

29 THE BOULEVARDE, SANS SOUCI NSW 2219

LOT 1, DP 173891
LGA: GEORGES RIVER COUNCIL

PROJECT DESCRIPTION: DEMOLITION OF EXISTING STRUCTURES, CONSTRUCTION OF A TWO-STOREY DWELLING WITH BASEMENT, MINOR FILL, SWIMMING POOL, AND CABANA

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ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AFS - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
C	25.08.2025	W.P. MEETING REVIEW	
D	09.09.2025	FINAL	

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.3.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 1103 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB BUILDING REGULATIONS
- WATERPROOFING FOR HAMMER BOLA AND BALCONY TO COMPLY WITH NCC 1.8.4 & 1.8.4.1
- BALCONY INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- WINDOW INSTALLATION TO BE INSTALLED IN ALL REQUIRED PROFILES TO COMPLY WITH BCA PART 1003
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FINISH TO BE SCOURPROOF AND COMPLY WITH CLAUSE 38.5.6
- RAINWATER TANK, HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1629.3.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	COVER PAGE
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	@ A2
Client		REVISION:	D	Drawing no	000
KARIM MAHMOUD		DRAWN BY:	MJ	CHECKED BY:	AS

GENERAL NOTES AND SPECIFICATIONS

CONCRETE

ALL CONCRETE FOOTINGS & SLABS WORKS SHALL COMPLY WITH AS 2870.1-2011
"RESIDENTIAL SLABS & FOOTINGS" PART 1: CONSTRUCTION IN THE ABSENCE OF ENGINEER'S DRAWINGS OR COMPUTATIONS

EXCAVATION

EXCAVATE FOOTINGS & DRAINS AS SHOWN. KEEP EXCAVATIONS DRY & BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS

BRICK VENEER WALLS

COMPLY WITH AS 3700 MASONRY IN BUILDINGS & AS 2904 DAMP PROOF COURSES & FLASHING. USE BRICKS AS SELECTED AND M3 (1:1:6) MORTAR. USE FACE FIXING CAVITY TIES TO AVOID HOLES IN FOIL INSULATION MATERIAL. PROVIDE MASONRY CONTROL JOINTS AS RECOMMENDED BY SOIL TEST REPORT AND IN STRICT ACCORDANCE WITH TECHNICAL NOT CN9 OF CEMENT & CONCRETE ASSOCIATION OF AUST

SOIL CLASSIFICATION

THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT. FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT. THE H.G.F.L. RECOMMENDS THAT FOOTINGS/SLABS & DRAINAGE TO BE DESIGNED & INSPECTED BY AN ENGINEER TO SATISFY THEIR REQUIREMENTS.

TIMBER FLOOR, WALL AND ROOF FRAMING

ALL WORKS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH AS 1684 "TIMBER FRAMING CODE" & SUPPLEMENTARY TABLES.

ENERGY RATINGS

UTILITY AREAS - GENERALLY BATHROOMS, LAUNDRY'S AND TOILETS. BATHROOMS WHICH HAVE A DOOR TO BEDROOMS; ROOMS WITH CENTRAL HEATING OR ARE ONLY MECHANICALLY VENTILATED ARE NOT A UTILITY (EG. ENSUITE)
EXHAUST FANS - A SEALED EXHAUST FAN HAS LOUVRES THAT CLOSE TIGHTLY WHEN NOT IN USE AND DOES NOT OPEN EASILY WITH WIND. (DOES NOT APPLY TO UTILITIES.)
SEALED DOORS - HAVE AT LEAST ONE WEATHER-STRIP FITTED TO THE BOTTOM OF THE DOOR.

