
REPRESENTS RECESSED SHOWER BASE TO SLAB

REFER TO ENGINEERS DRAWINGS FOR SLAB DETAIL

STEP RAMP NOTE:

(5) The access path may incorporate one step ramp having a—

- (a) height of not more than 190 mm; and
- (b) gradient not more than 1:10; and
- (c) width of at least 1000 mm or equivalent to that of the access path, whichever is the greater; and
- (d) maximum length of 1900 mm.



SLAB LAYOUT PLAN
scale 1:100

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PERMIT NUMBER: 0412 023 7747 8943 27185

ISSUED DATE: 29/07/2025

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
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AREA SCHEDULE	
SITE AREA:	294 m ²
BUILDING COVERAGE:	65.0 %
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT
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SUBJECT SITE
Lot 33220, No.12 Alisterus Road
KALKALLO 3064

Slab Layout Plan	
Project number	Job #20763
Date	July 2025
Drawn by	NDT
Scale	1 : 100

CLIENT SIGNATURE: _____

DATE: _____

3 OF 20

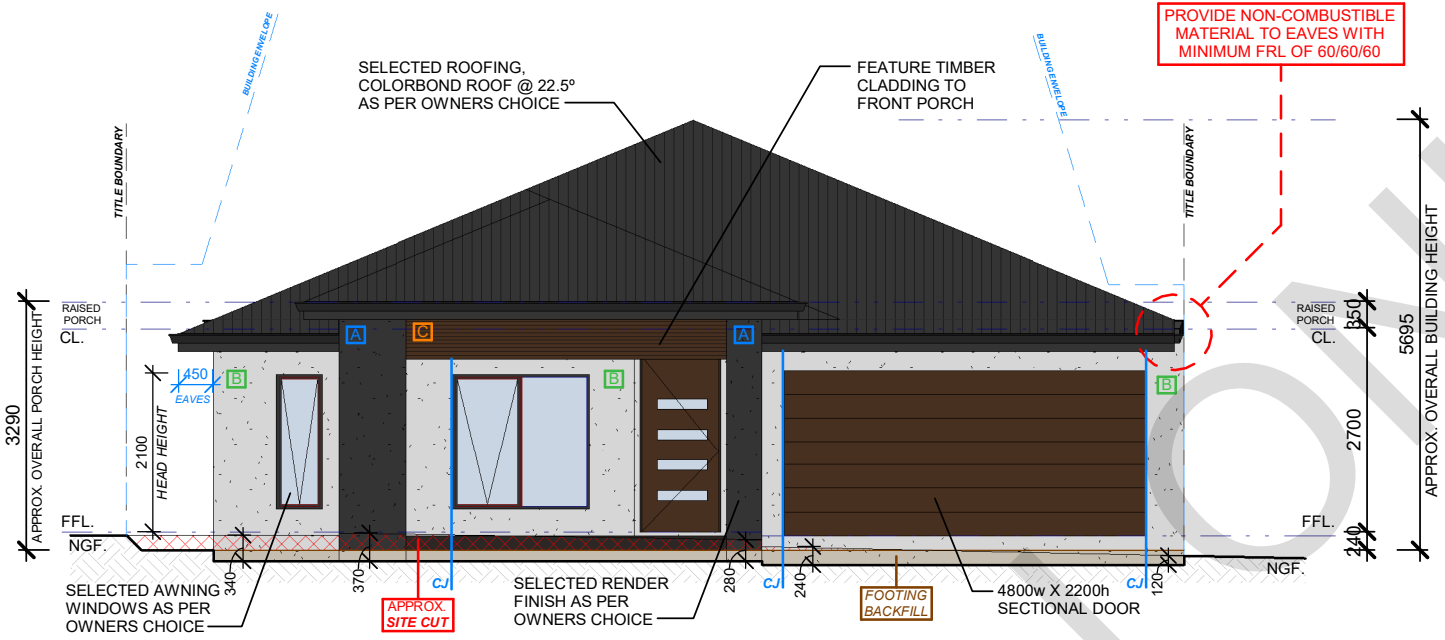
HUU NAM TRAN DANG DP-AD 65315

NOTE:
IT IS THE BUILDERS RESPONSIBILITY TO ESTABLISH THE FINISHED FLOOR LEVELS AND FINISHED WALL HEIGHTS IN RELATION TO THE RELEVANT GROUND LEVELS DURING SETOUT AND BEFORE ANY EXCAVATION WORKS ARE UNDERTAKEN SO AS TO ENSURE THAT ALL DESIGN ASSUMPTIONS ARE FULLY REALIZED IN PRACTICE AND COMPLY WITH THE RELEVANT BUILDING CODES AND SITING REQUIREMENTS.

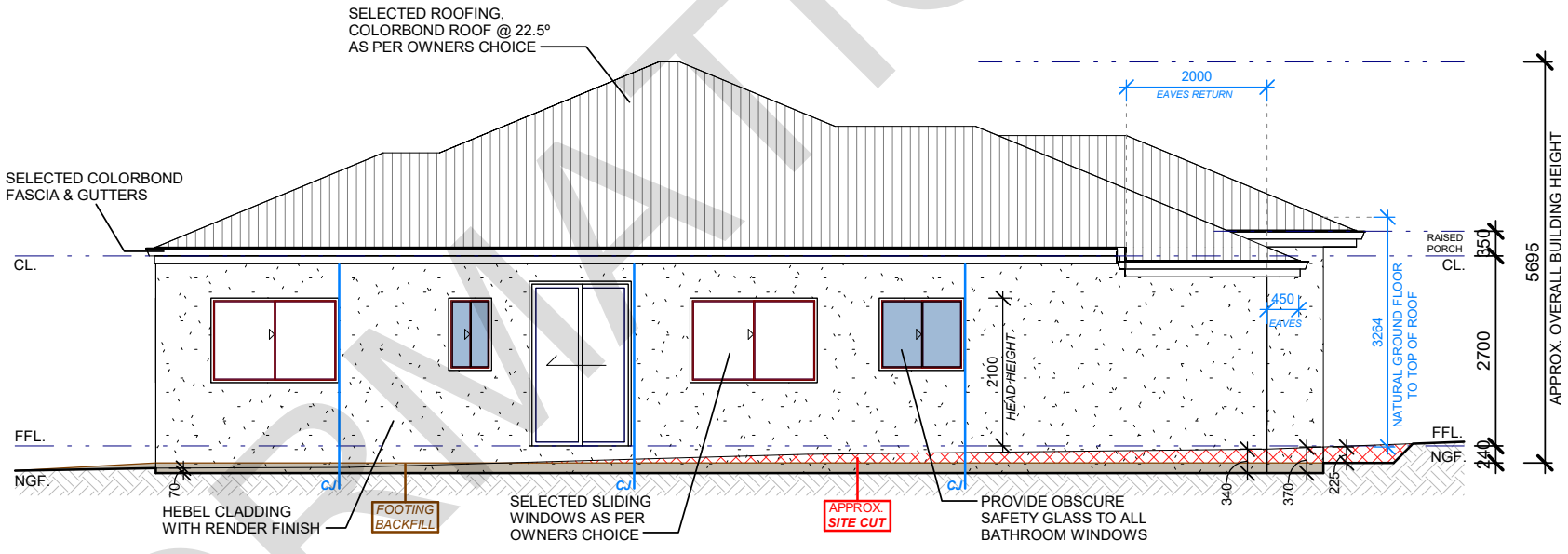
NOTE:
SHOULD ANY DISCREPANCY BETWEEN STRUCTURAL AND ARCHITECTURAL DRAWINGS BE NOTED WITH REGARDS TO LOCATIONS AND DIMENSIONS THE BUILDER IS TO NOTIFY THE DRAFTING OFFICE TO SEEK CLARIFICATION.

NOTE:
ALL FRAME OPENINGS TO BE AT 2.1m HEAD HEIGHT FROM FFL. UNLESS NOTED DIFFERENTLY.

FRONT FACADE CALCULATIONS	
TOTAL FRONT WALL (EXCLUDING OPENINGS) = 18.16 m²	
A RENDER (MONUMENT)	= 4.20 m ² = 23.1%
B RENDER (LEXICON QUARTER)	= 11.73 m ² = 64.6%
C TIMBER CLADDING	= 2.23 m ² = 12.3%



1 Front Elevation - West
1 : 100



2 Side Elevation - North
1 : 100

CJ - CONTROL JOINTS AT 5.0 METRES MAX CENTRES

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PERMIT NUMBER: 0412 023 7747 8943 27155
ISSUED DATE: 29/07/2025

GENERAL NOTES:
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*Provide impervious floor & wall finish to all wet areas
*Provide safety glass where required to AS1288.
*Provide control joints at approx 5.0 M ctrs max
*Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.
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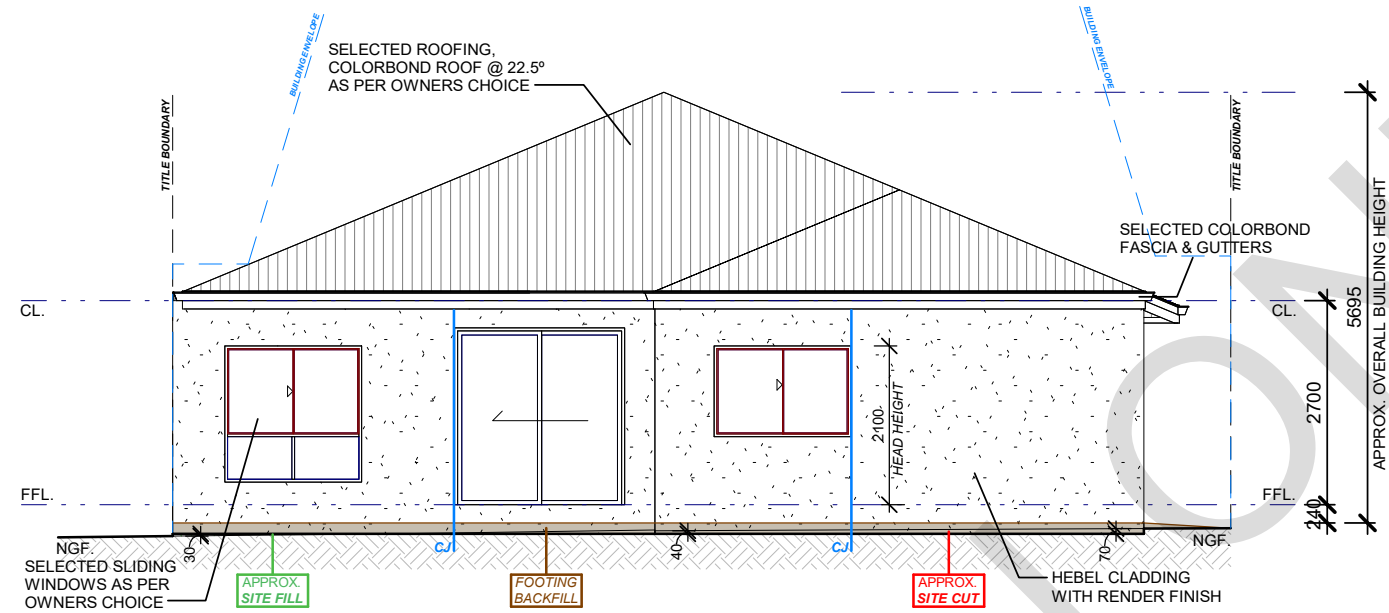
SUBJECT SITE
Lot 33220, No.12 Alisterus Road
KALKALLO 3064

Elevations		CLIENT SIGNATURE:
Project number	Job #20763	DATE:
Date	July 2025	4 OF 20
Drawn by	NDT	
Scale	1 : 100	HUU NAM TRAN DANG DP-AD 65315

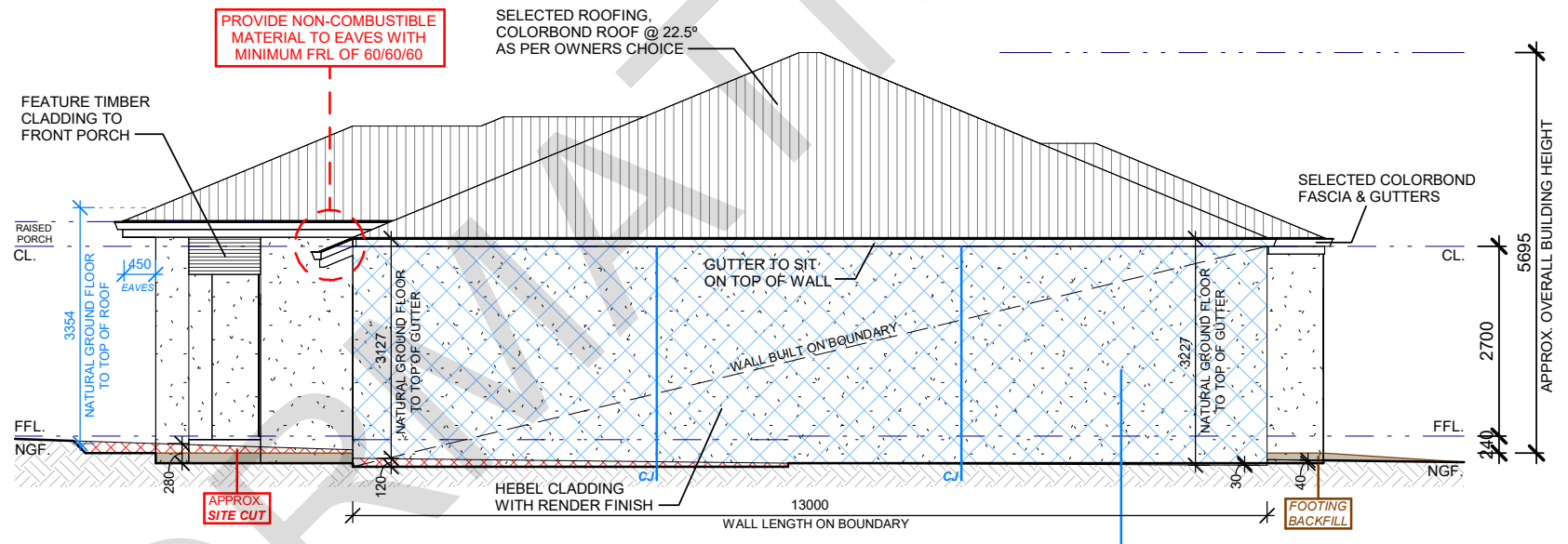
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NOTE:
ALL FRAME OPENINGS TO BE AT 2.1m HEAD HEIGHT FROM FFL. UNLESS NOTED DIFFERENTLY.



1 Rear Elevation - East
1 : 100



2 Side Elevation - South
1 : 100

WALL ON BOUNDARY CALCULATION:
WALL HEIGHT = (WALL AREA) / (WALL LENGTH)
= 41.44m² / 13.0m
= 3.18m
AS PER ABOVE CALCULATIONS THE AVERAGE WALL HEIGHT ON BOUNDARY IS 3.18m

CJ - CONTROL JOINTS AT 5.0 METRES MAX CENTRES

PROJECT D
Opes BUILDING SOLUTIONS
THIS DOCUMENT IS THE SUBJECT OF -
PERMIT NUMBER: 0412 023 7747 8943 27185
ISSUED DATE: 29/07/2025
EMAIL: NAM@PROJECTD.COM.AU

GENERAL NOTES:
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*Provide safety glass where required to AS1288.
*Provide control joints at approx 5.0 M ctrs max
*Provide smoke detectors as per A.S. 3786

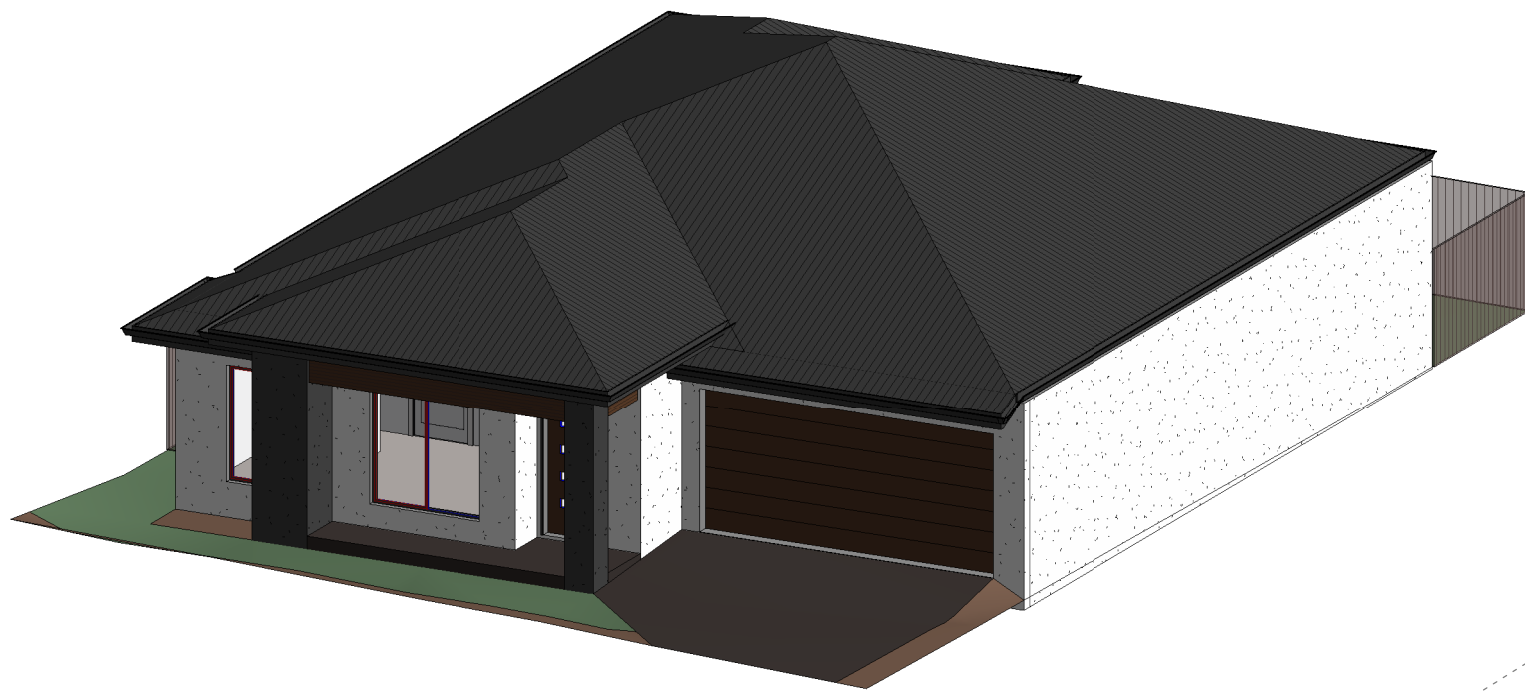
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AREA SCHEDULE	
SITE AREA:	294 m ²
BUILDING COVERAGE:	65.0 %
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PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

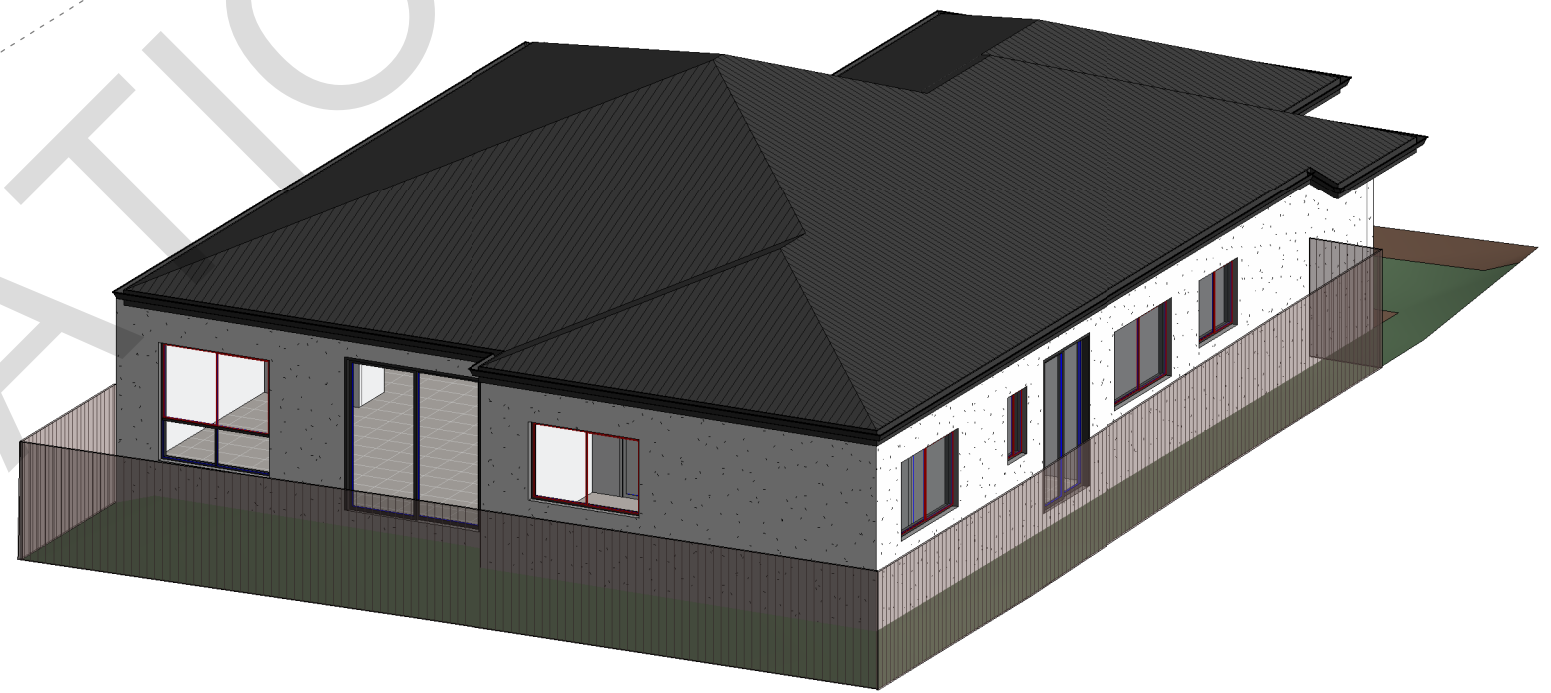
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SUBJECT SITE
Lot 33220, No.12 Alisterus Road
KALKALLO 3064

Elevations		CLIENT SIGNATURE:
Project number	Job #20763	DATE:
Date	July 2025	5 OF 20
Drawn by	NDT	
Scale	1 : 100	HUU NAM TRAN DANG DP-AD 65315



1 South-West Elevation



2 North-East Elevation

NOTE:
3D ELEVATIONS TO BE USED FOR PRESENTATIONAL PURPOSES ONLY. REFER TO PLANS FOR ALL CONSTRUCTION DETAILS.