STORMWATER

90mm DIAM. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF DISCHARGE AS DIRECTED BY CITY ENGINEER. PROVIDE INSPECTION OPENINGS AT 9000mm C/C & AT EACH CHANGE OF DIRECTION. THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:
• 100mm UNDER SOIL
• 50mm UNDER PAVED OR CONC. AREAS
• 100mm UNDER UNREINFORCED CONC. OR PAVED DRIVEWAYS 75mm UNDER REINFORCED CONC. DRIVEWAYS

SMOKE ALARMS

SMOKE ALARMS SHOWN ON PLANS ARE TO BE PROVIDED & INSTALLED IN ACCORDANCE WITH A.S. 3786 - 2014. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2, 3 OR 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP

PLASTER

PROVIDE 10 THICK PLASTERBOARD TO WALLS AND 10 THICK PLASTERBOARD TO CEILING. ALL WET AREAS SHALL HAVE AN APPROVED 10 THICK WATERPROOF PLASTERBOARD OR HARDIES VILLABOARD INSTALLED IN STRICT ACCORDANCE WITH MANU. INSTRUCTIONS & SPECIFICATIONS

SAFETY GLAZING

SAFETY GLAZING TO BE USED IN FOLLOWING CASES:-

- ALL ROOMS** - WITHIN 500mm VERTICAL FROM FLOOR
- BATHROOMS** - WITHIN 2000mm VERTICAL FROM THE BATH BASE
- LAUNDRY** - WITHIN 1200mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm VERTICAL OF TROUGH
- DOORWAY** - WITHIN 300mm HORIZONTAL FROM ALL DOORS
- ENSUITE** - AS PER BATHROOM
- SHOWER SCREENS** SHALL BE GRADE A SAFETY GLASS

-DO NOT SCALE DRAWINGS. USE WRITTEN **DIMENSIONS ONLY**.

-THE OWNER, BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS AND ALL OTHE RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

-ALL MTRIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2022, NATIONAL CONSTRUCTION CODE SERIES 2022 BUILDING CODE OF AUSTALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

-UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2022 BUILDING CODE OF AUSTRALIA VOLUME 2

-ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA. WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING CERTIFIER AS METTING THE PERFORMANCE REQUIREMENTS OF THE NCC

-ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING **AUSTRALIAN STANDARDS**:
A.S. 1288 - GLASS IN BUILDINGS - SELECTION AND INSTALLATION.
A.S. 1562.1 - DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING.
A.S. 1860 - INSTALLATION OF PARTICLEBOARD FLOORING.
A.S. 2049 - ROOF TILES

A.S. 2050 - INSTALLATION OF ROOFING TILES.
A.S. 2870 - (Pt 1) RESIDENTIAL SLABS AND FOOTINGS.
A.S./NZS 2904 - DAMP-PROOF COURSES AND FLASHINGS.
A.S. 3600 - CONCRETE STRUCTURES.
A.S. 3660.1 - TERMITES MANAGEMENT - NEW BUILDING WORK
A.S. - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
A.S. 12239 - FIRE DETECTION & ALARM SYSTEMS - SMOKE ALARMS
A.S. 4055 - WIND LOADING FOR HOUSING.
A.S. 4100 - STEEL STRUCTURES.

-THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

-ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA. WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT **BUILDING SURVEYOR** AS MEETING THE PERFORMANCE REQUIREMNETS OF THE BCA.

-**GLAZING**, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:
-BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3; AND
-BCA VOL 1 PART B1.4 FOR CLASS 2 AND 9 BUILDINGS

-**WATERPROOFING** OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.

-THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY **HOUSE ENERGY RATING (HERS) REPORT** AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.

-**SAFETY GLAZING** TO BE USED IN THE FOLLOWING CASES:

- ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR.
- BATHROOMS - WITHIN 2000mm VERTICAL FROM THE BATH BASE.
- LAUNDRY - WITHIN 1200mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm HORIZONTAL FROM ALL DOORS.
- DOORWAY - WITHIN 300mm HORIZONTAL FROM ALL DOORS. SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS.

-**WINDOW SIZES** NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.

-**STORMWATER** TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.

-**SEWER OR SEPTIC SYSTEM** SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS.

-**FOOTINGS** NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.