PROJECT D
Opes BUILDING SOLUTIONS

THIS DOCUMENT IS THE SUBJECT OF -
 PERMIT NUMBER: 0412 023 7747 8943 127185
 ISSUED DATE: 29/07/2025

EMAIL: NAM@PROJECTD.COM.AU

GENERAL NOTES:

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- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

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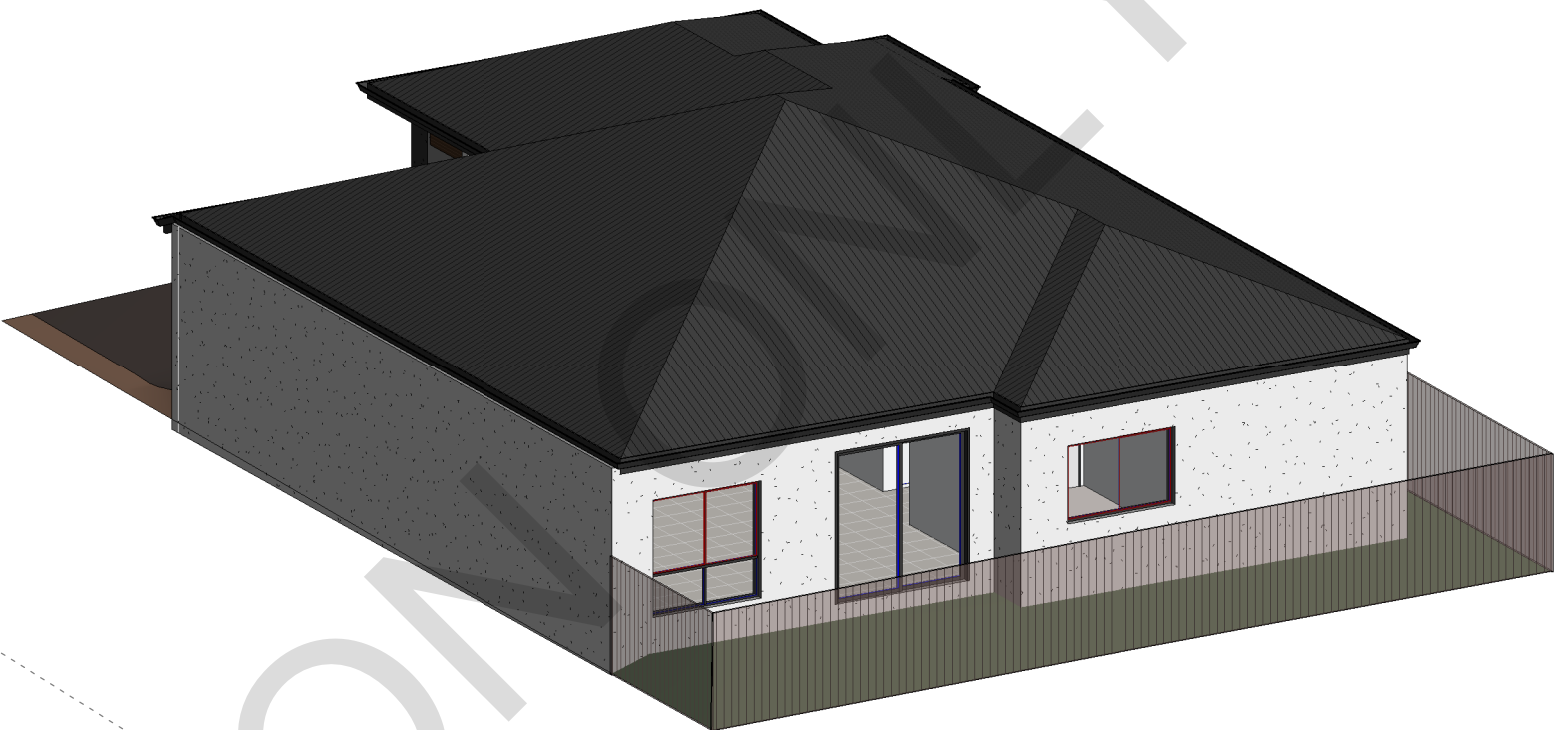
AREA SCHEDULE	
SITE AREA:	294 m ²
BUILDING COVERAGE:	65.0 %
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

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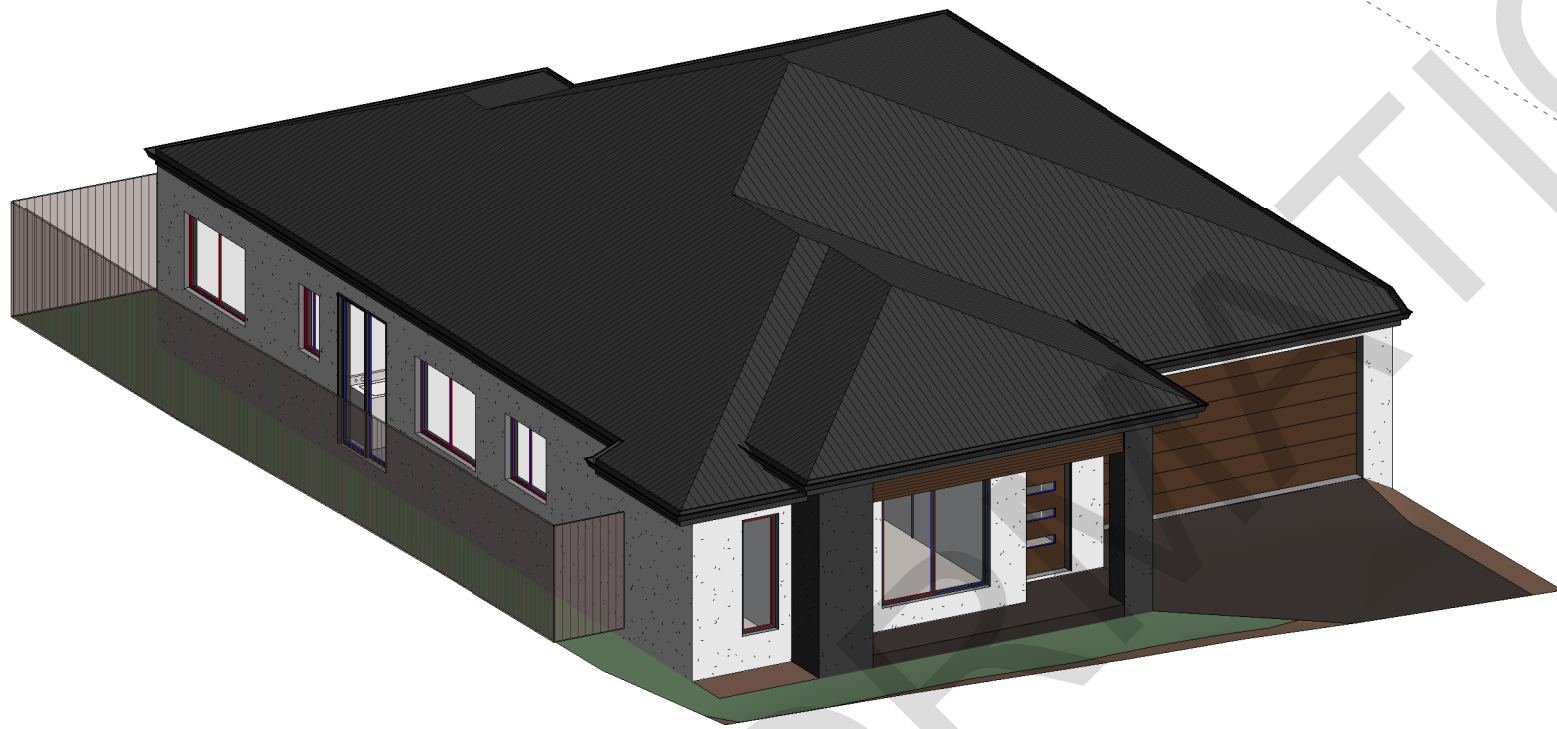
SUBJECT SITE
Lot 33220, No.12 Alisterus Road
KALKALLO 3064

3D Elevations	
Project number	Job #20763
Date	July 2025
Drawn by	NDT
Scale	

CLIENT SIGNATURE: _____
 DATE: _____
5a OF 20
 HUU NAM TRAN DANG DP-AD 65315



2 South-East Elevation



1 North-West Elevation

NOTE:
3D ELEVATIONS TO BE USED FOR PRESENTATIONAL PURPOSES ONLY. REFER TO PLANS FOR ALL CONSTRUCTION DETAILS.

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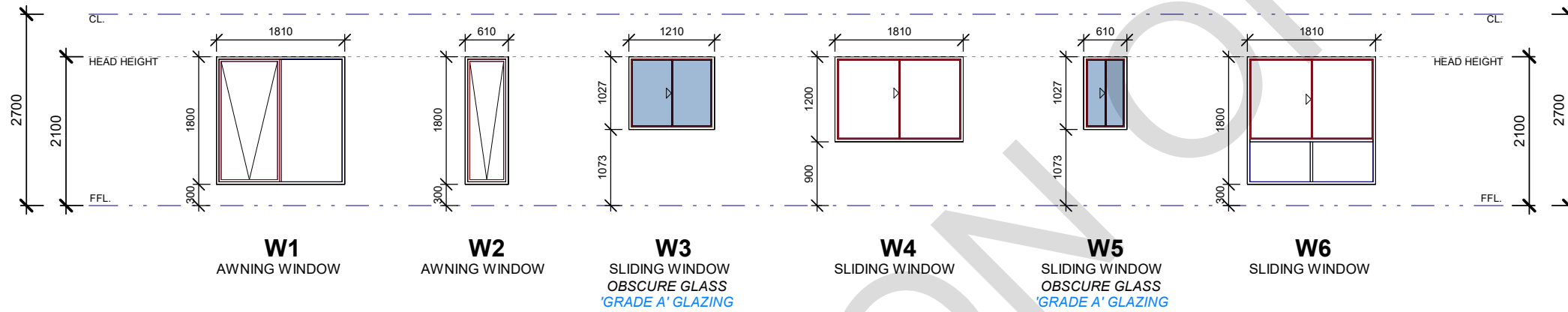
CLIENT SIGNATURE: _____
 DATE: _____
5b OF 20
 HUU NAM TRAN DANG DP-AD 65315

NOTE:
ENSURE WINDOWS W3 AND W5 TO BE INSTALLED WITH 'GRADE A' GLAZING AS PER 8.4.6 OF THE BCA

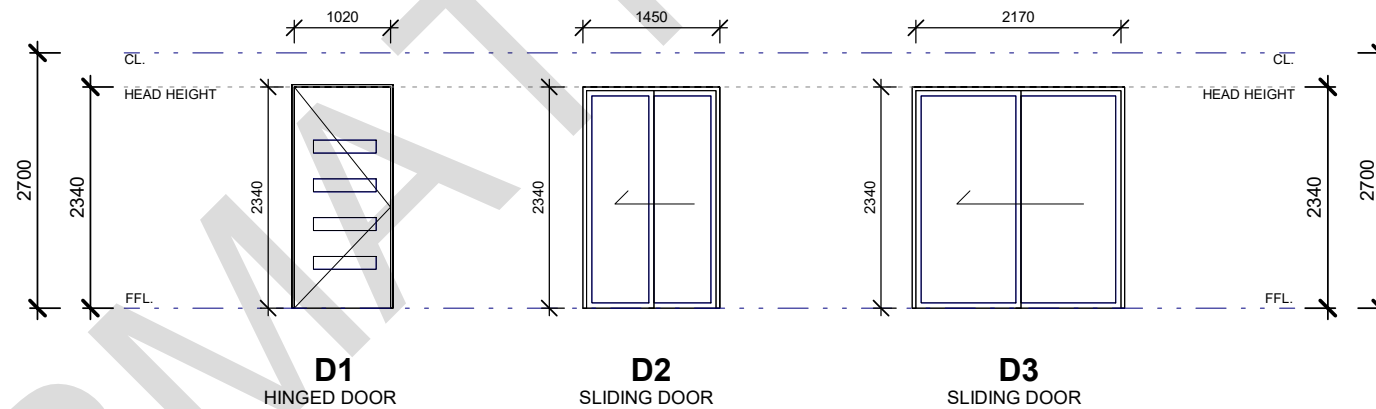
WINDOW & DOOR SCHEDULE

NOTE:
ALL INTERNAL DOORS TO BE 2340h UNLESS NOTED OTHERWISE.

NOTE:
ALL GLAZING MUST COMPLY WITH AS1288 AND AS2047.



NOTE: All Lintel sizes to be checked and compared with engineers specification and sizes recommendation



WINDOW & DOOR SCHEDULE				
(All sizes in mm)				
NO.	H x W	TYPE	ORIENTATION	QTY
WINDOWS				
W1	1800 x 1810	AWNING	WEST	1
W2	1800 x 610	AWNING	WEST	1
W3	1027 x 1210	SLIDING	NORTH	1
W4	1200 x 1810	SLIDING	NORTH, EAST	3
W5	1027 x 610	SLIDING	NORTH	1
W6	1800 x 1810	SLIDING	EAST	1
DOORS				
D1	2340 x 1020	HINGED	WEST	1
D2	2340 x 1450	SLIDING	NORTH	1
D3	2340 x 2170	SLIDING	EAST	1

NOTE: - ALL GLAZING TO COMPLY WITH AS-1288 & AS-2047
 - ALTERNATIVE TIMBER LINTELS IN F27 SEASONED HARDWOOD OR F7 OREGON AS PER TIMBER FRAMING MANUAL
 - ALL BATHROOM WINDOWS TO BE OBSCURE GLAZING
 - WINDOWS WHICH REQUIRE OVER-LOOKING PROTECTION TO BE TREATED WITH OBSCURE GLAZING UP TO 1.7m HIGH ABOVE FFL., EXTERNAL LOUVRES, ETC. REFER TO ELEVATIONS

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PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT Barnala Designer Homes	Window / Door Schedule	CLIENT SIGNATURE:
	Project number Job #20763	DATE:
SUBJECT SITE Lot 33220, No.12 Alisterus Road KALKALLO 3064	Date July 2025	6 OF 20 HUU NAM TRAN DANG DP-AD 65315
	Drawn by NDT	
	Scale 1 : 80	

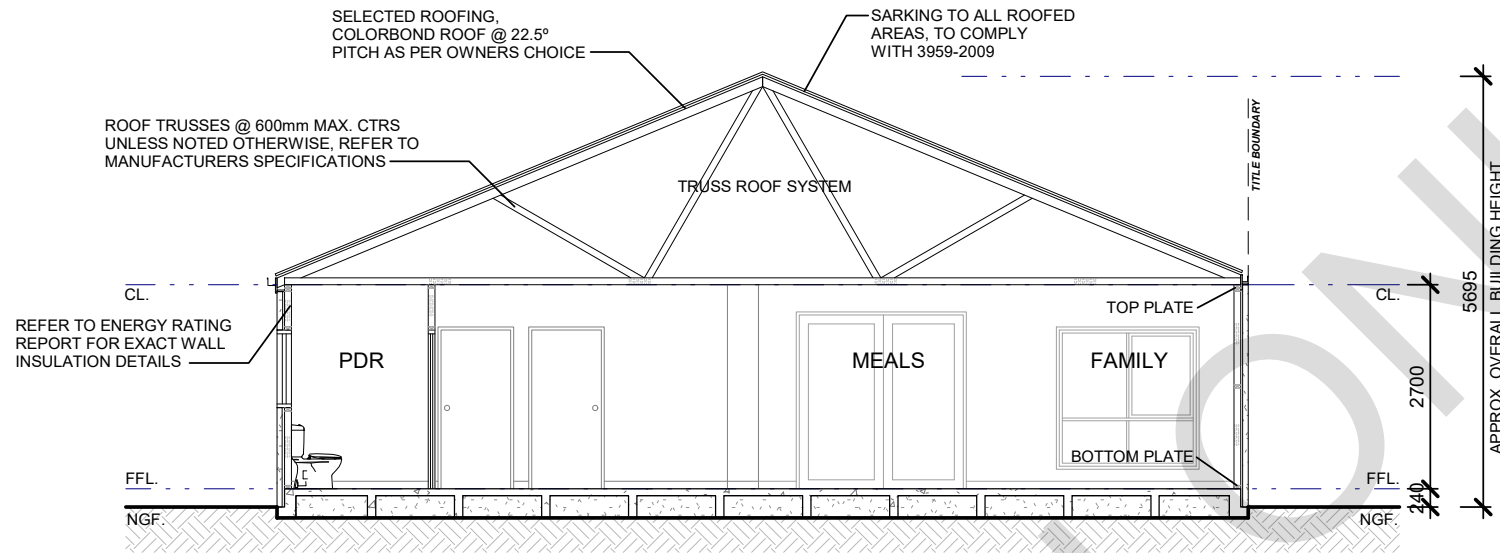
NOTE:
 PROVIDE STUDS 90x45 PINE F5 @ 600 CTRS.
 TOP & BOTTOM PLATES 90x45 F5 PINE.
 STEEL ANGLE BRACE ON 45 DEGREES.

ALL TIMBER CONSTRUCTION TO COMPLY WITH LIGHT TIMBER FACING CODE AS1684.4.

PROVIDE TIMBER TRUSSED ROOF AS PER MANUFACTURERS DESIGN AND LAYOUT.

PROVIDE WAFFLE POD SLAB AS PER ENGINEERS SPECIFICATIONS AND COMPUTATIONS (REFER TO ENGINEERS SLAB DRAWINGS TO ALL DETAILS)

WAFFLE SLAB SCHEDULE	
SLAB DETAILS	
OVERALL SLAB DEPTH	385 mm U.N.O
POD DEPTH	300 mm U.N.O
SLAB THICKNESS	85 mm U.N.O
EXTERNAL BEAM WIDTH	300 mm U.N.O
INTERNAL RIB WIDTH	110 mm U.N.O
REFER TO ENGINEERS DRAWINGS FOR ALL FOOTING DETAILS.	

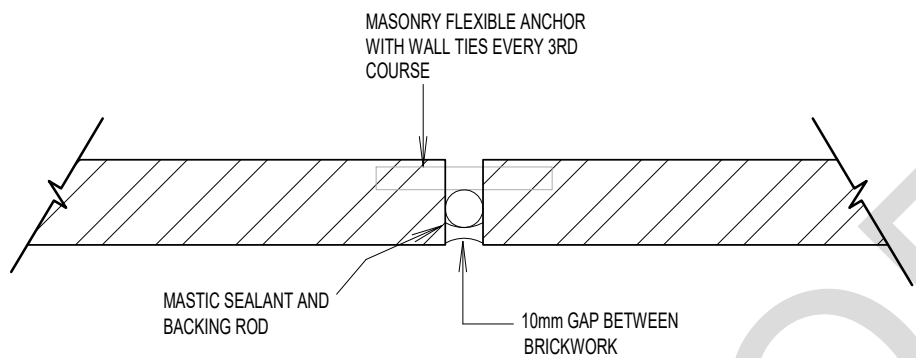


NOTE:
 ALL PLYABLE MEMBRANE MUST COMPLY WITH AS4200.1 AND BE INSTALLED IN ACCORDANCE WITH AS4200.2 AS PER 10.8 NCC 2022 VOL.2 FOR CONDENSATION MANAGEMENT.

NOTE:
 ALL EXHAUST FANS IN BATHROOMS MUST ACHIEVE MIN 25 L/s FLOW RATE. KITCHEN RANGEHOODS TO ACHIEVE 40 L/s. ALL EXHAUST FANS TO DISCHARGE 'DIRECTLY OUTSIDE' AND NOT INTO ROOF SPACE.

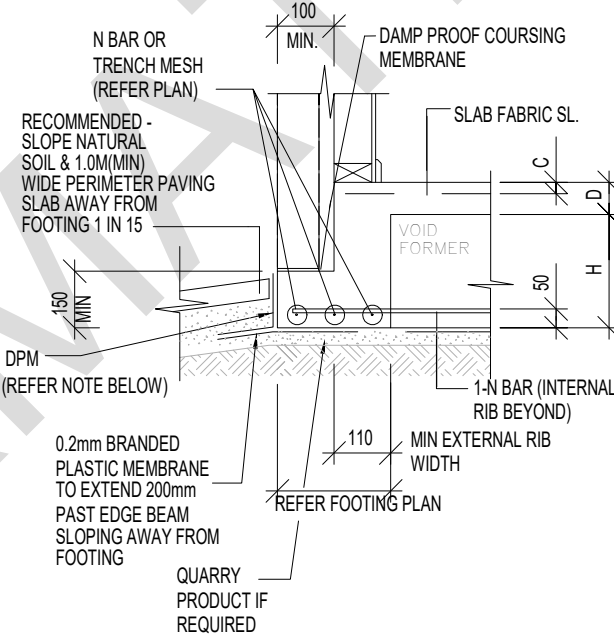
PRIOR CONSTRUCTION, CHECK ENGINEERS SPECIFICATIONS FOR EXACT WAFFLE POD SLAB CONSTRUCTION DETAILS

1 Section A-A
 1 : 100

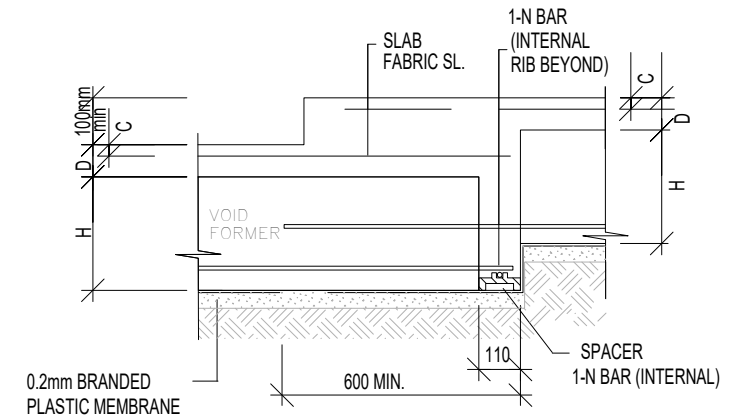


MASONRY ARTICULATION JOINT DETAIL

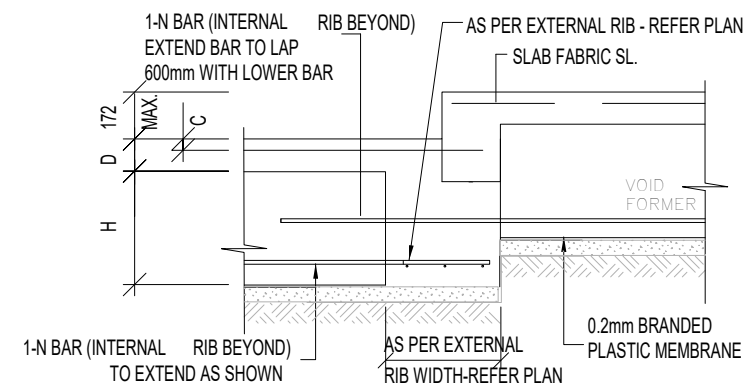
NOT TO SCALE



EDGE REBATE DETAIL



TYP. STEP DOWN DETAIL



GENERAL SETDOWN ALTERNATIVE

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SUBJECT SITE
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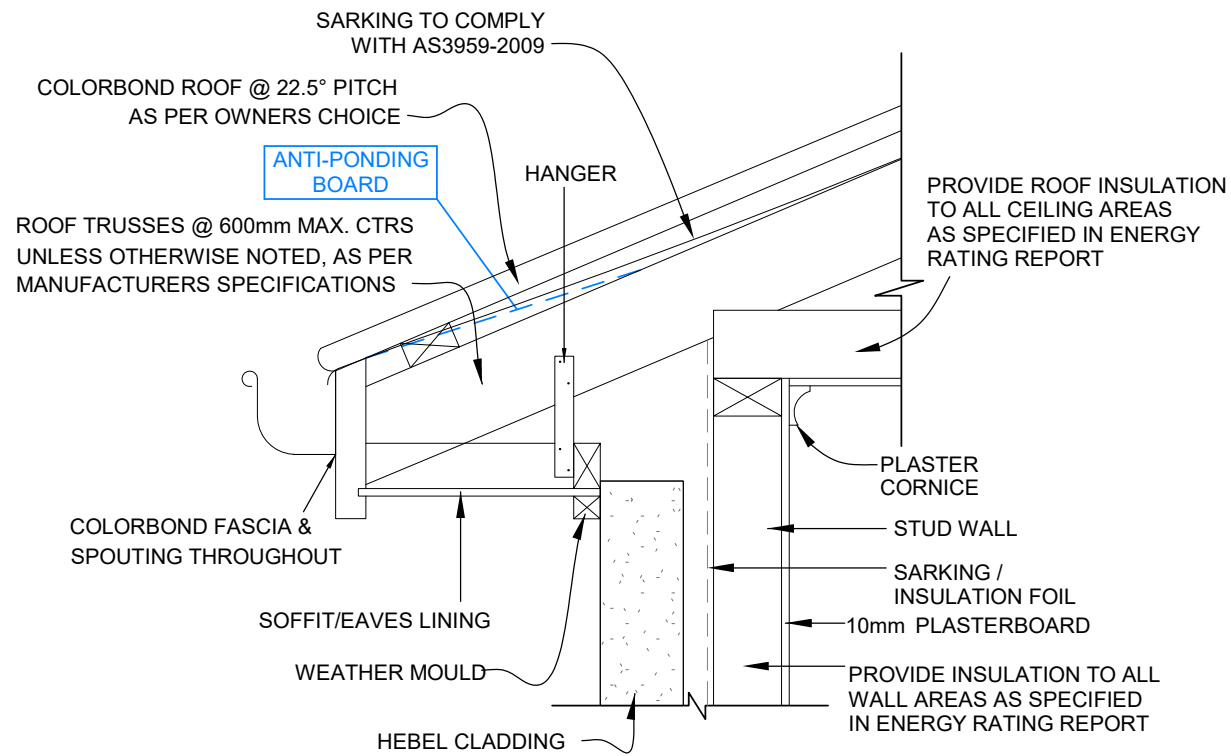
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Project number	Job #20763
Date	July 2025
Drawn by	NDT
Scale	1 : 100

CLIENT SIGNATURE: _____

DATE: _____

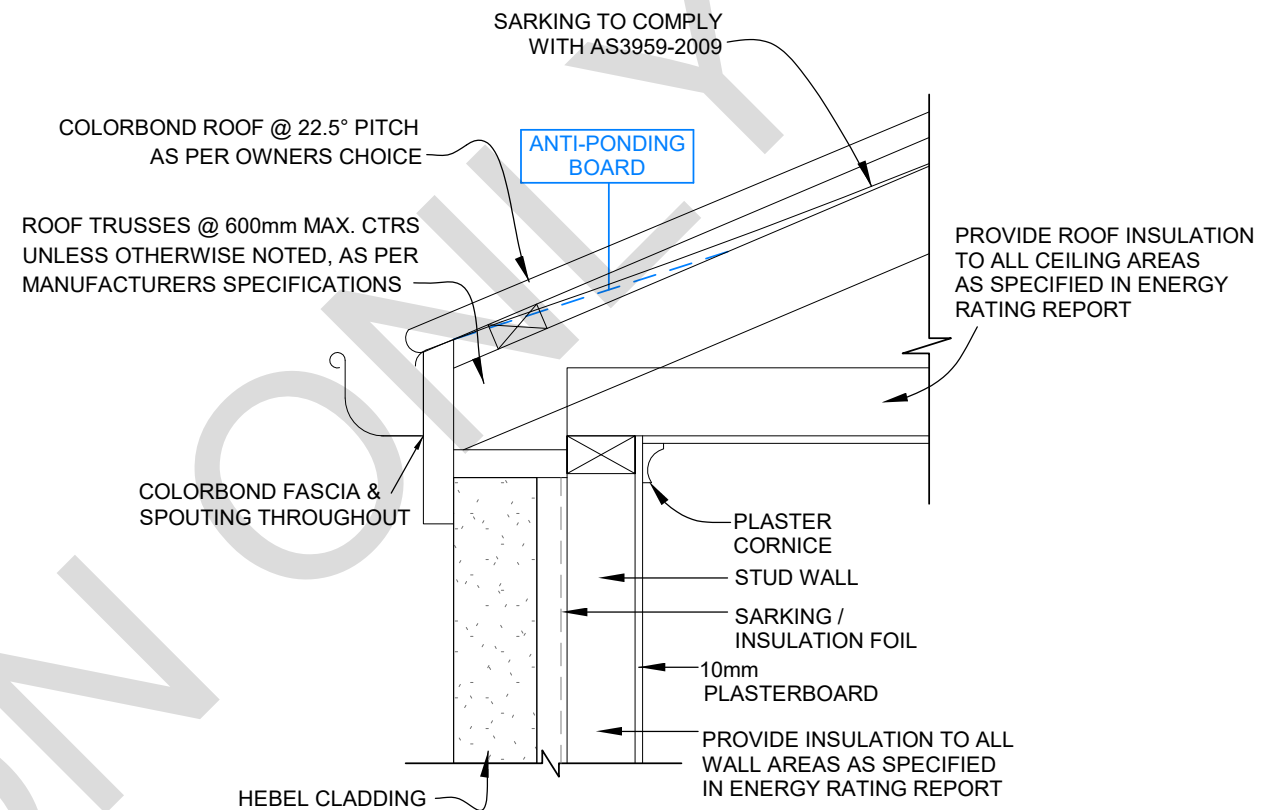
7 OF 20

HUU NAM TRAN DANG DP-AD 65315



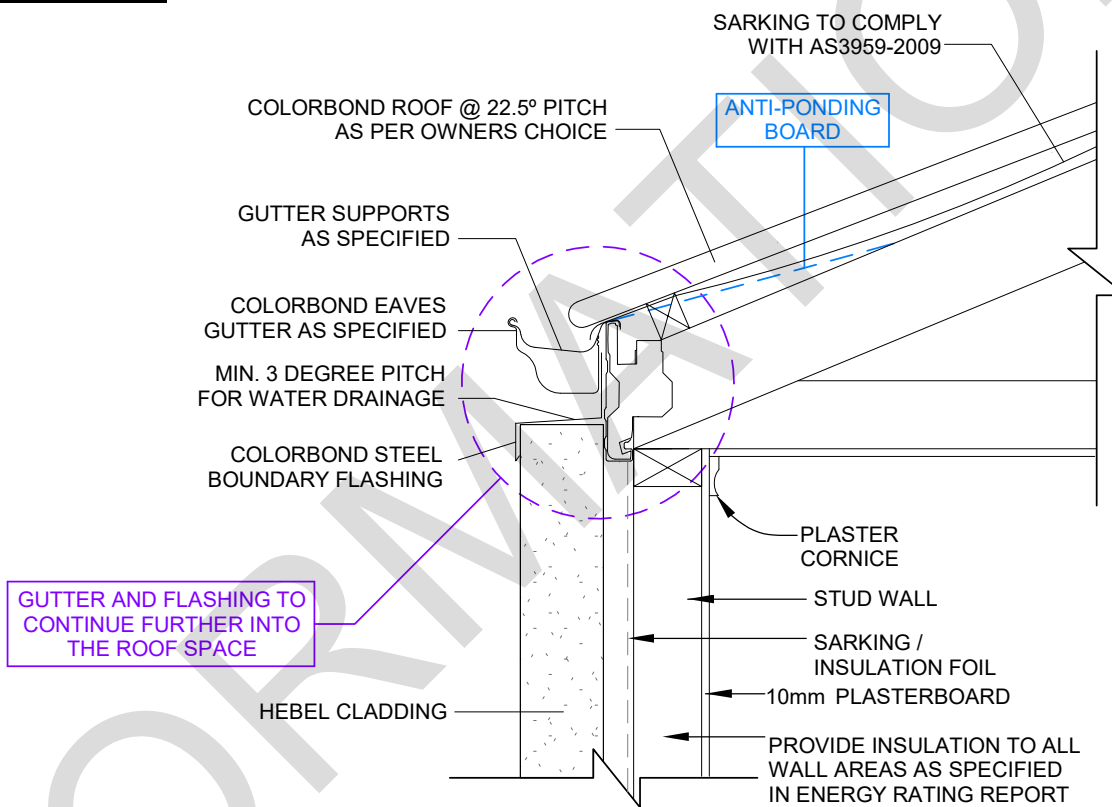
TYPICAL EAVES DETAIL

scale 1:10



TYPICAL NO EAVES DETAIL

scale 1:10



TYPICAL GUTTER DETAIL (BOUNDARY WALL)

scale 1:10

NOTE:
 PROVIDE ANTI-PONDING DEVICE IN ACCORDANCE WITH PART 7.3.5 ON ALL ROOF PITCHES WHERE THERE ARE NO EAVES OVERHANG, REGARDLESS OF WHETHER SARKING IS REQUIRED.

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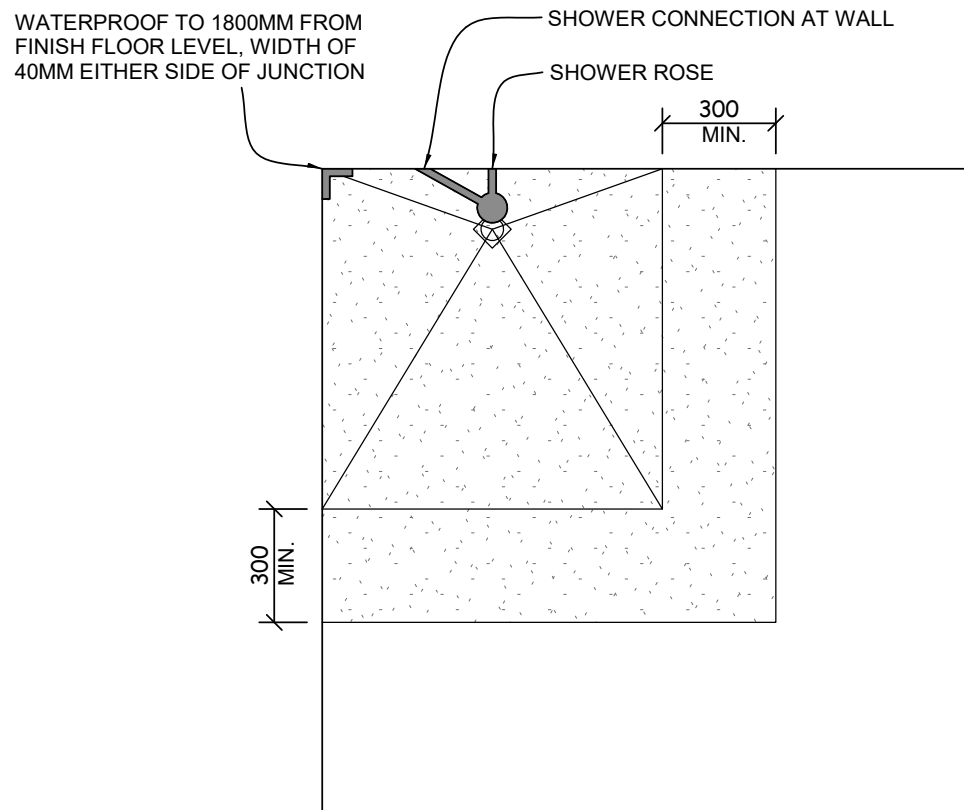
SUBJECT SITE
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Details		CLIENT SIGNATURE:
		DATE:
Project number	Job #20763	8 OF 20
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Scale	1 : 100	
		HUU NAM TRAN DANG DP-AD 65315

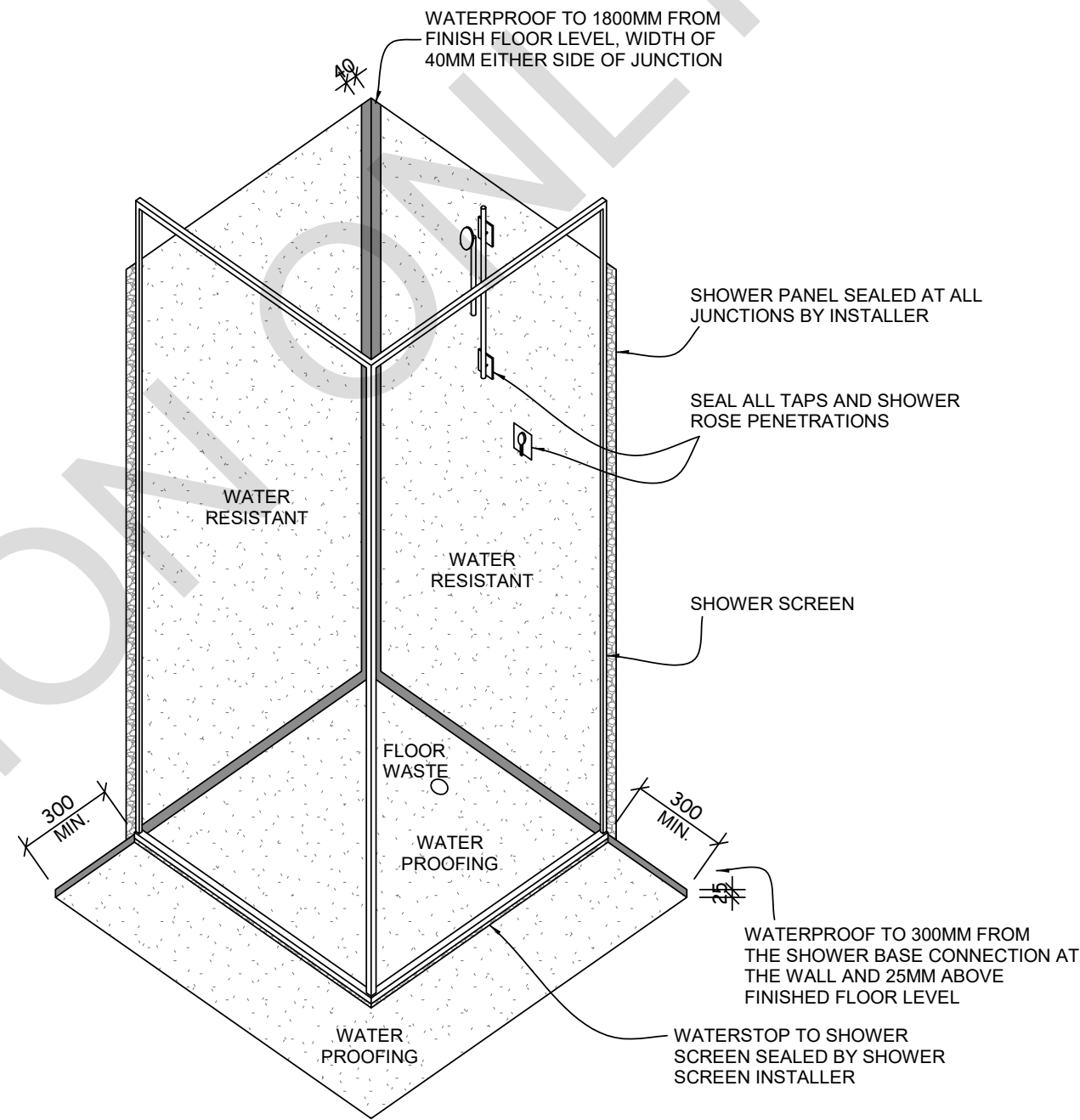


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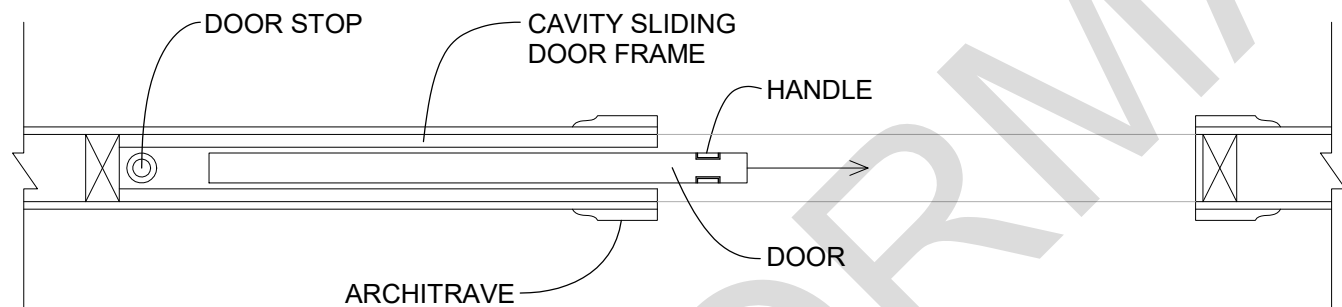
FOR INSPECTIONS & ENQUIRIES CALL (03) 9304 4412



PLAN VIEW
WET AREA WATERPROOFING DETAIL
 SCALE 1:20



ISOMETRIC VIEW
WET AREA WATERPROOFING DETAIL
 SCALE 1:20



TYPICAL CAVITY SLIDING DOOR DETAIL
 NOT TO SCALE

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9 OF 20

HUU NAM TRAN DANG DP-AD 65315



EMAIL: NAM@PROJECTD.COM.AU
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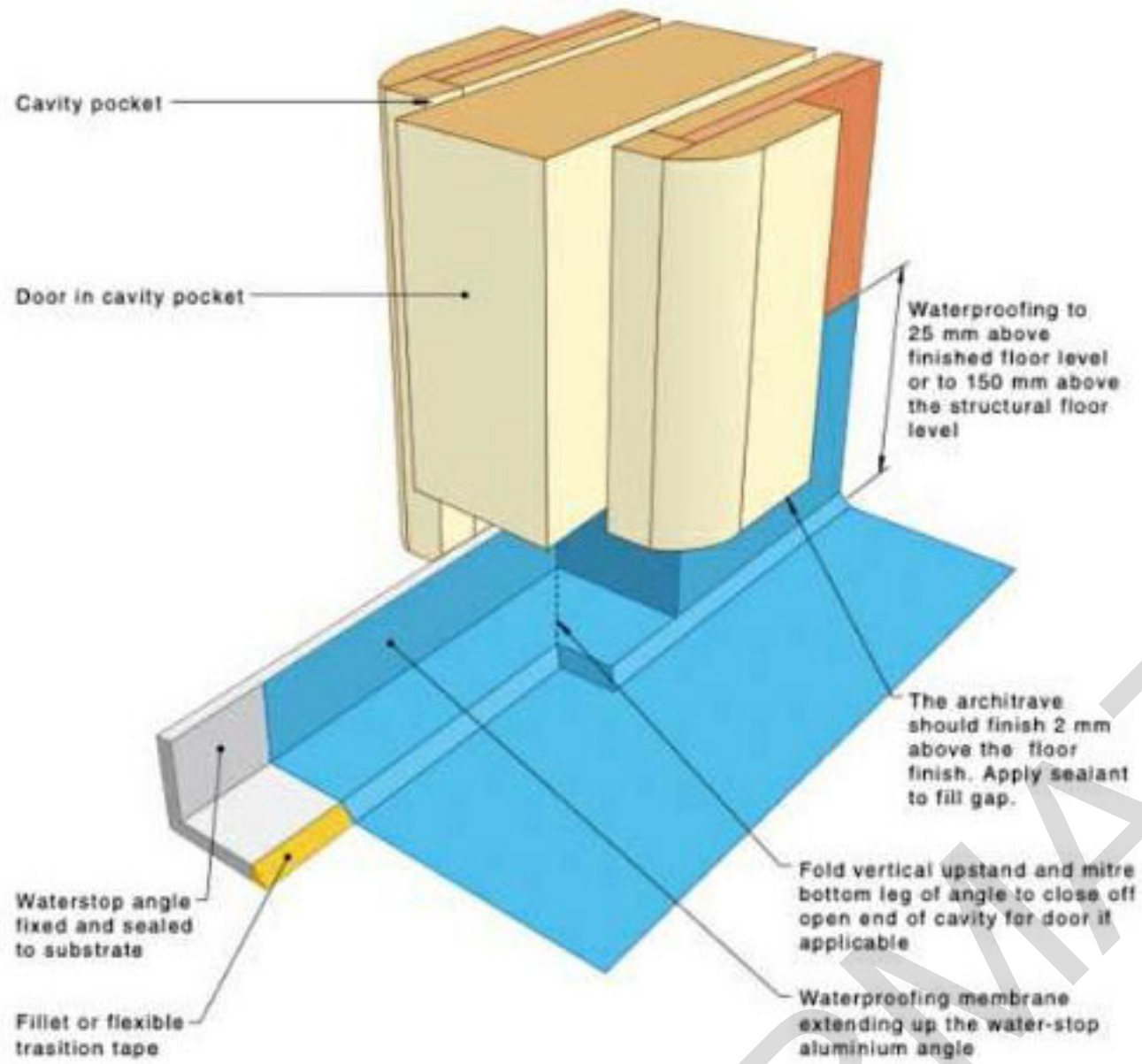
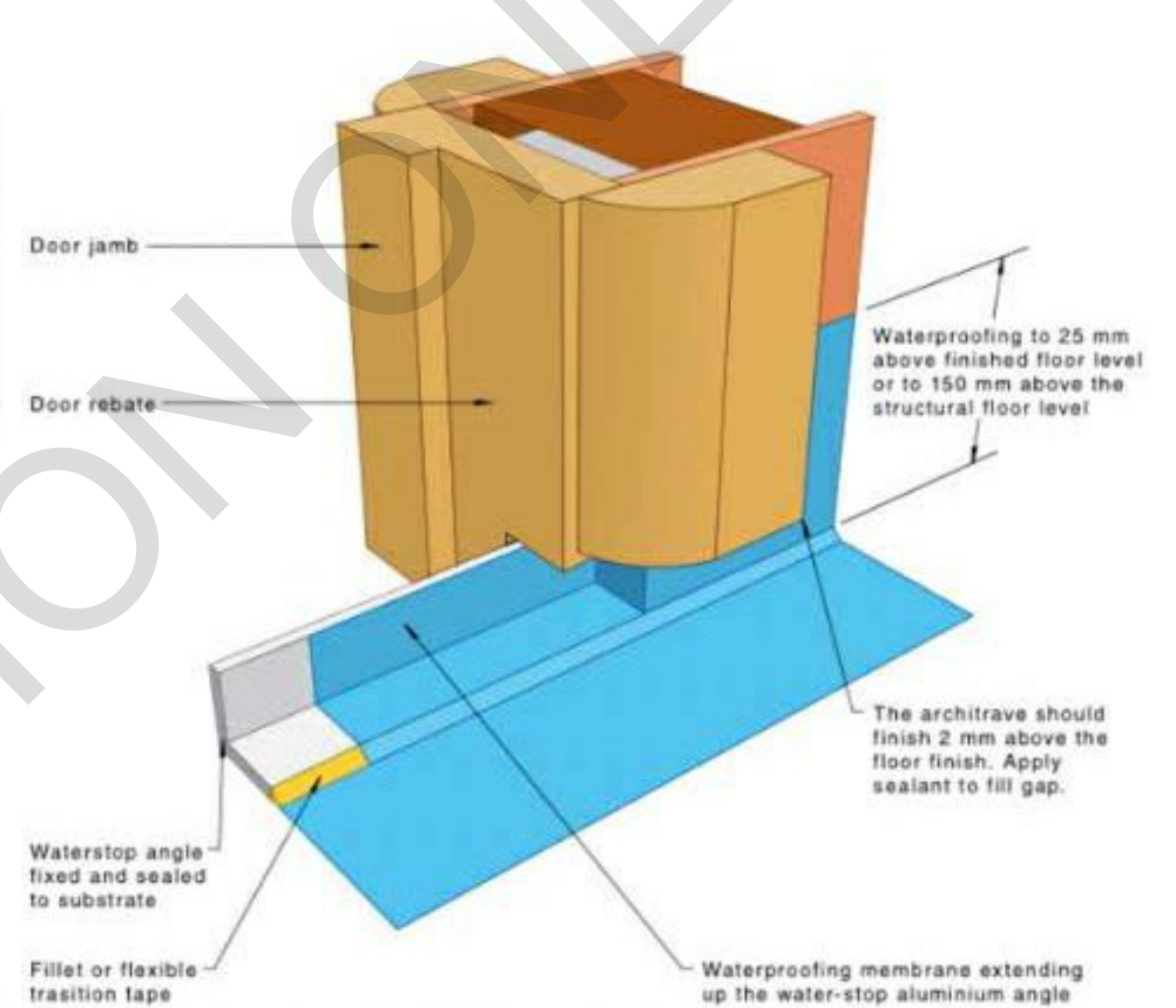


Figure 4.9.1(B) — Waterproofing at door opening cavity slider



NOTE The waterstop angle may be located at the face of the door jamb or at the rebate.