-**ALL WET AREAS** TO COMPLY WITH B.C.A. CLAUSE 3.8.1.2 OR A.S.3740 - 2010 WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.

-PROVIDE **WALL TIES** TO BRICKWORK AT MAXIMUM 600mm CRS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS.

STAINLESS STEEL OR GLASS FEATURE WALLS NEAR GAS COOKERS

PROVIDE 200mm CLEARANCE FROM NEAREST BURNER TO THE STAINLESS STEEL OR GLASS WALL OR THE SURFACE OF THE WALL IS TO BE PROTECTED AS PER AS 5601/AG 801, IF LESS THEN 200mm; STAINLESS STEEL - THE WALL MUST NOT CONTAIN COMBUSTIBLE MATERIALS
CLAUSE 5.12.1. GLASS WALLS - A LETTER IS SUPPLIED BY THE GLASS SUPPLIER OR GLASS MANUFACTURE INDICATING THAT THE GLASS IS FIT FOR THE PURPOSE AT THE CLEARANCE STATED AND IF THE GLASS IS AFFIXED TO A COMBUSTIBLE SURFACE, THAT SURFACE IS TO BE PROTECTED AS PER AS 5601/AG601, CLAUSE 5.12.1.
NOTE; THE RECOMMENDED MINIMUM CLEARANCE FROM THE NEAREST BURNER TO THE SURFACE OF THE GLASS IS 140mm.

-**SUB-FLOOR VENTS** TO PROVIDE A RATE OF 7500mm SQ. CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONARY WALL AND 22000mm SQ. CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS.

-PROVIDE **CLEARANCE FROM UNDERSIDE OF BEARER** TO FINISH GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING.

-STAIR REQUIREMENTS;

- STEP SIZES
- RISERS (R) 190mm MAXIMUM AND 115mm MINIMUM
- GOING (G) 355mm MAXIMUM AND 240mm MINIMUM
- 2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM
- WITH LESS THE 125mm GAP BETWEEN OPEN TREADS

ALL TREADS, LANDINGS AND THE LIKE TO HAVE SLIP-RESISTANT CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS. PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMP AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:
-1000mm MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
-865mm MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP,
-VERTICAL WITH LESS THAN 125mm GAP BETWEEN, AND
-ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMP AND/OR TREADS.

-**WIRE BALUSTRADE** CONSTRUCTION TO COMPLY WITH NCC 2022 BCA Vol.2 2022 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2022 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.

-TOP OF **HAND RAILS** TO BE MINIMUM 865mm VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.

-WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA, THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE TREATED AGAINST TERMITE ATTACK

-CONCRETE STUMPS.

-UP TO 1400mm LONG TO BE 100mm x 100mm (1 NO. H.D.WIRE)
-1401mm TO 1800mm LONG TO BE 100mm x 100mm (2 NO.H.D. WIRES)
-1801mm TO 3000mm LONG TO BE 125mm x 125mm (2 NO.H.D. WIRES)
-100mm x 100mm STUMPS EXCEEDING 1200mm ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.

-FOR BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIROMENTS SHALL HAVE MASONARY UNITS, MOTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773. 1-2010 'MASONARY IN SMALL BUILDINGS' PART 1: DESIGN.

-THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.

-THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.

-**SMOKE ALARMS** TO BE SHOWN ON PLANS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-1993. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1,2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.

-INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

-THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCTAED AT SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

-THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF COMPOSITE DESIGN & DRAFTING FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

-THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ALL VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING ANY VARIATION.

-A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.

-THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF COMPOSITE DESIGN& DRAFINF EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO COMPOSITE DESIGN & DRAFTING.

-THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCPETED FOR THEIR USE.