Figure 4.9.1(A) — Example of liquid waterproofing at door opening framework

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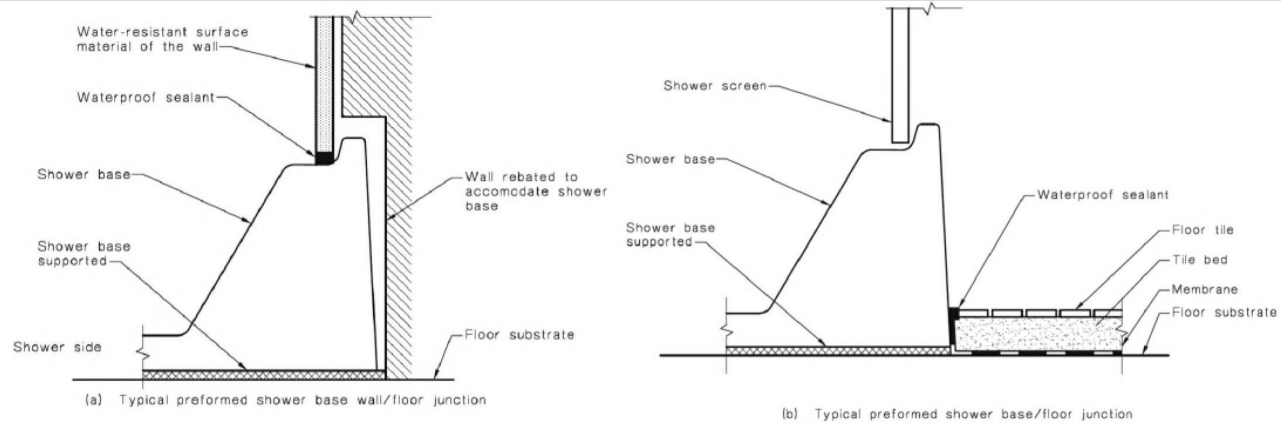
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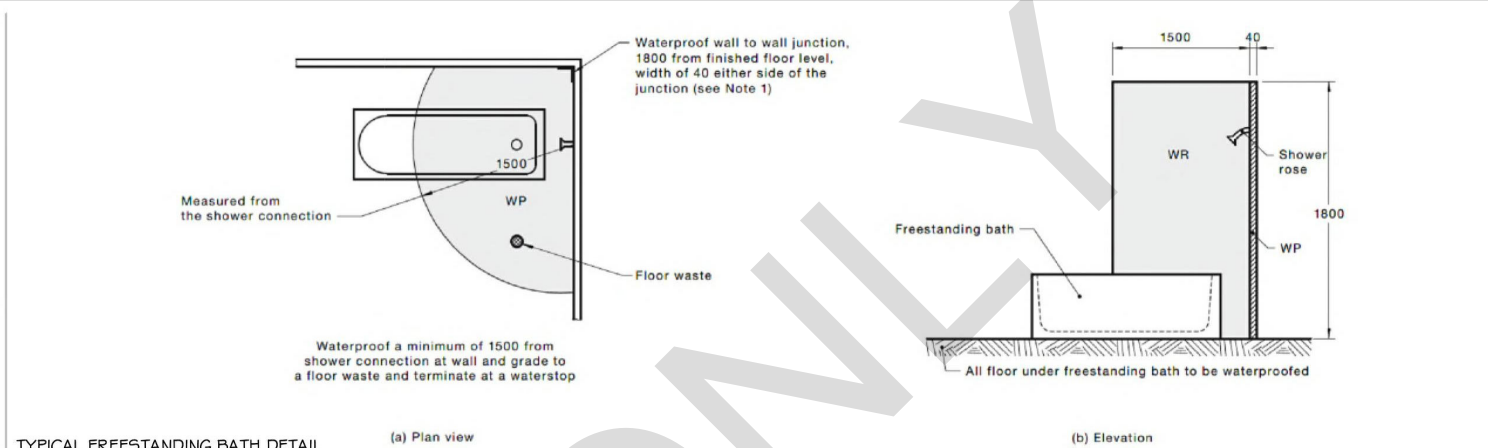
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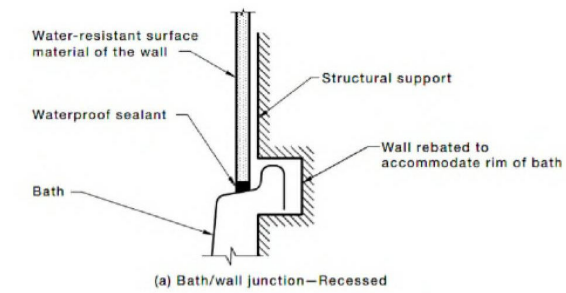
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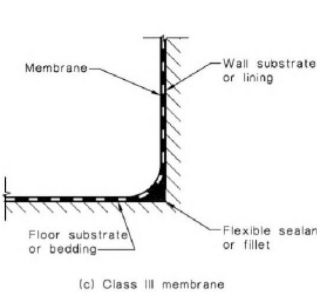
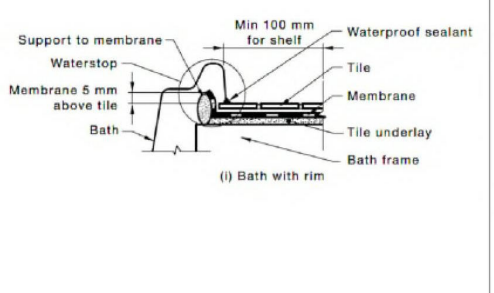
TYPICAL PREFORMED SHOWER BASE JUNCTION DETAIL



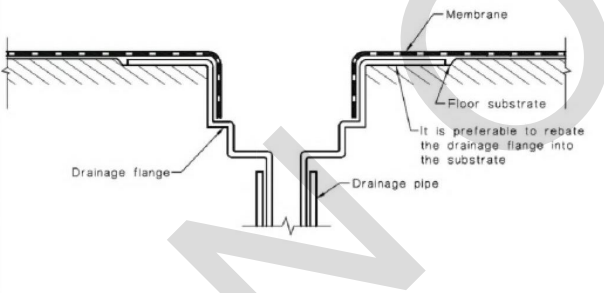
TYPICAL FREESTANDING BATH DETAIL



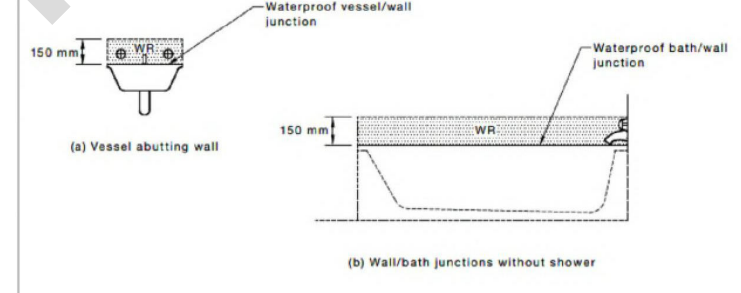
TYPICAL BATH JUNCTION DETAIL



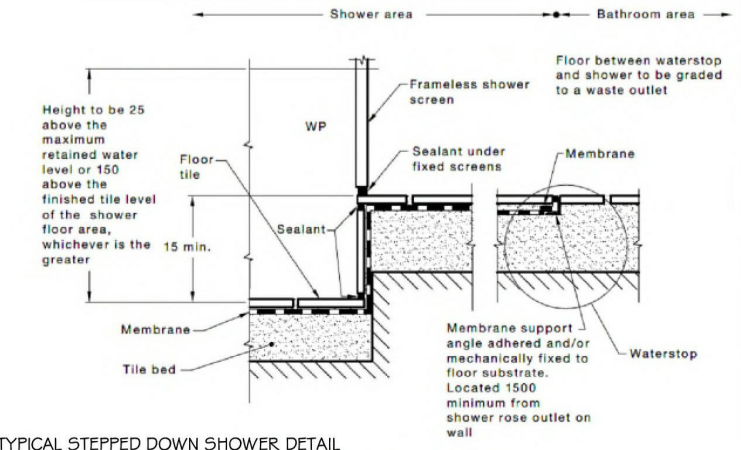
TYPICAL BOND BREAKER DETAIL



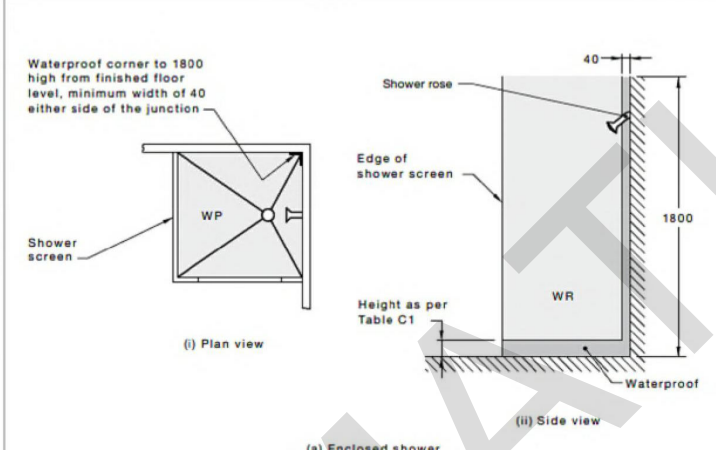
TYPICAL DRAINAGE FLANGE / MEMBRANE DETAIL



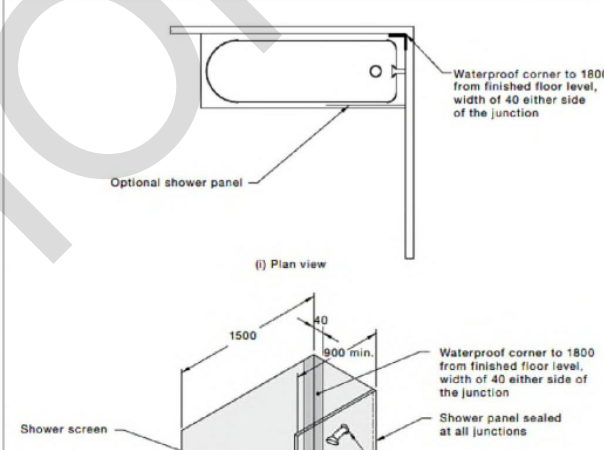
TYPICAL BATH AND VESSEL ABUTTING WALL DETAIL



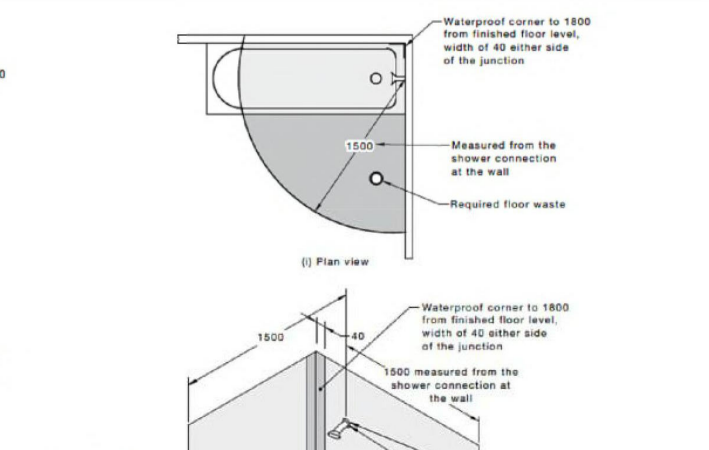
TYPICAL STEPPED DOWN SHOWER DETAIL



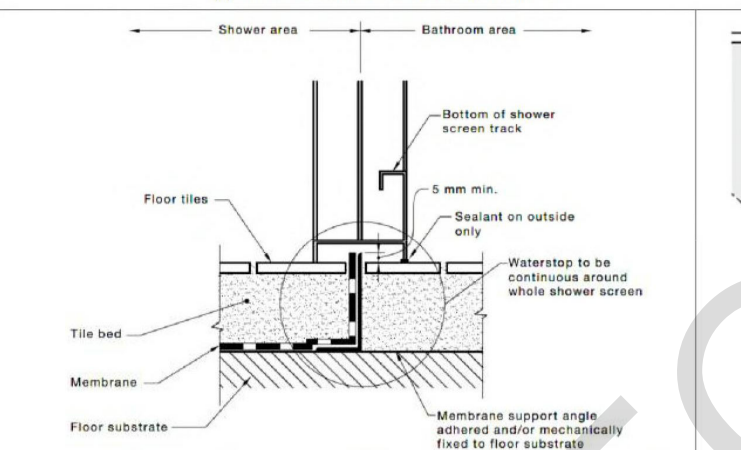
TYPICAL WATERPROOFING TREATMENT SHOWER DETAIL (CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORS)



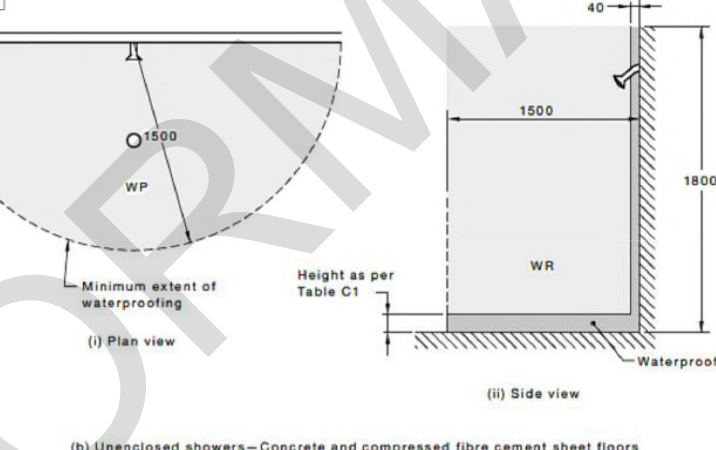
TYPICAL WATERPROOFING TREATMENT UNENCLOSED SHOWERS ABOVE BATHS DETAIL (CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORS)



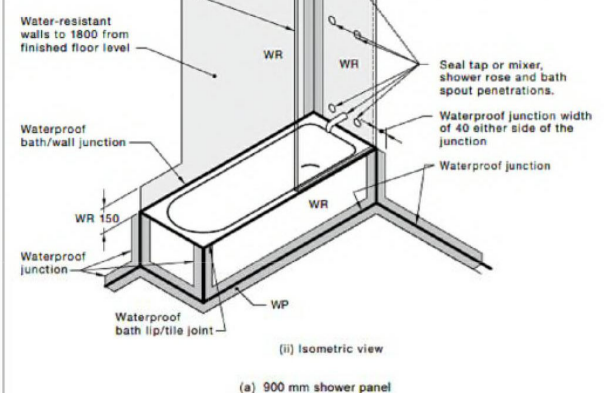
TYPICAL WATERPROOFING TREATMENT UNENCLOSED SHOWERS ABOVE BATHS DETAIL (CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORS)



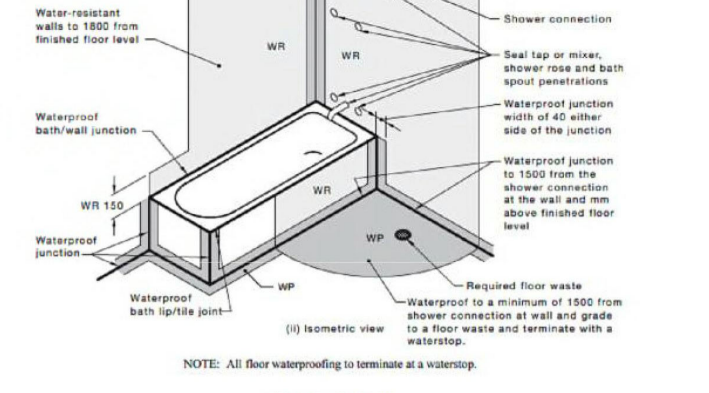
TYPICAL HOBLESS SHOWER DETAIL



TYPICAL WATERPROOFING TREATMENT SHOWER DETAIL (CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORS)



TYPICAL WATERPROOFING TREATMENT UNENCLOSED SHOWERS ABOVE BATHS DETAIL (CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORS)



TYPICAL WATERPROOFING TREATMENT UNENCLOSED SHOWERS ABOVE BATHS DETAIL (CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORS)

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Details		CLIENT SIGNATURE:
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LIVABLE HOUSING DESIGN GUIDELINES
PART 6. REINFORCEMENT OF BATHROOM AND SANITARY COMPARTMENT WALLS

Figure 6.2a: Location of noggings for walls surrounding a bath

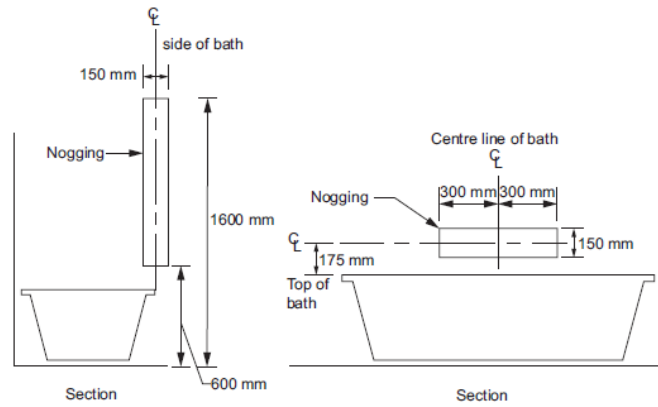


Figure 6.2c: Location of noggings for shower walls

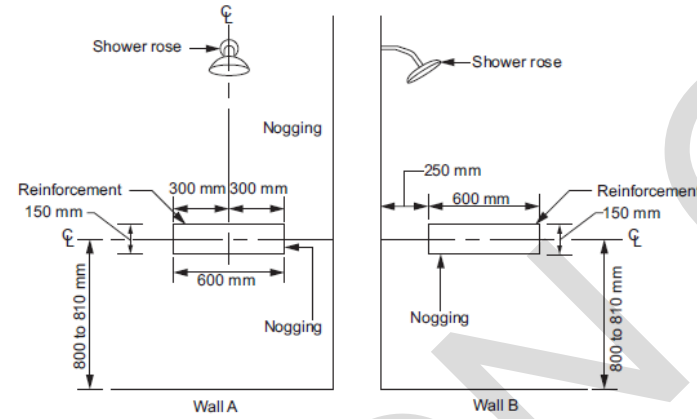


Figure 6.2e: Minimum extent of sheeting for wall adjacent to a toilet pan
 Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

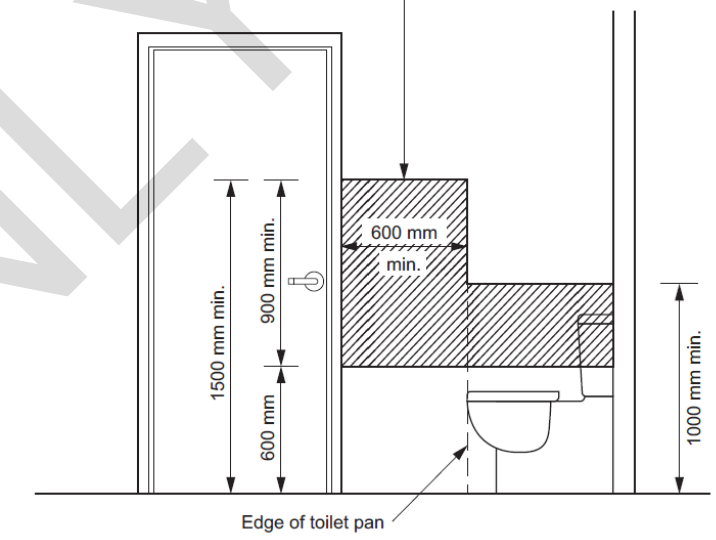


Figure 6.2f: Location of noggings for a wall behind a toilet pan

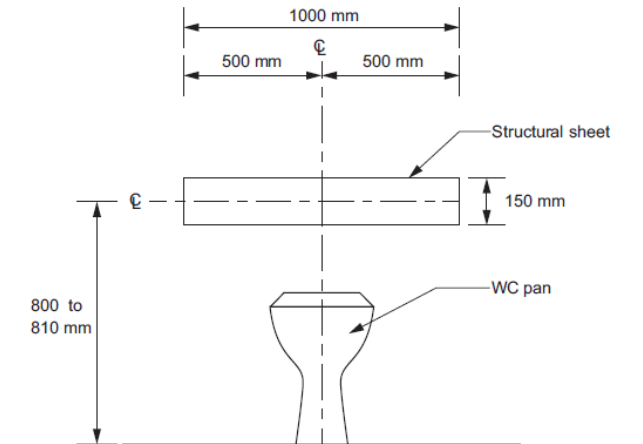


Figure 6.2g: Location of sheeting for a wall behind a toilet pan

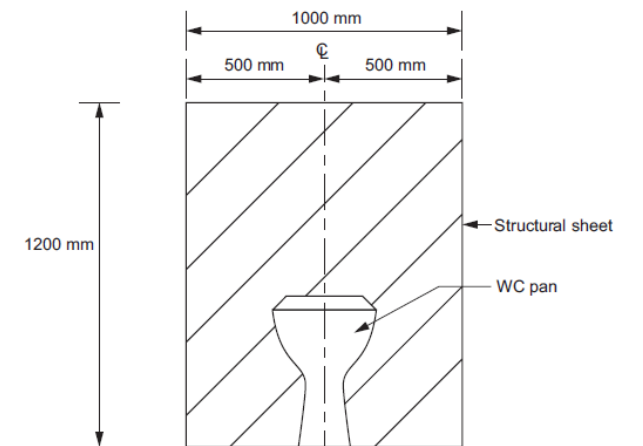


Figure Notes

- (1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.
- (2) Where the height of the bathtub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

Figure Notes

- Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Figure 6.2b: Location of sheeting for walls surrounding a bath

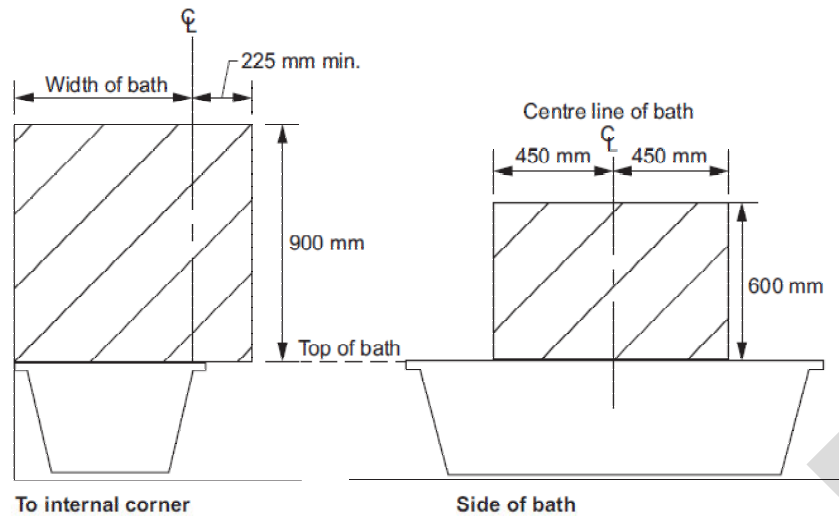


Figure 6.2d: Location of sheeting for shower walls

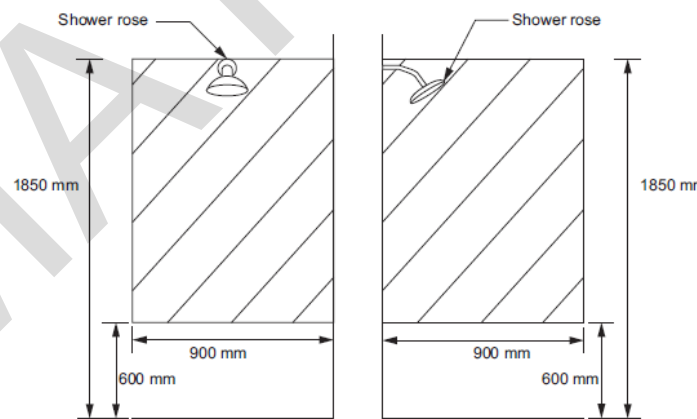


Figure Notes

- (1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.
- (2) Where the height of the bath tub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

Figure Notes

- Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

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AREA SCHEDULE

SITE AREA: 294 m ²	
BUILDING COVERAGE: 65.0 %	
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT
Barnala Designer Homes

SUBJECT SITE
 Lot 33220, No.12 Alisterus Road
 KALKALLO 3064

Details

Project number	Job #20763
Date	July 2025
Drawn by	NDT
Scale	

CLIENT SIGNATURE:

DATE:

12 OF 20

HUU NAM TRAN DANG DP-AD 65315

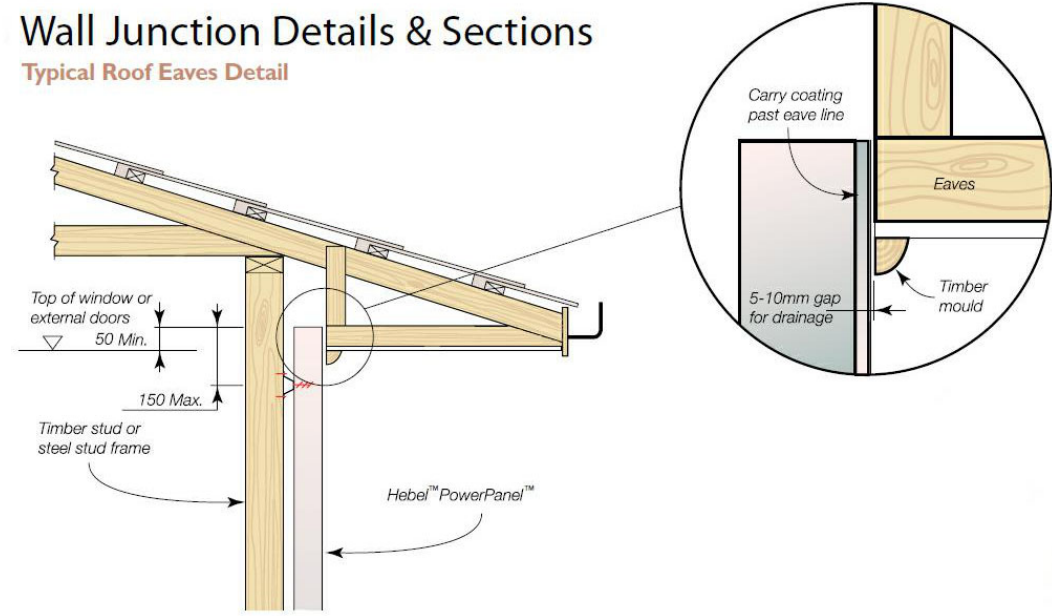
PROJECT D
 Opes BUILDING SOLUTIONS
 THIS DOCUMENT IS THE SUBJECT OF -
 EMAIL: NAM@PROJECTD.COM.AU
 PERMIT NUMBER: 0412 223 7747 8943 27185
 ISSUED DATE: 29/07/2025

TYPICAL CSR HEBEL CLADDING DETAILS

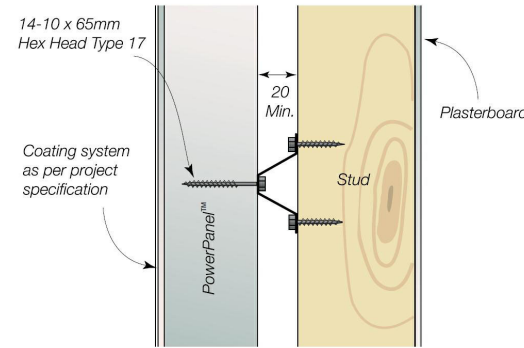
System Application	Fire	Acoustic	Thermal	Wall thickness
PowerPanel ^{XL} external wall system	180/180/180	Rw + Ctr 35 to 39	R1.61 to R3.57	179mm to 210mm

Wall Junction Details & Sections

Typical Roof Eaves Detail



Hebel[™] PowerPanel[™] Internal Fixing Detail



Hebel[™] PowerPanel[™] External Fixing Detail

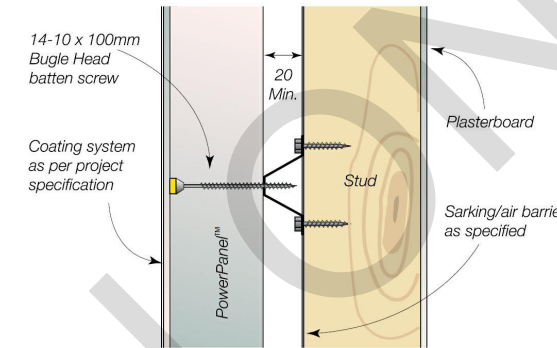
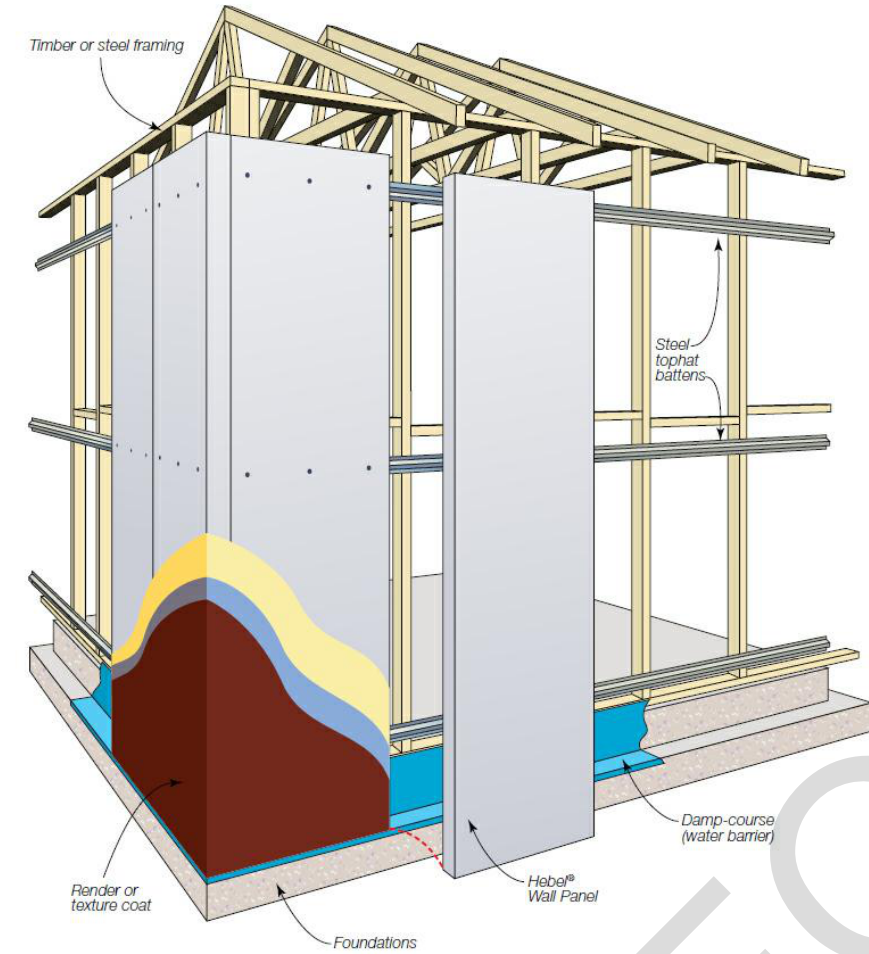
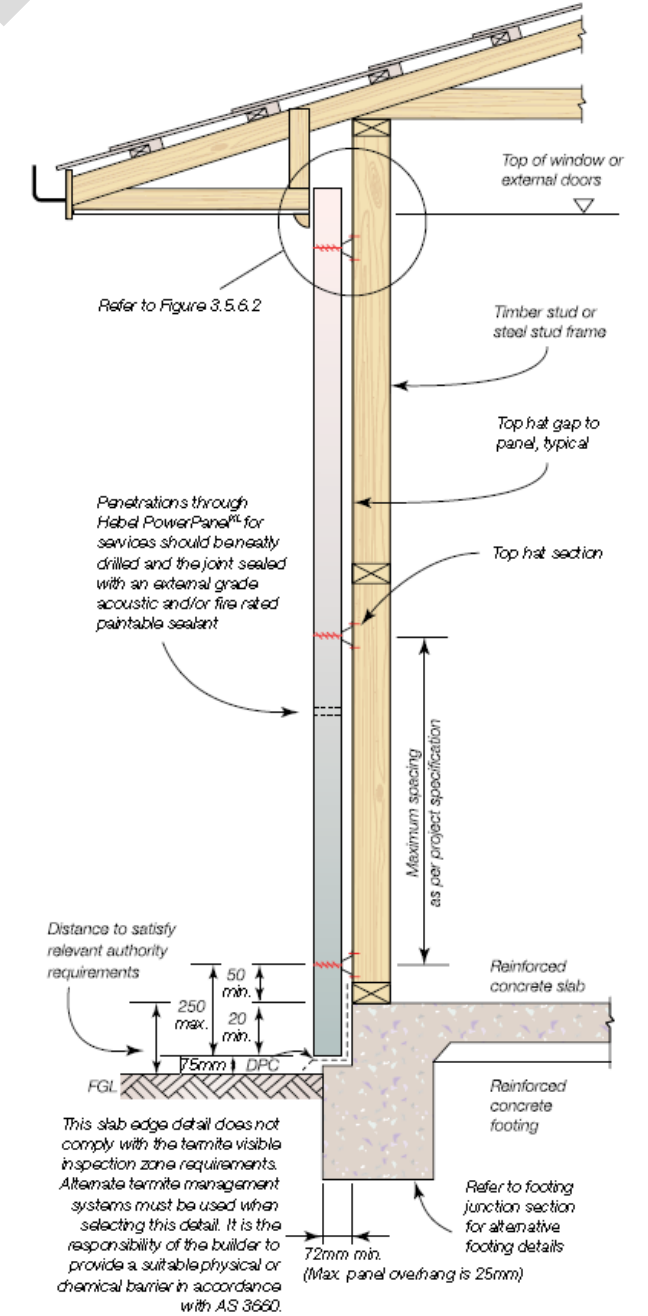
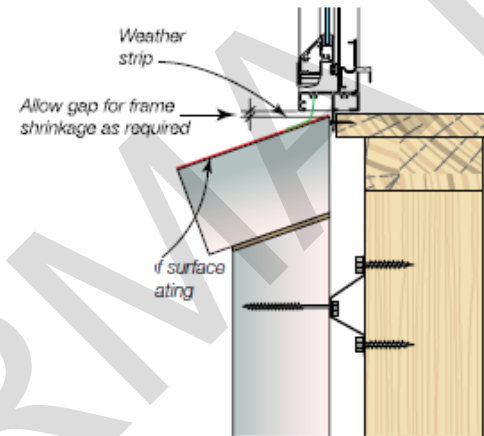


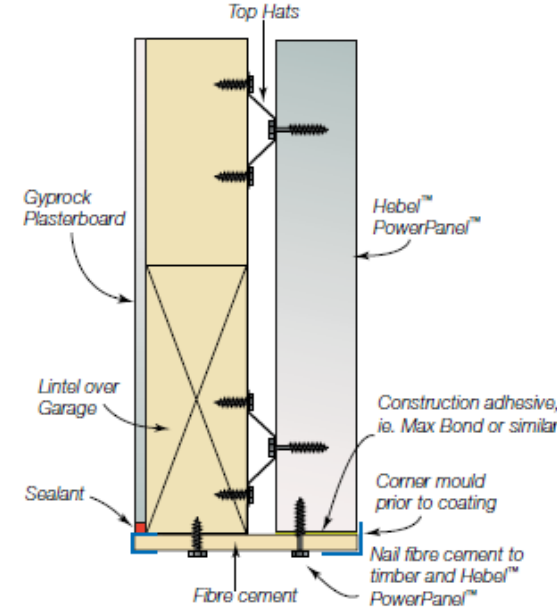
Figure 3.5.1.5 Single storey construction - typical section detail



Detail 17.8.8 Sill Detail



Detail 17.8.9 Garage Head Detail



PROJECT D
Opes BUILDING SOLUTIONS
THIS DOCUMENT IS THE SUBJECT OF -
PERMIT NUMBER: 0412 023 7747 8943 127155
ISSUED DATE: 29/07/2025
EMAIL: NAM@PROJECTD.COM.AU

GENERAL NOTES:
*All measurements & levels to be checked prior to construction
*Provide impervious floor & wall finish to all wet areas
*Provide safety glass where required to AS1288.
*Provide control joints at approx 5.0 M ctrs max
*Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.
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AREA SCHEDULE	
SITE AREA:	294 m ²
BUILDING COVERAGE:	65.0 %
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT
Barnala Designer Homes

SUBJECT SITE
Lot 33220, No.12 Alisterus Road
KALKALLO 3064

Details		CLIENT SIGNATURE:
Project number	Job #20763	DATE:
Date	July 2025	13 OF 20
Drawn by	NDT	
Scale		HUU NAM TRAN DANG DP-AD 65315

DENOTES APPROX. SHADOW CAST AS PER MARCH 21ST - SEPTEMBER 23RD (EQUINOX)

9:00AM



ALISTERUS ROAD

CLOSEST INTERSECTING STREET 120m NORTH TO 'ARCTURUS DRIVE'

SEWER DETAILS
 PIPE SIZE: 150 mm
 PIPE MATERIAL: PVC-NP
 AVERAGE DEPTH: 1.86 m
 BRANCH LENGTH: 1.656 m
 REFER TO YARRA VALLEY WATER SEWERAGE DEPTH OFFSET ASSET MAP FOR ALL DETAILS

PERMEABILITY CALCULATIONS
 TOTAL LOT AREA = 294 m²

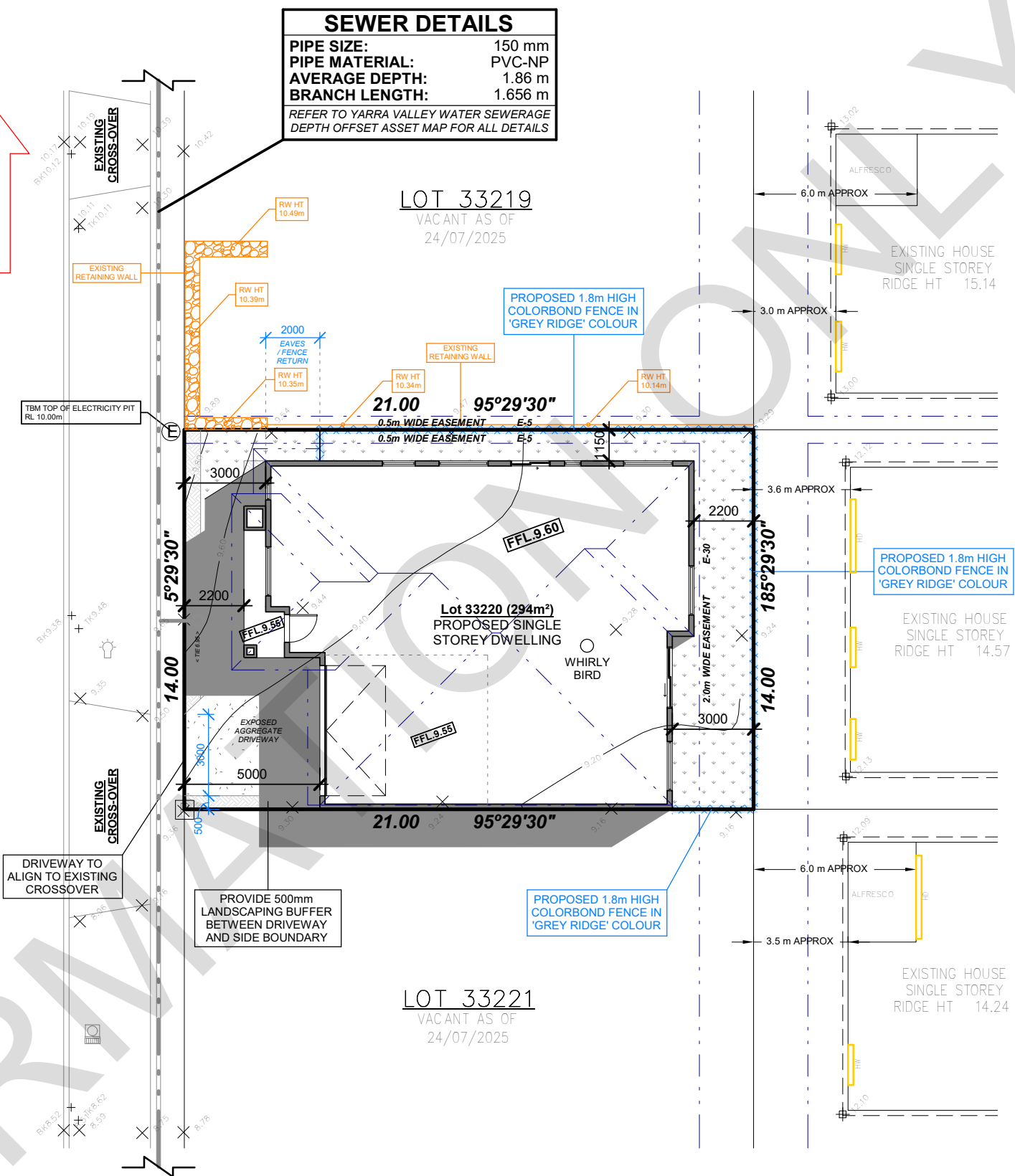
DWELLING	= 191.23 m ² = 65.0%
CONCRETE	= 23.15 m ² = 7.9%
GRASS	= 69.67 m ² = 23.7%
GARDEN BED	= 9.95 m ² = 3.4%

AS PER ABOVE CALCULATIONS THE AMOUNT OF AREA (DWELLING 65.0% + CONCRETE 7.9% = 72.9%) DOES NOT EXCEED 90% OF THE ALLOTMENT AREA.

PERMEABILITY CALCULATIONS
 FRONT YARD AREA = 51.00 m²

HARDSCAPE	= 23.15 m ² = 45.4%
SOFTSCAPE	= 27.85 m ² = 54.6%

AS PER ABOVE CALCULATIONS THE AMOUNT OF HARD SURFACES DOES NOT EXCEED 60% OF THE FRONT YARD.



ENERGY RATING NOTES:
 The following standards are to be installed to all energy rated dwellings/units to obtain a 7.0 star energy rating:

- All external doors and windows to be weather-sealed;
- All doors to utilities and any other attached garages to be weather-stripped;
- All general building gaps and cracks to be filled;
- All silitation to be tape sealed and tears patched;
- Only non-vented downlights, and skylights to be used;
- Exhaust fans to be self-sealing at outlet duct;
- Timber windows to be used throughout unless otherwise specified;
- Insulation:
REFER TO ENERGY RATING REPORT
 Provide water saving measures and solar hot water system, or
 Provide water saving measures and a rain water tank.

LEGEND

	GRASS
	GARDEN BED
	CONCRETE

FENCE NOTE:
SIDE AND REAR FENCING
 THE FOLLOWING FENCING STANDARD IS REQUIRED:

- BE CONSTRUCTED OF 1.8m HIGH PRE-COATED METAL SHEETING PANELS (EG. COLORBOND®) IN 'GREY RIDGE' COLOUR OR COLOURED TO MATCH
- ACCEPTABLE FENCING PROFILES INCLUDE 'LYSAGHTS'® 'NEETASCREEN OR STRATCO'S'® SUPERDEK RANGE OR SIMILAR PROFILES APPROVED IN WRITING BY STOCKLAND'S ARCHITECT
- BE RETURNED AT 90 DEGREES TO THE HOME, TO CONNECT WITH THE SIDE OF THE HOME OR GARAGE WALL AT LEAST 2.0m BEHIND THE NEAREST FRONT FACADE.

SHADOW DIAGRAM scale 1:200

PROJECT D
 BUILDING SOLUTIONS
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 BUILDING SOLUTIONS
 THIS DOCUMENT IS THE SUBJECT OF -
 EMAIL: NAM@PROJECTD.COM.AU
 PERMIT NUMBER: 0412 023 77478943
 ISSUED DATE: 29/07/2025

GENERAL NOTES:

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- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

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 © COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA:	294 m ²
BUILDING COVERAGE:	65.0 %
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT
Barnala Designer Homes

SUBJECT SITE
 Lot 33220, No.12 Alisterus Road
 KALKALLO 3064

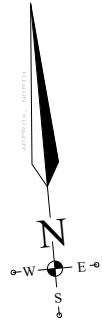
Shadow Diagram - 9am

Project number	Job #20763
Date	July 2025
Drawn by	NDT
Scale	1 : 200

CLIENT SIGNATURE:
 DATE:
14 OF 20
 HUU NAM TRAN DANG DP-AD 65315

DENOTES APPROX. SHADOW CAST AS PER MARCH 21ST - SEPTEMBER 23RD (EQUINOX)

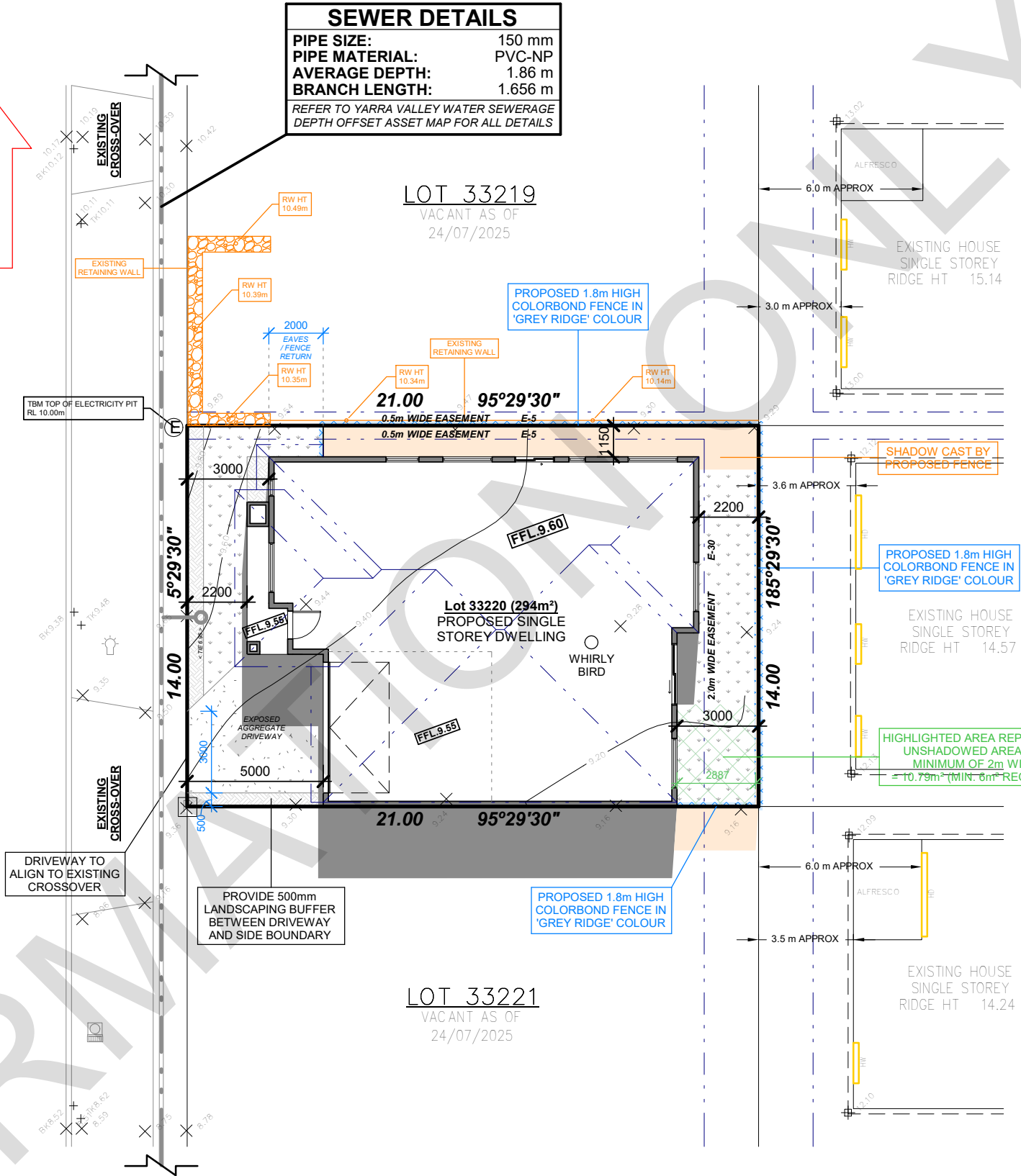
12:00PM



ALISTERUS ROAD

SEWER DETAILS
 PIPE SIZE: 150 mm
 PIPE MATERIAL: PVC-NP
 AVERAGE DEPTH: 1.86 m
 BRANCH LENGTH: 1.656 m
 REFER TO YARRA VALLEY WATER SEWERAGE DEPTH OFFSET ASSET MAP FOR ALL DETAILS

CLOSEST INTERSECTING STREET 120m NORTH TO 'ARCTURUS DRIVE'



PERMEABILITY CALCULATIONS

TOTAL LOT AREA = 294 m²

DWELLING	= 191.23 m ² = 65.0%
CONCRETE	= 23.15 m ² = 7.9%
GRASS	= 69.67 m ² = 23.7%
GARDEN BED	= 9.95 m ² = 3.4%

AS PER ABOVE CALCULATIONS THE AMOUNT OF AREA (DWELLING 65.0% + CONCRETE 7.9% = 72.9%) DOES NOT EXCEED 90% OF THE ALLOTMENT AREA.

PERMEABILITY CALCULATIONS

FRONT YARD AREA = 51.00 m²

HARDSCAPE	= 23.15 m ² = 45.4%
SOFTSCAPE	= 27.85 m ² = 54.6%

AS PER ABOVE CALCULATIONS THE AMOUNT OF HARD SURFACES DOES NOT EXCEED 60% OF THE FRONT YARD.

ENERGY RATING NOTES:
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- All doors to utilities and any other attached garages to be weather-stripped;
- All general building gaps and cracks to be filled;
- All silitation to be tape sealed and tears patched;
- Only non-vented downlights, and skylights to be used;
- Exhaust fans to be self-sealing at outlet duct;
- Timber windows to be used throughout unless otherwise specified;
- Insulation:
REFER TO ENERGY RATING REPORT
 Provide water saving measures and solar hot water system, or
 Provide water saving measures and a rain water tank.

LEGEND

	GRASS
	GARDEN BED
	CONCRETE

FENCE NOTE:

SIDE AND REAR FENCING
 THE FOLLOWING FENCING STANDARD IS REQUIRED:
 - BE CONSTRUCTED OF 1.8m HIGH PRE-COATED METAL SHEETING PANELS (EG. COLORBOND®) IN 'GREY RIDGE' COLOUR OR COLOURED TO MATCH
 - ACCEPTABLE FENCING PROFILES INCLUDE 'LYSAGHTS'® 'NEETASCREEN OR STRATCO'S® SUPERDEK RANGE OR SIMILAR PROFILES APPROVED IN WRITING BY STOCKLAND'S ARCHITECT
 - BE RETURNED AT 90 DEGREES TO THE HOME, TO CONNECT WITH THE SIDE OF THE HOME OR GARAGE WALL AT LEAST 2.0m BEHIND THE NEAREST FRONT FACADE.