BUILDING FABRIC

BUILDING FABRIC THERMAL INSULATION

- A) WHERE REQUIRED INSULATION MUST COMPLY WITH AS/NZ4859 AND BE INSTALLED SO THAT IT:
I) ABUTS OR OVERLAPS ADJOINING INSULATION OTHER THAN AT SUPPORTING MEMBERS SUCH AS COLUMNS, STUDS, NOGGINGS, JOISTS, FURRING CHANNELS AND THE LIKE WHERE INSULATION MUST BUTT AGAINST THE MEMBER; AND
II) FORMS A CONTINUOUS BARRIER WITH CEILINGS, WALLS, BULKHEADS, FLOORS OR THE LIKE THAT INHERENTLY CONTRIBUTE TO THE THERMAL BARRIER; AND
III) DOES NOT AFFECT THE SAFE OR EFFECTIVE OPERATION OF A DOMESTIC SERVICE OR FITTING

- B) WHERE REQUIRED, REFLECTIVE INSULATION MUST BE INSTALLED WITH:
I) THE NECESSARY AIRSPACE, TO ACHIEVE THE REQUIRED R-VALUE BETWEEN A REFLECTIVE SIDE OF THE REFLECTIVE INSULATION AND A BUILDING LINING OR CLADDING; AND
II) THE REFLECTIVE INSULATION CLOSELY FITTED AGAINST ANY PENETRATION, DOOR OR WINDOW OPENING; AND
III) THE REFLECTIVE INSULATION ADEQUATELY SUPPORTED BY FRAMING MEMBERS; AND
IV) EACH ADJOINING SHEET OF ROLL MEMBRANE BEING:
A) OVERLAPPED NOT LESS THAN 150MM OR;
B) TAPED TOGETHER

- C) WHERE REQUIRED, BULK INSULATION MUST BE INSTALLED SO THAT;
I) IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN WHERE IT CROSSES ROOF BATTENS, WATER PIPES, ELECTRICAL CABLING OR THE LIKE; AND
II) IN A CEILING, WHERE THERE IS NO BULK INSULATION OR REFLECTIVE INSULATION IN THE EXTERNAL WALL BENEATH, IT OVERLAPS THE EXTERNAL WALL BY NOT LESS THAN 50MM

BUILDING SEALING

CHIMNEYS AND FLUES

THE CHIMNEY OR FLUE OF AN OPEN SOLID-FUEL BURNING APPLIANCE MUST BE PROVIDED WITH A DAMPER OR FLAP THAT CAN BE CLOSED TO SEAL THE CHIMNEY OR FLUE.

ROOF LIGHTS

- A) A ROOF LIGHT MUST BE SEALED, OR CAPABLE OF BEING SEALED, WHEN SERVING;
I) A CONDITIONED SPACE; OR
II) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 AND 9

- B) A ROOF LIGHT REQUIRED BY (A) TO BE SEALED, OR CAPABLE OF BEING SEALED, MUST BE CONSTRUCTED WITH:
I) AN IMPERFORATE CEILING DIFFUSER OR THE LIKE INSTALLED AT THE CEILING OR INTERNAL LINING LEVEL; OR
II) A WEATHERPROOF SEAL; OR
III) A SHUTTER SYSTEM READILY OPERATED EITHER MANUALLY, MECHANICALLY OR ELECTRONICALLY BY THE OCCUPANT

EXTERNAL WALLS AND DOORS

- A) A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTING TO EACH EDGE OF AN EXTERNAL DOOR, OPERABLE WINDOW AND OTHER SUCH OPENINGS;
I) WHEN SERVING A CONDITIONED SPACE; OR
II) IN CLIMATE ZONES 4, 5, 6, 7 AND 8 WHEN SERVING A HABITABLE ROOM

- B) A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS 2047 NEED NOT COMPLY WITH (A)

- C) A SEAL REQUIRED BY (A);
I) FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR MUST BE DRAFT PROTECTION DEVICE AND;
II) FOR THE OTHER EDGES OF AN EXTERNAL SWING DOOR OR THE EDGES OF AN OPERABLE WINDOW OR OTHER SUCH OPENING MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE

EXHAUST FANS

- AN EXHAUST FAN MUST BE FITTED WITH A SEALING DEVICE SUCH AS A SELF CLOSING DAMPER, FILTER OR THE LIKE WHEN SERVING;
A) A CONDITIONED SPACE; OR
B) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 AND 8

CONSTRUCTION OF ROOFS, WALLS AND FLOORS

- A) ROOFS, EXTERNAL WALLS, EXTERNAL FLOORS AND ANY OPENING SUCH AS A WINDOW FRAME, DOOR FRAME, ROOF LIGHT FRAME OR THE LIKE MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE IN ACCORDANCE WITH (B) WHEN FORMING PART OF THE EXTERNAL FABRIC OF;
I) A CONDITIONED SPACE; OR
II) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 AND 8

- B) CONSTRUCTION REQUIRED BY (A) MUST BE;
I) ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT THE CEILING, WALL AND FLOOR JUNCTIONS; OR
II) SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE

EVAPORATIVE COOLERS

- AN EVAPORATIVE COOLER MUST BE FITTED WITH A SELF CLOSING DAMPER OR THE LIKE WHEN SERVING;
A) A HEATED SPACE; OR
B) A HABITABLE ROOM IN CLIMATE ZONES 4, 5, 6, 7 AND 8 SERVICES

INSULATION OF SERVICES

THERMAL INSULATION FOR CENTRAL HEATING WATER PIPING AND HEATING AND COOLING DUCTWORK MUST;
A) BE PROTECTED AGAINST THE EFFECTS OF WEATHER AND SUNLIGHT; AND
B) BE ABLE TO WITHSTAND THE TEMPERATURES WITHIN THE PIPING OR DUCTWORK; AND
C) USE THERMAL INSULATION MATERIAL IN ACCORDANCE WITH AS/NZ 4859.1.

CENTRAL HEATING WATER PIPING

CENTRAL HEATING WATER PIPING THAT IS NOT WITHIN A CONDITIONED SPACE MUST BE THERMALLY INSULATED TO ACHIEVE THE MINIMUM MATERIAL R-VALUE IN ACCORDANCE WITH BCA VOL.2 2022

HEATING AND COOLING DUCTWORK

- A) HEATING AND COOLING DUCTWORK AND FITTINGS MUST:
I) ACHIEVE THE MATERIAL R-VALUE IN BCA VOL.2 2022 AND;
II) BE SEALED AGAINST AIR LOSS;
A) BY CLOSING ALL OPENINGS IN THE SURFACE, JOINTS AND SEAMS OF DUCTWORK WITH ADHESIVES, MASTICS, SEALANTS OR GASKETS IN ACCORDANCE WITH AS 4254 FOR A CLASS C SEAL; OR
B) FOR FLEXIBLE DUCTWORK, WITH A DRAW BAND IN CONJUNCTION WITH A SEALANT OR ADHESIVE TAPE

- B) DUCT INSULATION MUST:
I) ABUT ADJOINING DUCT INSULATION TO FORM A CONTINUOUS BARRIER; AND
II) BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN AT FLANGES AND SUPPORTS; AND
III) WHERE LOCATED OUTSIDE THE BUILDING, UNDER A SUSPENDED FLOOR, IN AN ATTACHED CLASS 10A BUILDING OR IN A ROOF SPACE
A) BE PROTECTED BY AN OUTER SLEEVE OF PROTECTIVE SHEETING TO PREVENT THE INSULATION BECOMING DAMP; AND
B) HAVE THE OUTER PROTECTIVE SLEEVE SEALED WITH ADHESIVE TAPE NOT LESS THAN 48MM WIDE CREATING AN AIRTIGHT AND WATERPROOF SEAL

- C) THE REQUIREMENTS OF (A) DO NOT APPLY TO HEATING AND COOLING DUCTWORK AND FITTINGS LOCATED WITHIN THE INSULATED BUILDING ENVELOPE INCLUDING SERVICE RISE WITHIN CONDITIONED SPACE, INTERNAL FLOORS BETWEEN STOREYS AND THE LIKE