SHADOW DIAGRAM scale 1:200

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

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AREA SCHEDULE

SITE AREA: 294 m ²	
BUILDING COVERAGE: 65.0 %	
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT
Barnala Designer Homes

SUBJECT SITE
 Lot 33220, No.12 Alisterus Road
 KALKALLO 3064

Shadow Diagram - 12pm

Project number	Job #20763
Date	July 2025
Drawn by	NDT
Scale	1 : 200

CLIENT SIGNATURE:

DATE:

15 OF 20

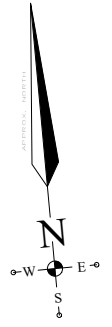
HUU NAM TRAN DANG DP-AD 65315



EMAIL: NAM@PROJECTD.COM.au
 THIS DOCUMENT IS THE SUBJECT OF -
 PERMIT NUMBER: 0412 223 77478943
 ISSUED DATE: 29/07/2025

DENOTES APPROX. SHADOW CAST AS PER MARCH 21ST - SEPTEMBER 23RD (EQUINOX)

3:00PM



ALISTERUS ROAD

SEWER DETAILS
 PIPE SIZE: 150 mm
 PIPE MATERIAL: PVC-NP
 AVERAGE DEPTH: 1.86 m
 BRANCH LENGTH: 1.656 m
 REFER TO YARRA VALLEY WATER SEWERAGE DEPTH OFFSET ASSET MAP FOR ALL DETAILS

PERMEABILITY CALCULATIONS
 TOTAL LOT AREA = 294 m²

DWELLING	= 191.23 m ² = 65.0%
CONCRETE	= 23.15 m ² = 7.9%
GRASS	= 69.67 m ² = 23.7%
GARDEN BED	= 9.95 m ² = 3.4%

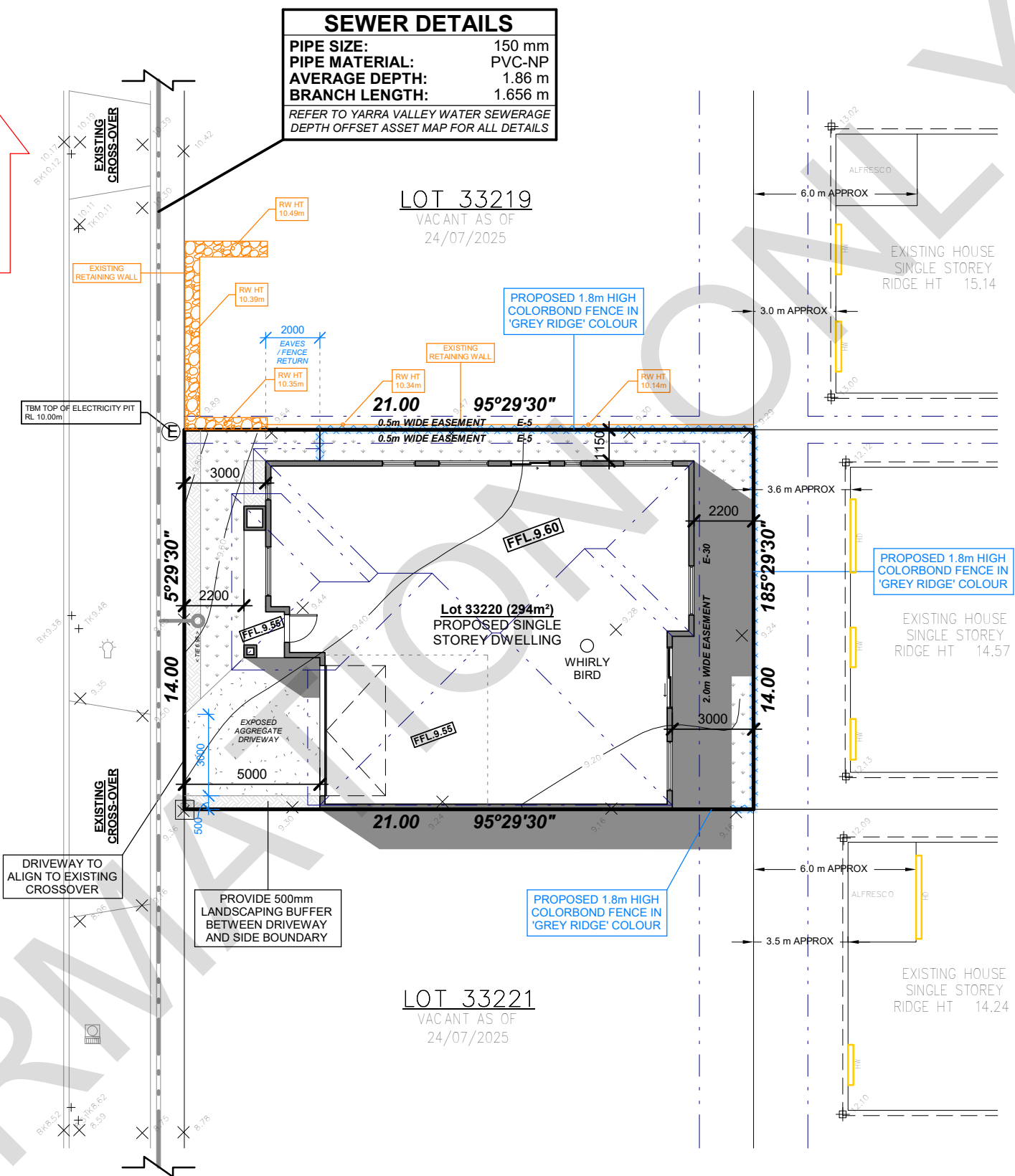
AS PER ABOVE CALCULATIONS THE AMOUNT OF AREA (DWELLING 65.0% + CONCRETE 7.9% = 72.9%) DOES NOT EXCEED 90% OF THE ALLOTMENT AREA.

PERMEABILITY CALCULATIONS
 FRONT YARD AREA = 51.00 m²

HARDSCAPE	= 23.15 m ² = 45.4%
SOFTSCAPE	= 27.85 m ² = 54.6%

AS PER ABOVE CALCULATIONS THE AMOUNT OF HARD SURFACES DOES NOT EXCEED 60% OF THE FRONT YARD.

CLOSEST INTERSECTING STREET 120m NORTH TO 'ARCTURUS DRIVE'



ENERGY RATING NOTES:
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- Exhaust fans to be self-sealing at outlet duct;
- Timber windows to be used throughout unless otherwise specified;
- Insulation:
REFER TO ENERGY RATING REPORT
 Provide water saving measures and solar hot water system, or
 Provide water saving measures and a rain water tank.

LEGEND

[Pattern]	GRASS
[Pattern]	GARDEN BED
[Pattern]	CONCRETE

FENCE NOTE:
SIDE AND REAR FENCING
 THE FOLLOWING FENCING STANDARD IS REQUIRED:

- BE CONSTRUCTED OF 1.8m HIGH PRE-COATED METAL SHEETING PANELS (EG. COLORBOND®) IN 'GREY RIDGE' COLOUR OR COLOURED TO MATCH
- ACCEPTABLE FENCING PROFILES INCLUDE 'LYSAGHTS'® 'NEETASCREEN OR STRATCO'S® SUPERDEK RANGE OR SIMILAR PROFILES APPROVED IN WRITING BY STOCKLAND'S ARCHITECT
- BE RETURNED AT 90 DEGREES TO THE HOME, TO CONNECT WITH THE SIDE OF THE HOME OR GARAGE WALL AT LEAST 2.0m BEHIND THE NEAREST FRONT FACADE.

SHADOW DIAGRAM scale 1:200

GENERAL NOTES:
 *All measurements & levels to be checked prior to construction
 *Provide impervious floor & wall finish to all wet areas
 *Provide safety glass where required to AS1288.
 *Provide control joints at approx 5.0 M ctrs max
 *Provide smoke detectors as per A.S. 3786

AREA SCHEDULE

SITE AREA: 294 m ²	
BUILDING COVERAGE: 65.0 %	
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT
Barnala Designer Homes

SUBJECT SITE
 Lot 33220, No.12 Alisterus Road
 KALKALLO 3064

Shadow Diagram - 3pm

Project number	Job #20763
Date	July 2025
Drawn by	NDT
Scale	1 : 200

CLIENT SIGNATURE:
 DATE:
16 OF 20
 HUU NAM TRAN DANG DP-AD 65315

PROJECT D
 Opes BUILDING SOLUTIONS
 THIS DOCUMENT IS THE SUBJECT OF -
 EMAIL: NAM@PROJECTD.COM.AU
 PERMIT NUMBER: 0412 023 77478943
 ISSUED DATE: 29/07/2025

Termite Note:

A termite barrier to be installed to minimise the risk of termite attack to primary building elements in accordance with AS3660.1.

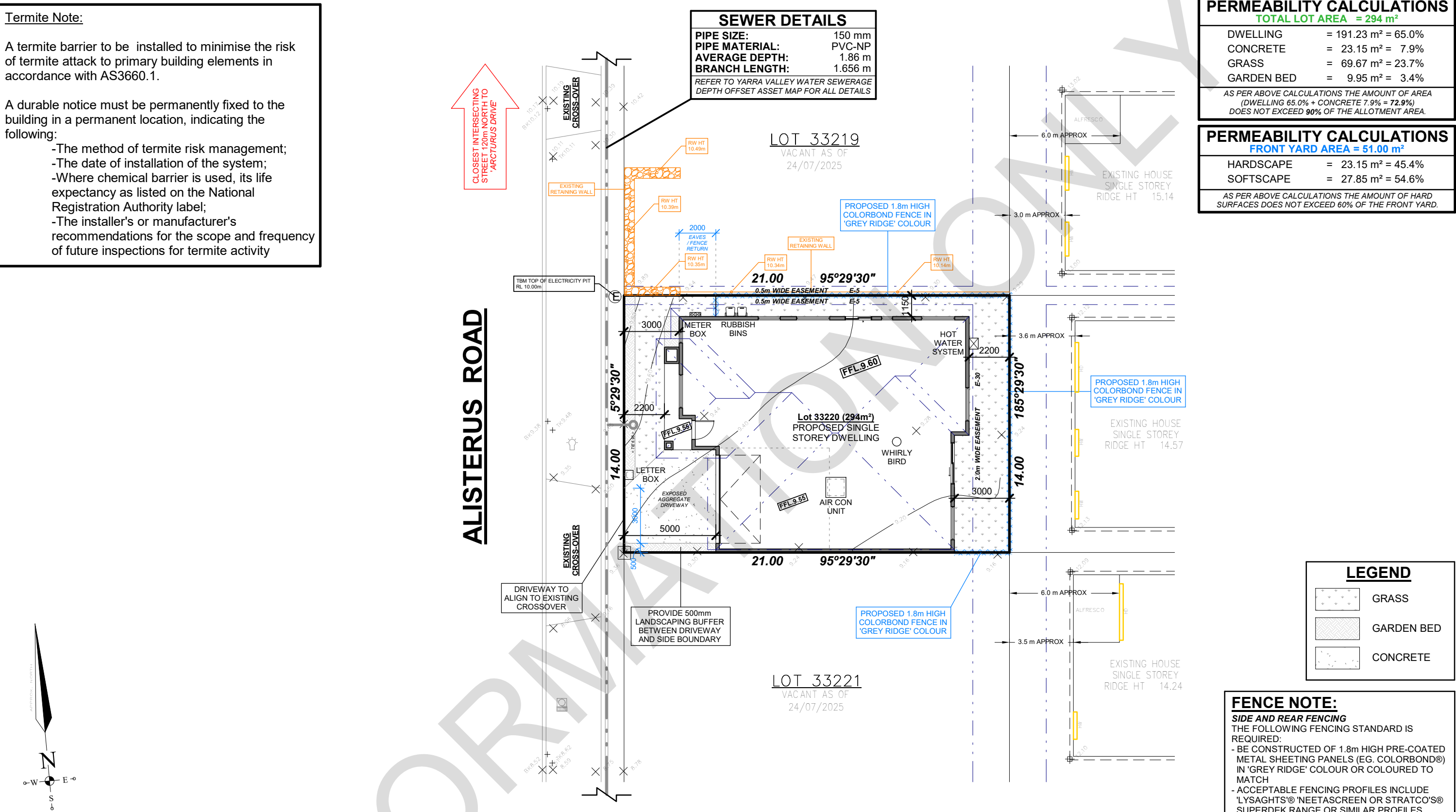
A durable notice must be permanently fixed to the building in a permanent location, indicating the following:

- The method of termite risk management;
- The date of installation of the system;
- Where chemical barrier is used, its life expectancy as listed on the National Registration Authority label;
- The installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity

SEWER DETAILS

PIPE SIZE: 150 mm
 PIPE MATERIAL: PVC-NP
 AVERAGE DEPTH: 1.86 m
 BRANCH LENGTH: 1.656 m

REFER TO YARRA VALLEY WATER SEWERAGE DEPTH OFFSET ASSET MAP FOR ALL DETAILS



PERMEABILITY CALCULATIONS

TOTAL LOT AREA = 294 m²

DWELLING	= 191.23 m ² = 65.0%
CONCRETE	= 23.15 m ² = 7.9%
GRASS	= 69.67 m ² = 23.7%
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PERMEABILITY CALCULATIONS

FRONT YARD AREA = 51.00 m²

HARDSCAPE	= 23.15 m ² = 45.4%
SOFTSCAPE	= 27.85 m ² = 54.6%

AS PER ABOVE CALCULATIONS THE AMOUNT OF HARD SURFACES DOES NOT EXCEED 60% OF THE FRONT YARD.

LEGEND

	GRASS
	GARDEN BED
	CONCRETE

FENCE NOTE:

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 - BE RETURNED AT 90 DEGREES TO THE HOME, TO CONNECT WITH THE SIDE OF THE HOME OR GARAGE WALL AT LEAST 2.0m BEHIND THE NEAREST FRONT FACADE.

ROOF APPLIANCE PLAN scale 1:200

GENERAL NOTES:

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NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

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AREA SCHEDULE

SITE AREA: 294 m ²	
BUILDING COVERAGE: 65.0 %	
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT Barnala Designer Homes	Roof Appliance Plan		CLIENT SIGNATURE:
	Project number	Job #20763	DATE:
SUBJECT SITE Lot 33220, No.12 Alisterus Road KALKALLO 3064	Date	July 2025	17 OF 20
	Drawn by	NDT	
	Scale	1 : 200	
			HUU NAM TRAN DANG DP-AD 65315

PROJECT D
 BUILDING SOLUTIONS
 Opes
 EMAIL: NAM@PROJECTD.COM.AU
 PERMIT NUMBER: 0412 223 7747 8943
 ISSUED DATE: 29/07/2025

SITE SOIL CLASSIFICATION:
"CLASS P"
 IN ACCORDANCE WITH
 AS2870-2011
 (REFER TO SOIL TEST AS PREPARED BY
 GEOHUB)

S.W.D
 Construct & Discharge 90 diam. PVC storm water drain to legal point of discharge as directed by the city engineer. Min. fall 1 : 100. Provide inspection openings @ 9000mm max. ctrs, or at every change of direction.

DP denotes 100 x 50 galvanised downpipes @ 12000mm max. ctrs.

Note:
 Provide 100mm diam. Sewergrade S.W drain under slab and driveway.

NOTE:
 Connect Legal Point of Discharge as per Stormwater and Property Information sheet from the Council, accuracy of location is not guaranteed. Please ref. Council sheets for exact Connection details and location.

- DRAINAGE NOTE:**
- All surface drainage works shall be installed in accordance with the engineers design detail for the selected footing system and soil classification and in accordance with Clause 5.6.3 Drainage Requirements of AS2870-2011, wherein for buildings on Moderately, Highly and Reactive sites:
 Surface drainage shall be controlled throughout construction and be completed by the finish of construction.
 The base of trenches shall slope away from the building Where pipes pass under the footing systems, clay plugs are adopted to prevent the ingress of water.
 - For buildings on Highly and Reactive sites, the Drainer shall provide drainage articulation to all stormwater, sanitary plumbing drains and discharge pipes in accordance with Clause 5.6.4 Plumbing Requirements, wherein flexible joints immediately outside the footing and commencing within 1m of the building perimeter are required to accommodate the required differential movement based on the soil classification.
 - Surface water must be diverted away from the dwelling and graded away from all foundations to give a slope of not less than 50mm over the first 1000mm from the dwelling.
 - Subsurface drains to remove ground or table water shall be detailed by the design engineer. Furthermore, damp-proofing membrane in accordance with 5.3.3 shall be installed for groundwater or aggressive soils.

SITE PLAN scale 1:200

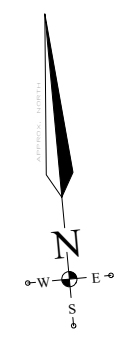
PROJECT D
 BUILDING SOLUTIONS
 Opes
 EMAIL: NAM@PROJECTD.COM.au
 THIS DOCUMENT IS THE SUBJECT OF -
 BUILDING PERMIT NUMBER: 0412 223 77478943
 ISSUED DATE: 29/07/2025

GENERAL NOTES:
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 NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.
 © COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

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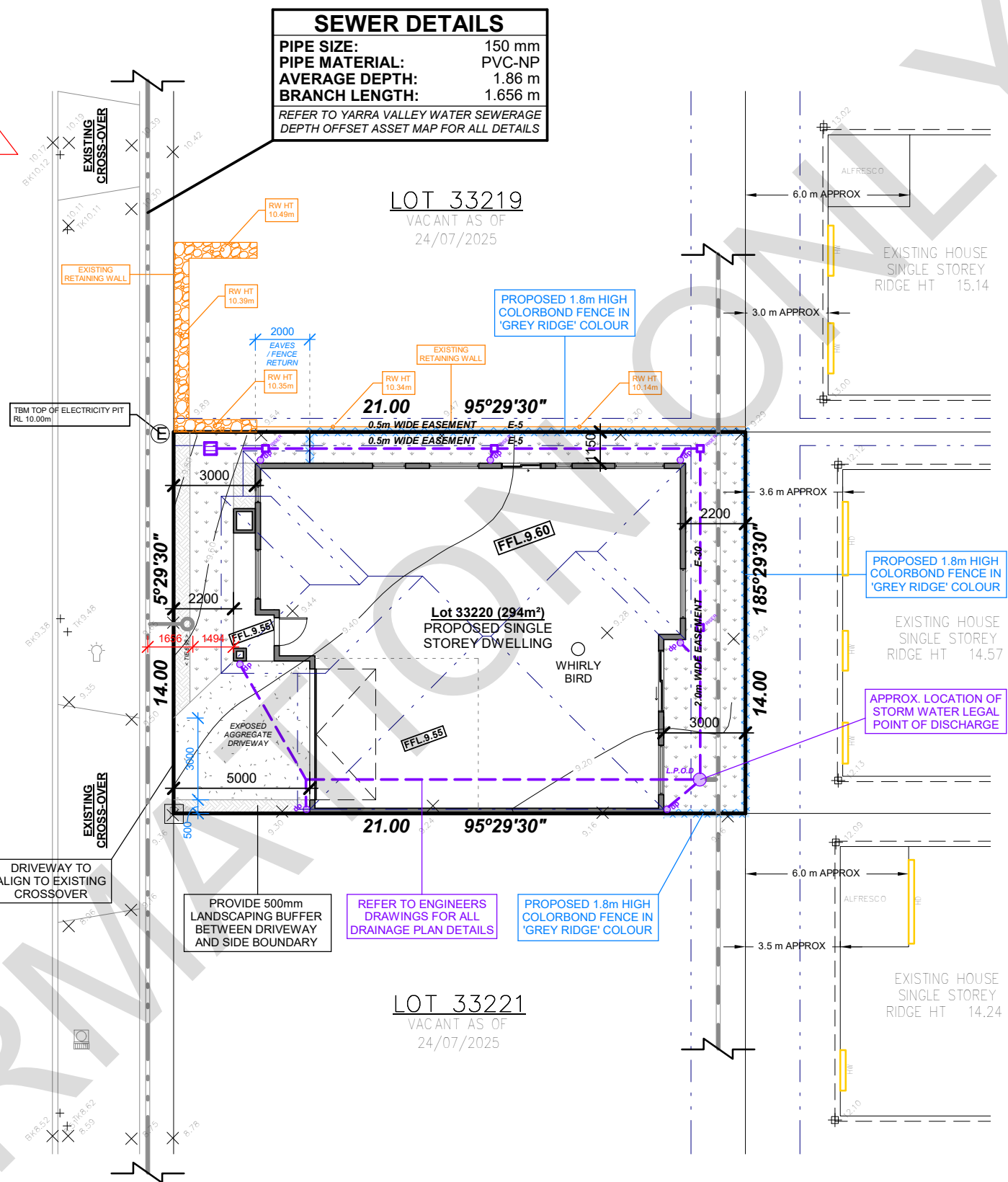
CLIENT
Barnala Designer Homes
 SUBJECT SITE
 Lot 33220, No.12 Alisterus Road
 KALKALLO 3064

Site Plan		CLIENT SIGNATURE:
Project number	Job #20763	DATE:
Date	July 2025	18 OF 20
Drawn by	NDT	HUU NAM TRAN DANG DP-AD 65315
Scale	1 : 200	



↑ CLOSEST INTERSECTING STREET 120m NORTH TO "ARCTURUS DRIVE"

ALISTERUS ROAD



PERMEABILITY CALCULATIONS
 TOTAL LOT AREA = 294 m²

DWELLING	= 191.23 m ² = 65.0%
CONCRETE	= 23.15 m ² = 7.9%
GRASS	= 69.67 m ² = 23.7%
GARDEN BED	= 9.95 m ² = 3.4%

AS PER ABOVE CALCULATIONS THE AMOUNT OF AREA (DWELLING 65.0% + CONCRETE 7.9% = 72.9%) DOES NOT EXCEED 90% OF THE ALLOTMENT AREA.

PERMEABILITY CALCULATIONS
 FRONT YARD AREA = 51.00 m²

HARDSCAPE	= 23.15 m ² = 45.4%
SOFTSCAPE	= 27.85 m ² = 54.6%

AS PER ABOVE CALCULATIONS THE AMOUNT OF HARD SURFACES DOES NOT EXCEED 60% OF THE FRONT YARD.

LEGEND

	GRASS
	GARDEN BED
	CONCRETE

FENCE NOTE:
SIDE AND REAR FENCING
 THE FOLLOWING FENCING STANDARD IS REQUIRED:
 - BE CONSTRUCTED OF 1.8m HIGH PRE-COATED METAL SHEETING PANELS (EG. COLORBOND®) IN 'GREY RIDGE' COLOUR OR COLOURED TO MATCH
 - ACCEPTABLE FENCING PROFILES INCLUDE 'LYSAGHTS'® 'NEETASCREEN OR STRATCO'S'® SUPERDEK RANGE OR SIMILAR PROFILES APPROVED IN WRITING BY STOCKLAND'S ARCHITECT
 - BE RETURNED AT 90 DEGREES TO THE HOME, TO CONNECT WITH THE SIDE OF THE HOME OR GARAGE WALL AT LEAST 2.0m BEHIND THE NEAREST FRONT FACADE.

Electrical Notations

Part 13.7.4 - Heating and Cooling Ductwork

- (a) Heating & Cooling ductwork & fittings must:
1. achieve the material R-value in Table 13.7.4;
 2. be sealed against air-loss
 - A. By closing all openings in the surface, joints & seams of ductwork with adhesives, mastics, sealants or gaskets in accordance with AS 4254 for a Class c seal; or
 - B. For flexible ductwork, with a draw band in conjunction with a sealant or adhesive tape.

- (b) Duct insulation must:
1. abut adjoining duct insulation to form a continuous barrier; and
 2. be installed so it maintains its position & thickness, other than at flanges & supports; and
 3. where located outside the building, under a suspended floor, in an attached Class 10a building or in a roof space:
 - A. Be protected by an outer sleeve of protective sheeting to prevent the insulation becoming damp; and
 - B. Have the outer protective sleeve sealed with adhesive tape not less than 48mm wide creating an airtight & waterproof seal.

- (c) The requirements of (a) do not apply to heating & cooling ductwork & fittings located within the insulated building envelope including a service riser within the conditioned space, internal floors between storeys and the like.

Part 13.7.6 - Artificial Lighting

- (a) The lamp power density or illumination power density of artificial lighting, excluding heaters that permit light, must not exceed;
1. in a Class 1 building, 5W/m²; and
 2. on a verandah or balcony attached to a Class 1 building, 4W/m²;
 3. in Class 10 building, 3W/m²; and
- (b) All Downlights are to be **SEALED**.

The lamp power density in a whole house calculation based on an overall Square meterage & not room by room or area by area meterage.

Calculation

exclusions including:

1. bathroom heat lamp;
2. a light point within a ceiling space
3. an external security light (not forming part of an outdoor living area, balcony or porch / verandah).

Table 3.12.5.2 HEATING & COOLING DUCTWORK & FITTINGS - MINIMUM MATERIAL R - VALUE

Ductwork element	Minimum material R-Value for ductwork & fittings in each climate zone				
	Heating - only system or Cooling - only system including an evaporative cooling system		Combined heating & refrigerated cooling system		
Ductwork	1, 2, 3, 4, 5, 6 & 7	8	1, 3, 4, 6 & 7	2 & 5	8
Fittings	1.0	1.5	1.5 (see note)	1.0	1.5

Note:
The minimum material R-Value required for ductwork may be reduced by 0.5 for combined heating & refrigerated cooling systems in climate zones 1, 3, 4, 6 & 7 if the ducts are:

(a)	under a suspended floor with an enclosed perimeter; or
(b)	in a roof space that has insulation of not less than R0.5 directly beneath the roofing

Artificial Lighting Compliance

Internal of dwelling - Total Floor Area (Class 1)		
Dwelling floor area:	150.38	m ²
Proposed total wattage of light fittings:	339.00	w
Max allowable wattage (5W/m ²):	2.25	w/m ²
Internal of garage - (Class 1)		
Dwelling floor area:	35.20	m ²
Proposed total wattage of light fittings:	40.00	w
Max allowable wattage (3W/m ²):	1.13	w/m ²
Porch, Alfresco, Balconies etc.. - (Class 1)		
Dwelling floor area:	5.65	m ²
Proposed total wattage of light fittings:	6.00	w
Max allowable wattage (4W/m ²):	1.06	w/m ²

Electrical Legend

	Smoke Alarm
	Electrical meter box
	Circuit breaker panel
	Ceiling mounted Light point
	Ceiling mounted 14 watt globe light outlet
	Ceiling mounted 9 watt globe light outlet
	Ceiling mounted 70mm downlight 18 watt LED light
	Ceiling mounted 70mm downlight 9 watt LED light
	Ceiling mounted 70mm downlight 6 watt LED light
	Ceiling mounted 14 watt compact fluoro pendant
	Feature light outlet
	Wall mounted light outlet
	Wall mounted feature up / down light outlet
	Wall mounted stair light outlet
	Wall mounted external flood light with 150 watt globe
	Ceiling mounted external flood light with 150 watt globe
	Wall mounted external sensor flood light with 150 watt globe
	Ceiling mounted external sensor flood light with 150 watt globe
	Motion sensor
	Ceiling Fan
	Ceiling Fan with globe light
	Ceiling fan with flurescent globe
	Flurescent light outlet
	Ceiling mounted external sensor flood light with 150 watt globe
	3 in 1 - Exhaust Fan, Light & 4 x Heat globes
	3 in 1 - Exhaust Fan, Light & 2 x Heat globes
	Exhaust Fan - with draft stopper
	Exhaust Fan & Light - with draft stopper
	Weatherproof External Double GPO
	Weatherproof External Single GPO
	Single GPO
	Double GPO
	Triple GPO
	Dimmer Switch
	TV Point
	Foxtel / Pay TV Connection point
	Phone point
	Door bell position
	Isolator junction box
	Cooling duct
	Heating duct 6"
	Heating duct 8"
	Vacuum point
	Volume control
	Alarm box
	Man Hole
	Rain Water Tank
	Cooling Split System

ELECTRICAL NOTES

GENERAL NOTES:

- *All measurements & levels to be checked prior to construction
- *Provide impervious floor & wall finish to all wet areas
- *Provide safety glass where required to AS1288.
- *Provide control joints at approx 5.0 M ctrs max
- *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.

© COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE

SITE AREA: 294 m ² BUILDING COVERAGE: 65.0 %	
GROUND	150.38 m ²
GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

CLIENT
Barnala Designer Homes

SUBJECT SITE
Lot 33220, No.12 Alisterus Road
KALKALLO 3064

Electrical Notes

Project number	Job #20763
Date	July 2025
Drawn by	NDT
Scale	1 : 100

CLIENT SIGNATURE:

DATE:

19 OF 20

HUU NAM TRAN DANG DP-AD 65315



EMAIL: NAM@PROJECTD.COM.au
ISSUED DATE: 29/07/2025

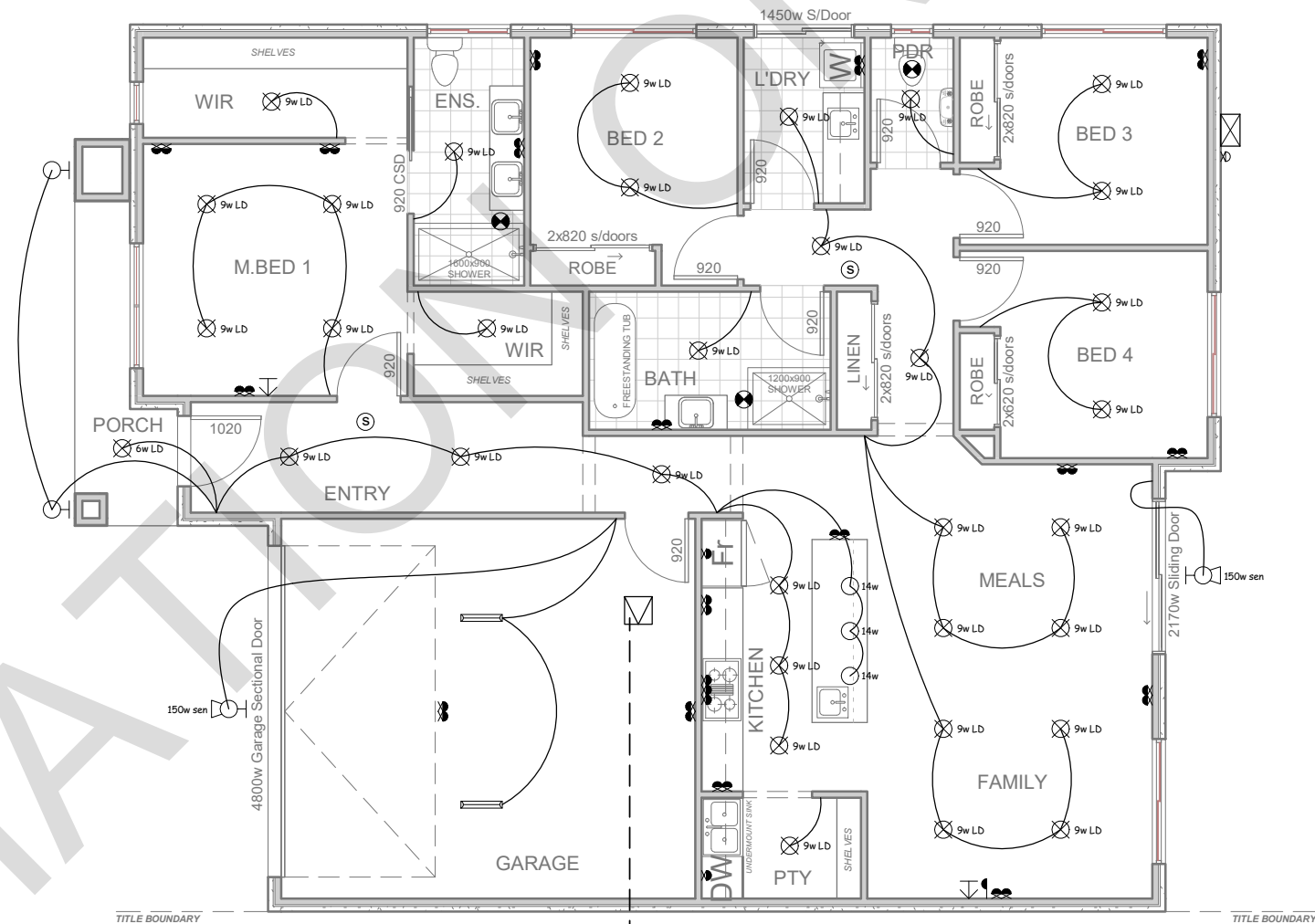
ELECTRICAL LEGEND

- ⊙ Smoke Alarm
- 14w Ceiling mounted 14 watt globe light outlet
- ⊗ 9w LD Ceiling mounted 70mm downlight 9 watt LED light
- ⊗ 6w LD Ceiling mounted 70mm downlight 6 watt LED light
- ⊕ 150w sen Wall mounted external sensor flood light with 150 watt globe
- Wall mounted light outlet
- ▬ Fluorescent light outlet
- ⊗ Exhaust Fan - with draft stopper
- ⊗ Weatherproof External Single GPO
- ⊗ Single GPO
- ⊗ Double GPO
- ⊗ Triple GPO
- ⊕ TV Point
- ⊕ Phone point
- ⊗ Hot Water System
- ⊗ Man Hole

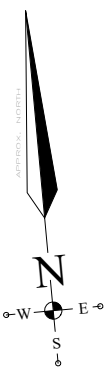
PROVIDE SINGLE LIGHT OUTLET INTO ROOF SPACE, LOCATION OF LIGHT TO BE LOCATED CLOSE TO MANHOLE AS SEEN APPROPRIATE ON SITE

SMOKE ALARMS
 - LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS3786-2014 AND PART 9.2 FIRE SEPARATION OF EXTERNAL WALLS AND SHALL BE HARD WIRED WITH BATTERY BACKUP
 - INSTALL SMOKE ALARM SYSTEM AS SHOWN IN PLAN CONFORMING TO AS 3786-2014. SELF CONTAINED ALARMS WIRED DIRECTLY TO POWER SUPPLY.
 - ALL SMOKE DETECTORS ARE TO BE **INTERLINKED** IN ACCORDANCE WITH PART 9.2 FIRE SEPARATION OF EXTERNAL WALLS.

DOWNLIGHTS NOTE
 ENSURE ALL DOWNLIGHTS ARE TO BE **SEALED**



NOTE:
 PROVIDE TWO DOULBE POWER POINTS (USED FOR EVAPORATIVE COLING AND OTHER) & ONE BATTEN LIGHT TO ROOF SPACE



ELECTRICAL PLAN

scale 1:100

PROJECT D
 Opes BUILDING SOLUTIONS
 THIS DOCUMENT IS THE SUBJECT OF -
 EMAIL: NAM@PROJECTD.COM.au PERMIT NUMBER: 0412 023 7747 8943 27155
 ISSUED DATE: 29/07/2025

GENERAL NOTES:
 *All measurements & levels to be checked prior to construction
 *Provide impervious floor & wall finish to all wet areas
 *Provide safety glass where required to AS1288.
 *Provide control joints at approx 5.0 M ctrs max
 *Provide smoke detectors as per A.S. 3786

NOTE: ALL MEASUREMENTS & LEVELS TO BE CHECKED PRIOR TO CONSTRUCTION BY BUILDER OR OWNER.
 © COPYRIGHT - THESE PLANS BELONG TO PROJECT D AND ARE NOT TO BE COPIED OR SOLD.

AREA SCHEDULE	
SITE AREA:	294 m ²
BUILDING COVERAGE:	65.0 %
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GARAGE	35.20 m ²
PORCH	5.65 m ²
TOTAL	191.23 m² = 20.6 SQ.

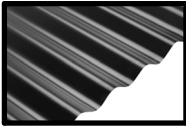




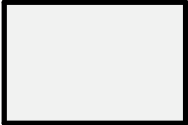
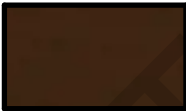


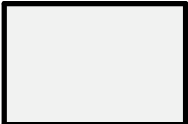
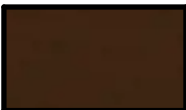


CLIENT
Barnala Designer Homes

SUBJECT SITE
 Lot 33220, No.12 Alisterus Road
 KALKALLO 3064

Electrical Plan	
Project number	Job #20763
Date	July 2025
Drawn by	NDT
Scale	1 : 100

CLIENT SIGNATURE:
 DATE:
20 OF 20
 HUU NAM TRAN DANG DP-AD 65315

COLOUR SPECIFICATIONS

<p>* COLORBOND ROOF - (MONUMENT) -</p> 	<p>* ALUMINIUM WINDOW FRAMES - (MONUMENT) -</p> 
<p>* HEBEL CLADDING WITH RENDER FINISH - (LEXICON QUARTER) -</p> 	<p>* GUTTER & FASCIA - (MONUMENT) -</p> 
<p>* RENDER FINISH TO PORCH COLUMNS - (MONUMENT) -</p> 	<p>* DOWNPIPES - (LEXICON QUARTER) -</p> 
<p>* FEATURE HORIZONTAL TIMBER CLADDING - (DARK OAK) -</p> 	<p>* METERBOX - (LEXICON QUARTER) -</p> 
<p>* ENTRY DOOR - (DARK OAK) -</p> 	<p>* LETTERBOX - (LEXICON QUARTER) -</p> 
<p>* GARAGE SECTIONAL DOOR - (DARK OAK) -</p> 	<p>* WHIRLYBIRD - (MONUMENT) -</p> 
	<p>* EXPOSED AGGREGATE DRIVEWAY - (BLACK & WHITE MIX) -</p> 

COLOURS DISPLAYED ABOVE MAY APPEAR DIFFERENT TO ACTUAL COLOURS DUE TO PRINTER

 <p>THIS DOCUMENT IS THE SUBJECT OF - BUILDING PERMIT NUMBER: CBS.U.66127/9678943127165 EMAIL: NAME@PROJECTD.COM.AU MOBILE: 0412 223 771</p>	<p>Barnala Designer Homes</p> <p>Lot 33220, No.12 Alisterus Road KALKALLO 3064</p>	<p>Colour Specifications</p> <p>Project number Job #20763 Date July 2025 Drawn by NDT Scale</p>	<p>CLIENT SIGNATURE: _____ DATE: _____ 20a OF 20</p>
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Inclusion list

LOT 33220 ALISTEROUS ST KALKALLO VIC

PLANS:

- All Plans with custom design, architect support and building permit
- Property information
- Soil test
- Engineering- slab design "H" class waffle pod concrete slab
- Community infrastructure levy (CIL) provided by client
- Recycled Water inspection report paid by client
- Bushfire plans are not included

COUNCIL & CONSTRUCTION

- Asset protection fee
- Building Permit and building surveyor costs
- OH&S requirement
- Provide temporary fencing to site
- Termite protection works

SITE COST AND SERVICE CONNECTIONS

- Connections applicable on an allotment of max 600m² Soil
- Test and site surveys
- A maximum of 6m setback at the front and 300mm over the building
- Envelope electricity run in from the service point to meter box
- Water & gas connections to designated points in the house including recycled water

- Supply and install NBN provision (underground and internal conduit)
- Sewer from dwelling to point of discharge
- All Connections fee paid by customer for example/water/gas/CIL/NBN/electricity
- Fixed site cost up to 1m fall and 1m excavation/ excluding rock removal/excluding retaining walls

EXTERNAL FEATURES

- 2700mm ceiling height throughout the house/except garage
- Brick façade with tiles on a pillar, choice of bricks and tiles from builder's range
- Tiled roof at 22.5degree pitch from builder's range
- Colorbond metal gutter, fascia & downpipes from the standard color range
- Brick infill above all doors and windows
- Wall frames as per engineering drawings
- 10mm thick plaster boards for walls &10mm super seals for ceilings
- 92mmx12mm skirting board or 67mmx12mm skirting
- 75mm cove cornice throughout
- Water point to refrigerator area, front and rear external garden taps

FLOOR

- Laminate flooring in living and kitchen area (from builder's range)
- Wall tiles up to ceilings in bathrooms (Builder's Range)
- Timber laminate flooring 12mm thickness to bedrooms (Builder's Range)

GARAGE DOOR

- Wooden look garage door (Colourbond, Builder's Range)
- Remote controls x 2

- 2040mm high panel door for garage back external

ENERGY

- Ceiling batta to tiled roof areas (excluding garage, porch and alfresco ceilings)
- 6-star energy rating to all orientations
- Self-exhaust fans
- Hot water system from builder's range (solar hot water and recycled water tanks are not included, customer will pay, if needed)

ELETRICAL

- Double power point throughout the house and one external double power point (in total 20)
- 2XTV, 2xTelephone point 2x Data point
- 30 Led down lights
- Hardwired smoke detectors with battery backup
- Sealed exhaust fans to bathroom, En-suite and powder room where applicable
- Light switches and cover plates from builder's range
- Spotlight, front x1 and Rear x1

HEATING AND COOLING

- Evaporative heating and cooling included (from Builder's range)

KITCHEN

- Stone bench tops 40mm with waterfall edges
- Walk in pantry with 4 melamine shelves
- Laminated gloss finish cupboards with melamine shelves from builder's range
- Pantry with melamine shelves
- Double bowl sink
- Designer taps and point for mixer
- Tiles splashback from builder's range
- Soft closing drawers

APPLIANCES

- 900mm wide stainless-steel built-in under bench oven
- 900mm wide stainless steel five burner gas cooktops
- 900mm wide stainless-steel canopy range hood
- 600mm dishwasher
- Double bowl sink

BATHROOM AND ENSUITE

- Up to 1800mm wide stone benchtop (20mm) with double vanity in master en-suite
- Up to 900mm vanity or as per drawings and stone benchtop in common bathroom from builder's range
- Frameless polished edge mirrors to width of vanities
- Luxury basin with designer chrome flick mixer tap on top of vanities
- Contemporary style toilet soft closing seat mechanism in master En-suite
- Dual flush soft close toilet seat
- Tiled shower base with tiled niche
- Shower head and mixer tap from builder's range
- Toilet roll holders and towel rings for bath and master en suite
- Tiled areas with tiled skirting
- shower screens from builder's range
- Bathtubs from builder's range

DOORS

- Flush panel doors with chrome handles (2340mm high)
- Aluminium sliding door to alfresco
- Privacy kits to en-suite, bathroom, and powder room flush panel
- Garage access door with key lock
- Weatherproof hinged door to garage rear excess and laundry
- High internal door
- 2340mm front door or as per drawing
- 2400mm aluminium sliding door (in lieu of standard sliding door to alfresco)
- Choice of stylish handles to internal doors from builder's range
- Door stoppers to all opening doors where applicable
- Internal Doors (size 820x2340 or as per floor plan) include chrome hinges, latches, and striker plates throughout the house

WINDOWS

- Powder coated aluminium sliding windows (fitted with keylocks)
- Obscure glazing window in bathroom, en suite and WC
- Light weight infill above all side windows
- Galvanized steel lintels to facade only
- Flyscreen to all openable windows

PAINTWORK

- 3 coat paint system to internal walls
- Gloss or satin to internal woodwork and doors
- White paint on ceiling

Laundry

- Floor tiles and Tiled splashback from builder's range
- Cupboard with 4x melamine shelves and laminated gloss finish
- Hot and cold points for washing machine
- Laminate laundry cabinet under bench only
- Up to 1.5m benchtop to laundry cabinet with open space below
- Washing machine stops in chrome finish
- 45 litre sink included

Driveway

- Exposed aggregate concrete driveway

Additional upgrades

- **40mm stone throughout the house**
- **Refrigerated air conditioning**
- **High doors**
- **Calcutta stone from builder's range**

INFORMATION ONLY

Created at 27 August 2025 04:56 PM

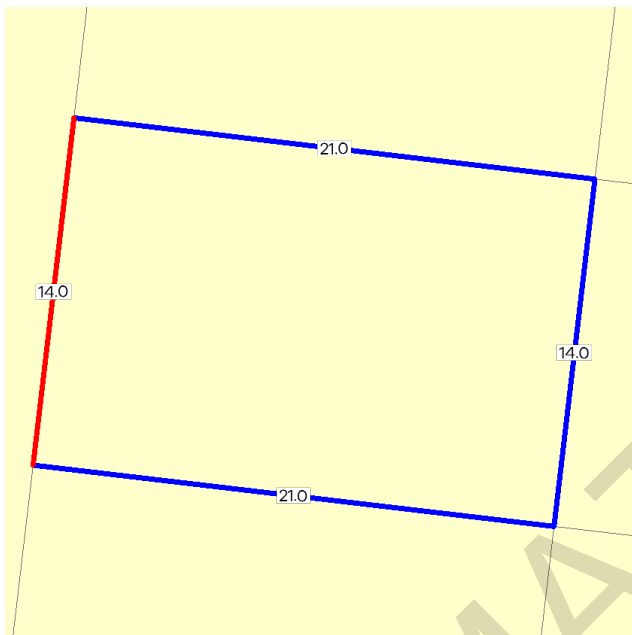
PROPERTY DETAILS

Address: **12 ALISTERUS ROAD KALKALLO 3064**
Lot and Plan Number: **Lot 33220 PS905623**
Standard Parcel Identifier (SPI): **33220\PS905623**
Local Government Area (Council): **HUME**
Council Property Number: **759336**
Directory Reference: **Melway 687 E11**

www.hume.vic.gov.au

SITE DIMENSIONS

All dimensions and areas are approximate. They may not agree with those shown on a title or plan.



Area: 294 sq. m

Perimeter: 70 m

For this property:

— Site boundaries

— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available.

Calculating the area from the dimensions shown may give a different value to the area shown above

For more accurate dimensions get copy of plan at

[Title and Property Certificates](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
Melbourne Water Retailer: **Yarra Valley Water**
Melbourne Water: **Inside drainage boundary**
Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **NORTHERN METROPOLITAN**
Legislative Assembly: **KALKALLO**

PLANNING INFORMATION

Property Planning details have been removed from the Property Reports to avoid duplication with the Planning Property Reports from the Department of Transport and Planning which are the authoritative source for all Property Planning information.

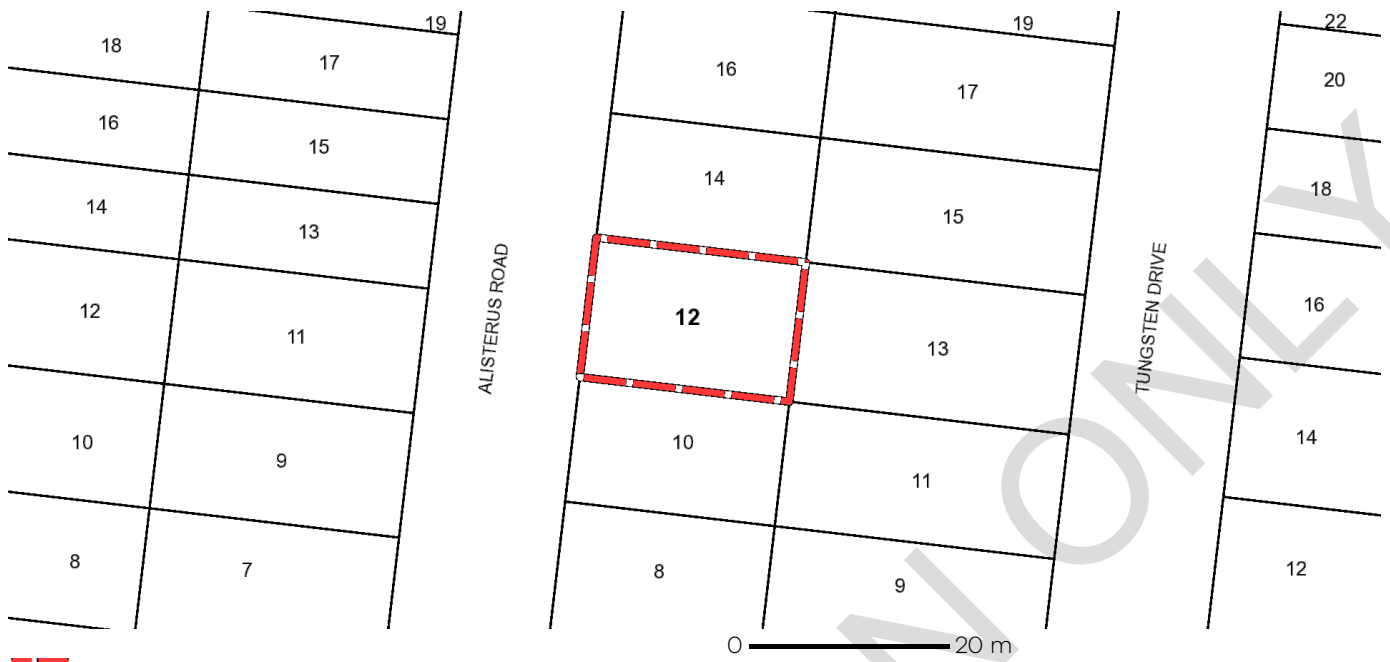
The Planning Property Report for this property can found here - [Planning Property Report](#)

Planning Property Reports can be found via these two links

Vicplan <https://mapshare.vic.gov.au/vicplan/>

Property and parcel search <https://www.land.vic.gov.au/property-and-parcel-search>

Area Map



 Selected Property

From www.planning.vic.gov.au at 27 August 2025 04:57 PM

PROPERTY DETAILS

Address: **12 ALISTERUS ROAD KALKALLO 3064**
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[Planning Scheme - Hume](#)

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 Power Distributor: **AUSNET**

STATE ELECTORATES

Legislative Council: **NORTHERN METROPOLITAN**
 Legislative Assembly: **KALKALLO**
OTHER
 Registered Aboriginal Party: **Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation**
 Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

Note

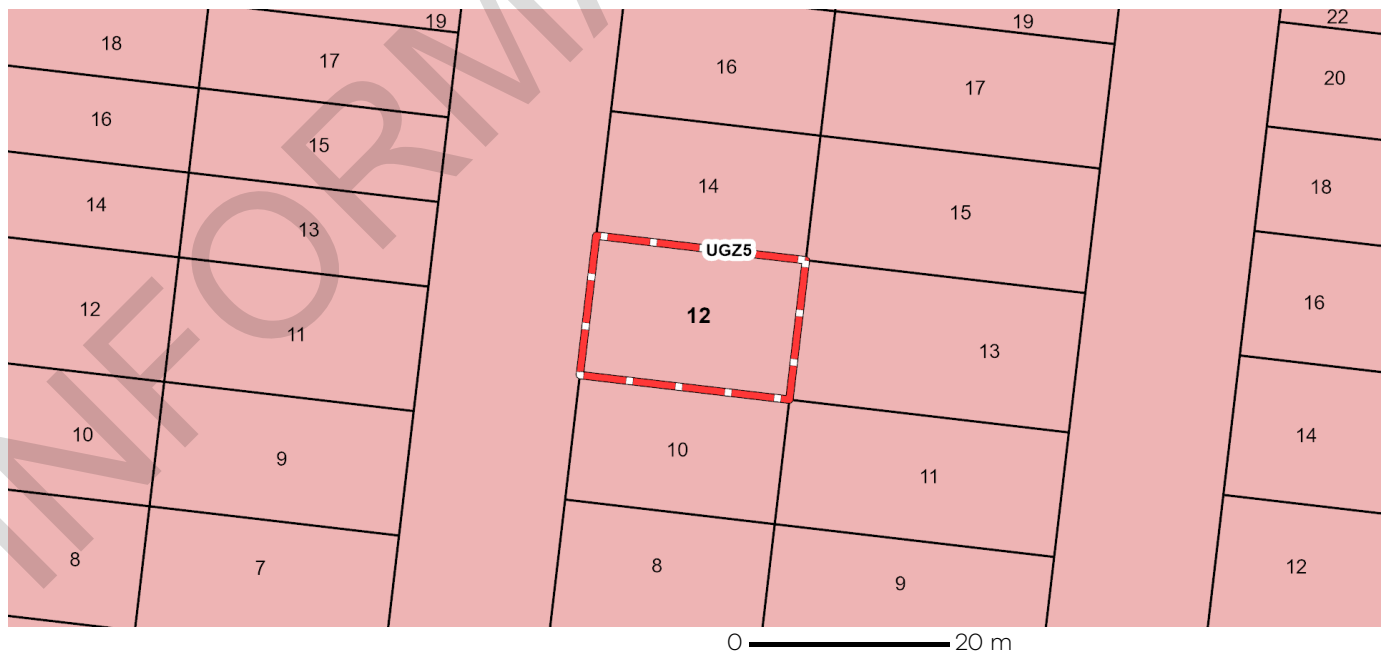
This land is in an area added to the Urban Growth Boundary after 2005. It may be subject to the Growth Area Infrastructure Contribution.