ELECTRIC RESISTANCE SPACE HEATING

AN ELECTRIC RESISTANCE SPACE HEATING SYSTEM THAT SERVES MORE THAN ONE ROOM MUST HAVE;
A) SEPARATE ISOLATING SWITCHES FOR EACH ROOM; AND
B) A SEPARATE TEMPERATURE CONTROLLER AND TIME SWITCH FOR EACH GROUP OF ROOMS WITH COMMON HEATING NEEDS; AND BATHROOMS

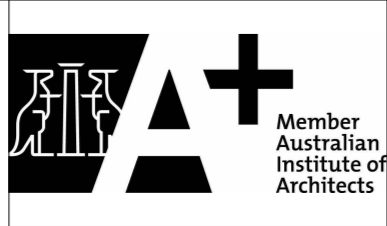
HEATING AND PUMPING OF A SWIMMING POOL OR SPA POOL

A) HEATING FOR A SWIMMING POOL OTHER THAN A SPA POOL MUST BE BY A SOLAR HEATER NOT BOOSTED BY ELECTRIC RESISTANCE HEATING

- B) HEATING FOR A SPA POOL THAT SHARES A WATER RECIRCULATION SYSTEM WITH A SWIMMING POOL MUST BE BY;
I) A SOLAR HEATER; OR
II) A GAS HEATER; OR
III) A HEAT PUMP; OR
IV) A COMBINATION OF TWO OR MORE OF (I), (II), AND (III)

- C) WHERE SOME OR ALL OF THE HEATING REQUIRED BY (B) IS BY A GAS OR HEAT PUMP A SPA POOL MUST HAVE;
I) A COVER; AND
II) A PUSH BUTTON AND A TIME SWITCH TO CONTROL THE OPERATION

- D) A TIME SWITCH MUST BE PROVIDED TO CONTROL THE OPERATION OF A CIRCULATION PUMP FOR A SWIMMING POOL OTHER THAN A SPA POOL WITH CAPACITY OF LESS THAN 680 LITERS