For more information about this project go to [Victorian Planning Authority](#)

Planning Zones

[URBAN GROWTH ZONE \(UGZ\)](#)

[URBAN GROWTH ZONE - SCHEDULE 5 \(UGZ5\)](#)



UGZ - Urban Growth

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Read the full disclaimer at <https://www.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

Planning Overlay

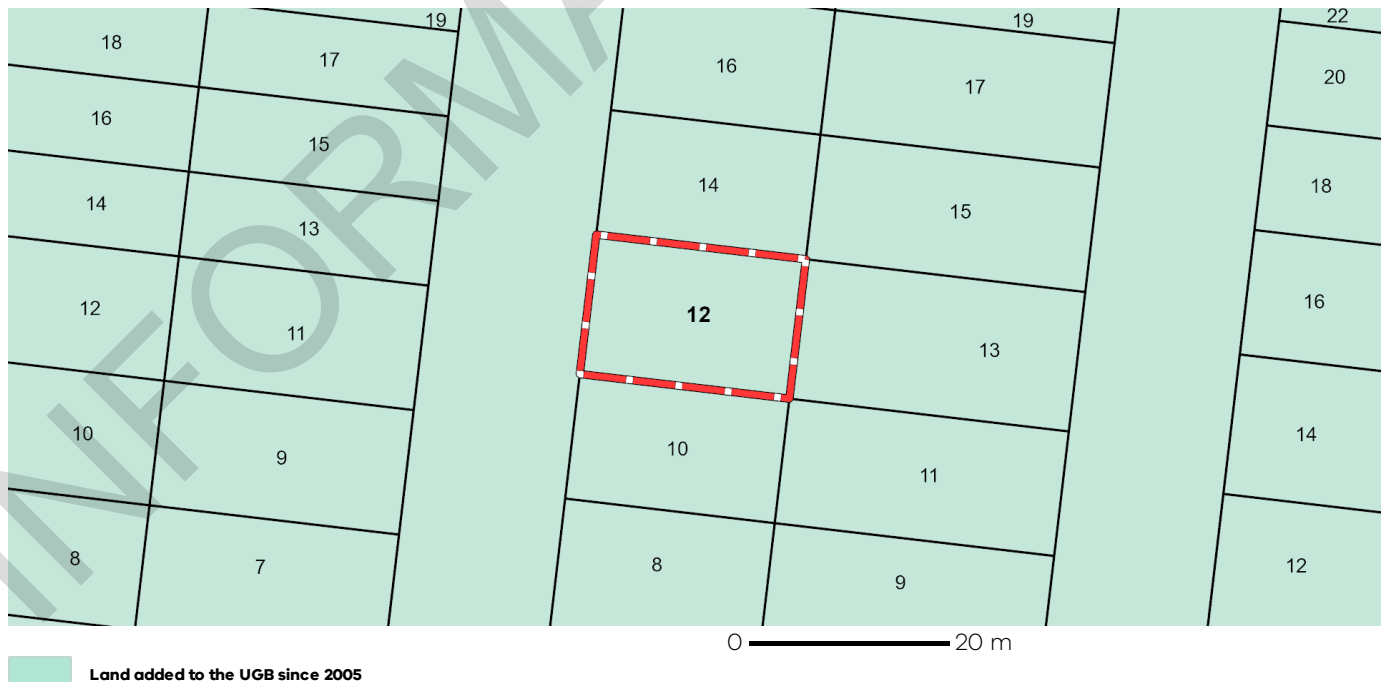
[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY \(DCPO\)](#)

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY - SCHEDULE 5 \(DCPO5\)](#)



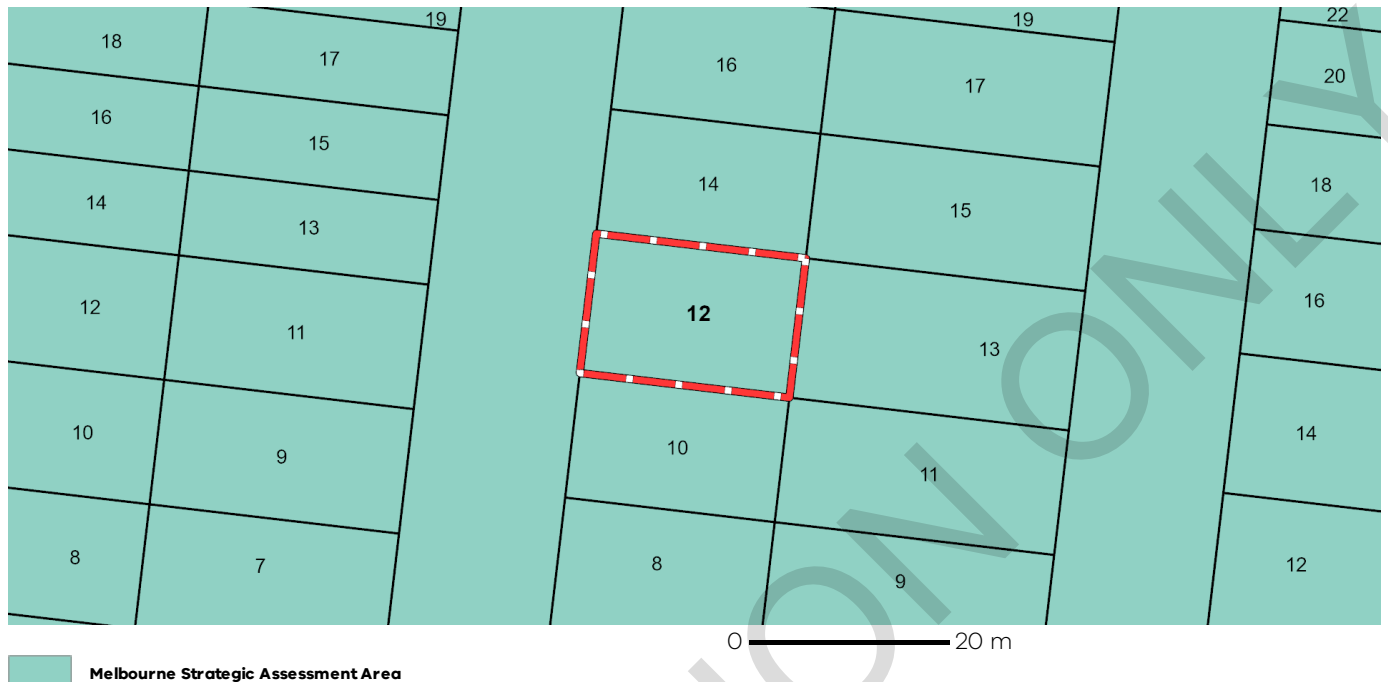
Growth Area Infrastructure Contribution

This property is in an area added to the Urban Growth Boundary after 2005. It may be subject to the Growth Area Infrastructure Contribution. For more information about this contribution go to [Victorian Planning Authority](#)



Melbourne Strategic Assessment

This property is located within the Melbourne Strategic Assessment program area. Actions associated with urban development are subject to requirements of the Melbourne Strategic Assessment (Environment Mitigation Levy) Act 2020 and the Commonwealth Environment Protection and Biodiversity Conservation Act 1999. Follow the link for more details: <https://mapshare.vic.gov.au/msa/>



Further Planning Information

Planning scheme data last updated on 27 August 2025.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicplan>

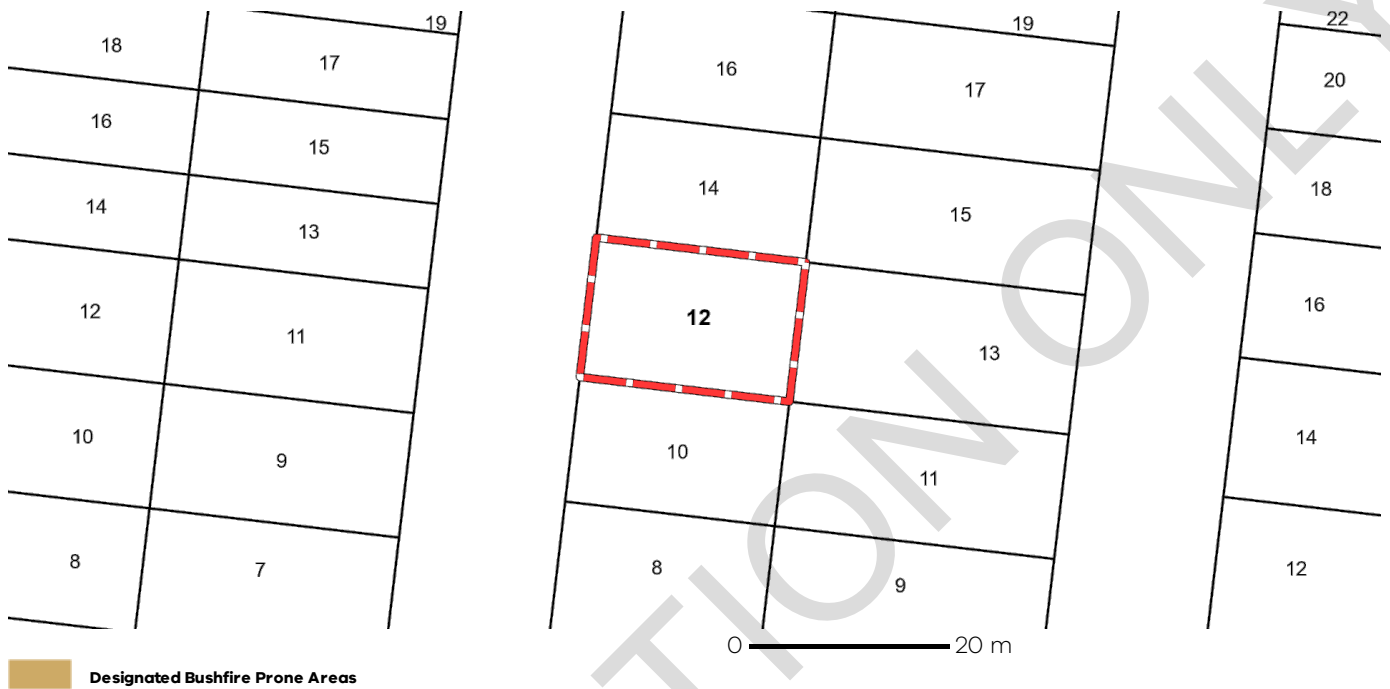
For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

Designated Bushfire Prone Areas

This property is not in a designated bushfire prone area.
No special bushfire construction requirements apply. Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Your rates and valuation notice

For the period 1 July 2025 to 30 June 2026

Enquiries: 03 9205 2200


V JOSHI & S JOSHI
7 SYMPHONY RD
CRAIGIEBURN VIC 3064

Property Number: 759336
Payment Reference: 7593361
Date of issue: 08/08/2025



025
I037489
DLX5_331



For emailed notices:
hume.enotices.com.au
Reference: 5B4C593C8Z

Property details		
12 ALISTERUS RD KALKALLO VIC 3064 Lot 33220 PS 905623S Vol 12615 Fol 576 Owner Details: VISHAL JOSHI, SHAVETA JOSHI		
Site Value	Capital Improved Value	Net Annual Value
\$305,000	\$305,000	\$15,250
Level of Value Date: 01/01/2025		AVPCC: 100-Vacant Residential Dwelling
Date Adopted for Rating Purposes: 01/07/2025		

Instalment 1
\$278.17 Payable 30/09/2025
Instalment 2
\$278.00 Payable 30/11/2025
Instalment 3
\$278.00 Payable 28/02/2026
Instalment 4
\$278.00 Payable 31/05/2026

Council rates, charges and rebates		
General Rate	0.0022749 x \$CIV	\$693.80
Public Waste Charge	\$229.67	\$229.67
Total Council rates, charges and rebates		\$923.47

State Government charges		
Vic State Gov ESVF Residential Fixed	\$136.00	\$136.00
Vic State Gov ESVF Residential Variable	.000173 x \$ CIV	\$52.70
Total State Government charges		\$188.70

Total amount due \$1,112.17

How to pay



BPAY BPAY View Registration No: 7593361
Access Bpay via your internet banking
BILLER CODE: 12500
REF: 7593361



DIRECT DEBIT
Register online at hume.vic.gov.au/rates to arrange automatic payment of your account



POST BILLPAY
BILLPAY CODE: 0862
REF: 7593361



IN PERSON
Pay at your nearest Council Customer Contact Centre in Broadmeadows, Craigieburn or Sunbury or visit your nearest Post Office.



*862 7593361



MAIL
Send this slip with your cheque made payable to: Hume City Council, PO Box 119 Dallas 3047



ONLINE OR PHONE
Call 13 18 16 or visit hume.vic.gov.au/pay

5th June 2025

WESTGATE CONVEYANCERS

Dear WESTGATE CONVEYANCERS,

RE: Application for Water Information Statement

Property Address:	12 ALISTERUS ROAD KALKALLO 3064
Applicant	WESTGATE CONVEYANCERS
Information Statement	30946216
Conveyancing Account Number	7901890517
Your Reference	

Thank you for your recent application for a Water Information Statement (WIS). We are pleased to provide you the WIS for the above property address. This statement includes:

- Yarra Valley Water Property Information Statement
- Melbourne Water Property Information Statement
- Asset Plan
- Rates Certificate

If you have any questions about Yarra Valley Water information provided, please phone us on **1300 304 688** or email us at the address propertyflow@yvw.com.au. For further information you can also refer to the Yarra Valley Water website at www.yvw.com.au.

Yours sincerely,



Lisa Anelli
GENERAL MANAGER
RETAIL SERVICES

Yarra Valley Water Property Information Statement

Property Address	12 ALISTERUS ROAD KALKALLO 3064
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STATEMENT UNDER SECTION 158 WATER ACT 1989

THE FOLLOWING INFORMATION RELATES TO SECTION 158(3)

Existing sewer mains will be shown on the Asset Plan.

THE FOLLOWING INFORMATION RELATES TO SECTION 158(4)

This property is in a mandated recycled water area and we supply both potable and recycled water to this property. For more information, visit yvw.com.au/recycled.

Please note: Unless prior consent has been obtained, the Water Act prohibits:

1. The erection and/or placement of any building, wall, bridge, fence, embankment, filling, material, machinery or other structure over or under any sewer or drain.
2. The connection of any drain or sewer to, or interference with, any sewer, drain or watercourse.

Melbourne Water Property Information Statement

Property Address	12 ALISTERUS ROAD KALKALLO 3064
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STATEMENT UNDER SECTION 158 WATER ACT 1989

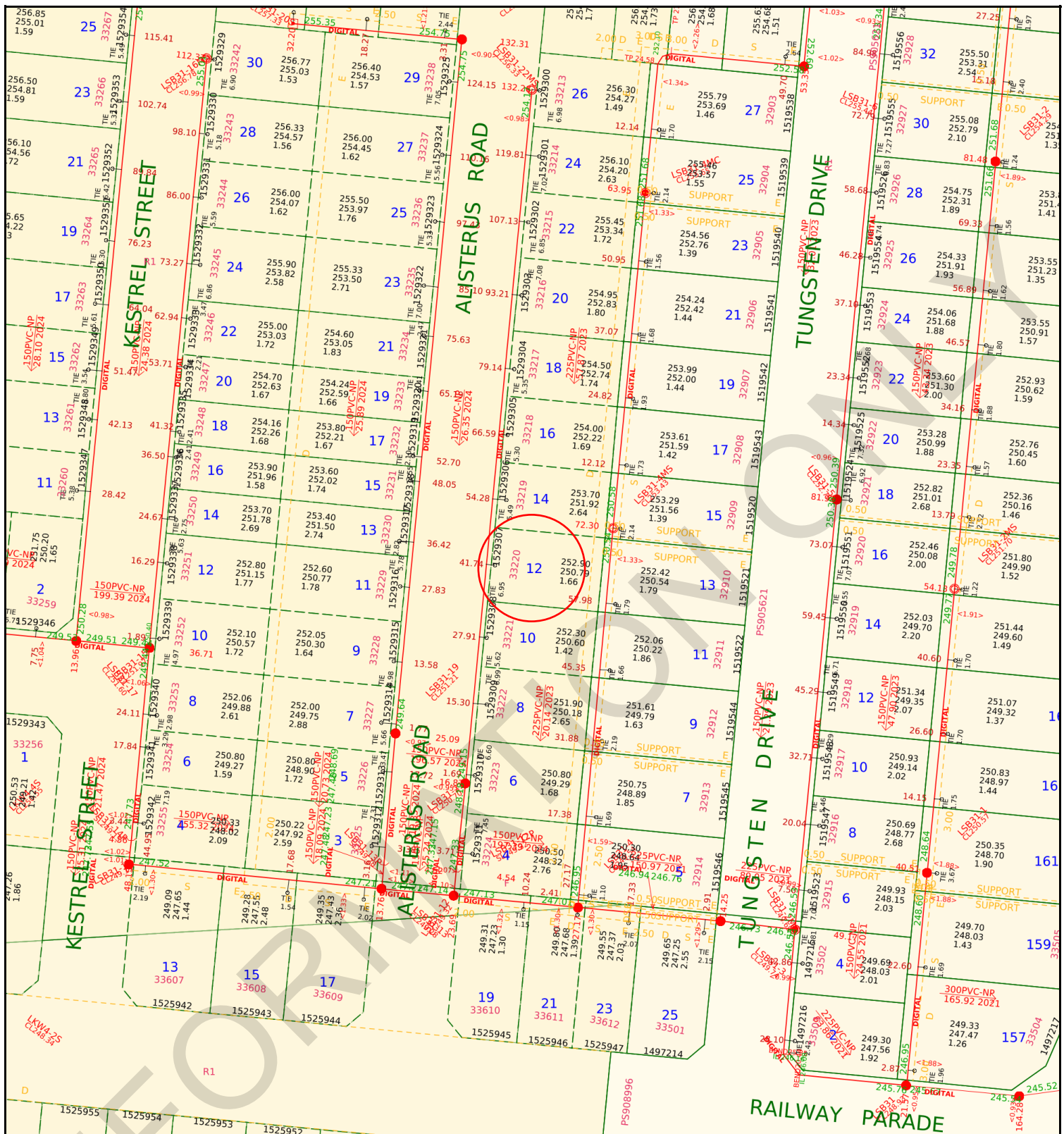
THE FOLLOWING INFORMATION RELATES TO SECTION 158(4)

Information available at Melbourne Water indicates that this property is not subject to flooding from Melbourne Water's drainage system, based on a flood level that has a probability of occurrence of 1% in any one year.

Please note: Unless prior consent has been obtained, the Water Act prohibits:

1. The erection and/or placement of any building, wall, bridge, fence, embankment, filling, material, machinery or other structure over or under any sewer or drain.
2. The connection of any drain or sewer to, or interference with, any sewer, drain or watercourse.

If you have any questions regarding Melbourne Water encumbrances or advisory information, please contact Melbourne Water on 9679 7517.

















**Yarra Valley Water
Information Statement
Number: 30946216**

Address	12 ALISTERUS ROAD KALKALLO 3064
Date	05/06/2025
Scale	1:1000



Yarra Valley Water
ABN 93 066 902 501

Existing Title		Access Point Number		MW Drainage Channel Centreline	
Proposed Title		Sewer Manhole		MW Drainage Underground Centreline	
Easement		Sewer Pipe Flow		MW Drainage Manhole	
Existing Sewer		Sewer Offset		MW Drainage Natural Waterway	
Abandoned Sewer		Sewer Branch			

Disclaimer: This information is supplied on the basis Yarra Valley Water Ltd.
 - Does not warrant the accuracy or completeness of the information supplied, including, without limitation, the location of Water and Sewer Assets;
 - Does not accept any liability for loss or damage of any nature, suffered or incurred by the recipient or any other persons relying on this information;
 - Recommends recipients and other persons using this information make their own site investigations and accommodate their works accordingly;

WESTGATE CONVEYANCERS
info@westgateconveyancing.com.au

RATES CERTIFICATE

Account No: 1208178871
Rate Certificate No: 30946216

Date of Issue: 05/06/2025
Your Ref:

With reference to your request for details regarding:

Property Address	Lot & Plan	Property Number	Property Type
12 ALISTERUS ROAD KALKALLO 3064	33220\PS905623	5324112	Residential

Agreement Type	Period	Charges	Outstanding
Other Charges:			
Interest	No interest applicable at this time		
No further charges applicable to this property			
Balance Brought Forward			
Total for This Property			

The property above forms part of the property for which the charges below are applicable

Property Address	Lot & Plan	Property Number	Property Type
LOT F, HUME HWY, KALKALLO VIC 3064	F\PS905702	5300281	Residential

Agreement Type	Period	Charges	Outstanding
Other Charges:			
Interest	No interest applicable at this time		
No further charges applicable to this property			
Balance Brought Forward			\$0.00
Total for This Property			\$0.00



GENERAL MANAGER
RETAIL SERVICES

Note:

- From 1 July 2023, the Parks Fee has been charged quarterly instead of annually.
- From 1 July 2023, for properties that have water and sewer services, the Residential Water and Sewer Usage charge replaces the Residential Water Usage and Residential Sewer Usage charges.

3. This statement details all tariffs, charges, and penalties due and payable to Yarra Valley Water as of the date of this statement and includes tariffs and charges (other than for usage charges yet to be billed) which are due and payable to the end of the current financial quarter.
4. All outstanding debts are due to be paid to Yarra Valley Water at settlement. Any debts that are unpaid at settlement will carry over onto the purchaser's first quarterly account and follow normal credit and collection activities - pursuant to section 275 of the Water Act 1989.
5. If the total due displays a (-\$ cr), this means the account is in credit. Credit amounts will be transferred to the purchaser's account at settlement.
6. Yarra Valley Water provides information in this Rates Certificate relating to waterways and drainage as an agent for Melbourne Water and relating to parks as an agent for Parks Victoria - pursuant to section 158 of the Water Act 1989.
7. The charges on this rates certificate are calculated and valid at the date of issue. To obtain up-to-date financial information, please order a Rates Settlement Statement prior to settlement.
8. From 01/07/2024, Residential Water Usage is billed using the following step pricing system: 256.31 cents per kilolitre for the first 44 kilolitres; 327.60 cents per kilolitre for 44-88 kilolitres and 485.34 cents per kilolitre for anything more than 88 kilolitres. From 1 July 2023, this charge is applicable for properties with water service only.
9. From 01/07/2024, Residential Water and Sewer Usage is billed using the following step pricing system: 343.42 cents per kilolitre for the first 44 kilolitres; 450.59 cents per kilolitre for 44-88 kilolitres and 523.50 cents per kilolitre for anything more than 88 kilolitres. From 1 July 2023, this charge is applicable for residential properties with both water and sewer services.
10. From 01/07/2024, Residential Recycled Water Usage is billed 192.59 cents per kilolitre.
11. From 01/07/2022 up to 30/06/2023, Residential Sewer Usage was calculated using the following equation: Water Usage (kl) x Seasonal Factor x Discharge Factor x Price (/kl) 1.1540 per kilolitre. From 1 July 2023, this charge will no longer be applicable for residential customers with both water and sewer services.
12. The property is a serviced property with respect to all the services, for which charges are listed in the Statement of Fees above.

To ensure you accurately adjust the settlement amount, we strongly recommend you book a **Special Meter Reading**:

- Special Meter Readings ensure that actual water use is adjusted for at settlement.
- Without a Special Meter Reading, there is a risk your client's settlement adjustment may not be correct.

Property No: 5324112

Address: 12 ALISTERUS ROAD KALKALLO 3064

Water Information Statement Number: 30946216

HOW TO PAY



Bill Code: 314567
Ref:

**Amount
Paid**

**Date
Paid**

**Receipt
Number**