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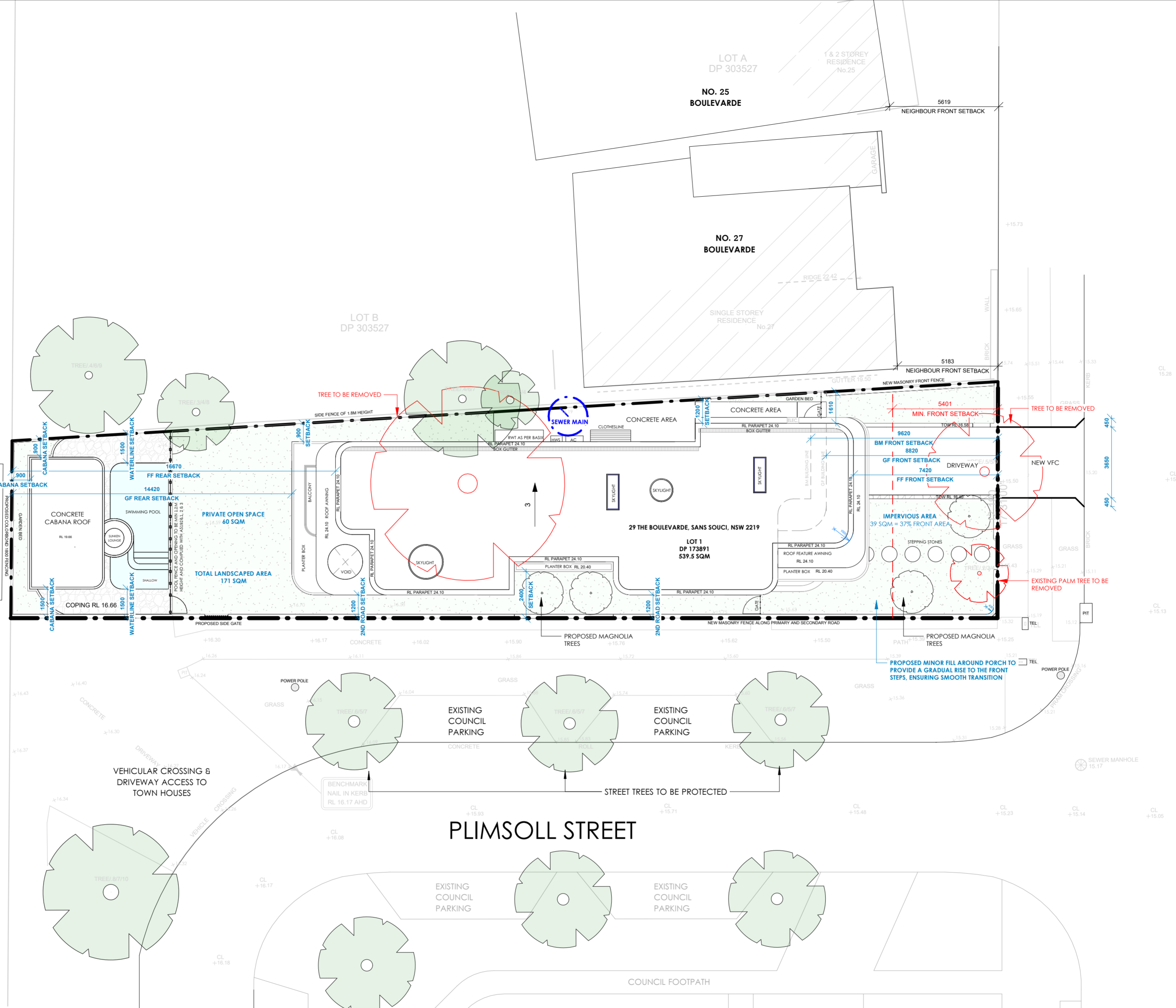
ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AFS - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
C	25.09.2025	W/P. MEETING REVIEW	
D	09.09.2025	FINAL	

NOTES:
-PARTY WALL TO COMPLY WITH FIRE RATED WALL AS4040 AS PER NCC 2022
-SANDS AGAINST TO BE COMPIED CLAUSE 9.3.4 OF THE NCC VOLUME TWO 2022 & AS3760.2014
-ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPIED WITH BCA PART 603 AS REQUIRED BY THE BASIC CERTIFICATE
-WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSEHOLD PREVENTION
-WATERPROOFING FOR HANDBASE AND BALCONY TO COMPLY WITH CLASS 1 & CLASS 2
-BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLASS 1.1.1.4 OF THE NCC VOLUME TWO 2022
-POOL BARRIERS TO BE INSTALLED IN ALL BATHROOMS AND TO COMPLY WITH BCA PART 1003
-POOL FENCE AND OPENING TO BE COMPIED WITH AS1926.1, AS1926.2 & AS1926.3
-BATHWATER TANK, HOT WATER SYSTEM, AIR CONDIONER TO BE INSTALLED AS PER BASIC CERTIFICATE
-WATERPROOFING TO COMPLY WITH AS3740:ICA 3.8.1.2
-VERANDAH, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS3554
-WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS 4564

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	GENERAL NOTES & SPECIFICATIONS
29 THE BOULEVARD, SANS SOU CI NSW 2219		DATE:	09.09.25	SCALE:	@ A2
Client		REVISION:	D	Drawing no	001
KARIM MAHMOUD		DRAWN BY:	MJ	CHECKED BY:	AS



NO.1 PLIMSOLL
TOWN HOUSES
SP 33764
AP 33764



THE BOULEVARDE

PLIMSOLL STREET

1 Site Plan
1 : 150

LEGENDS

	AFS WALL
	DOUBLE BRICK WALL
	SINGLE BRICK WALL

dezcon

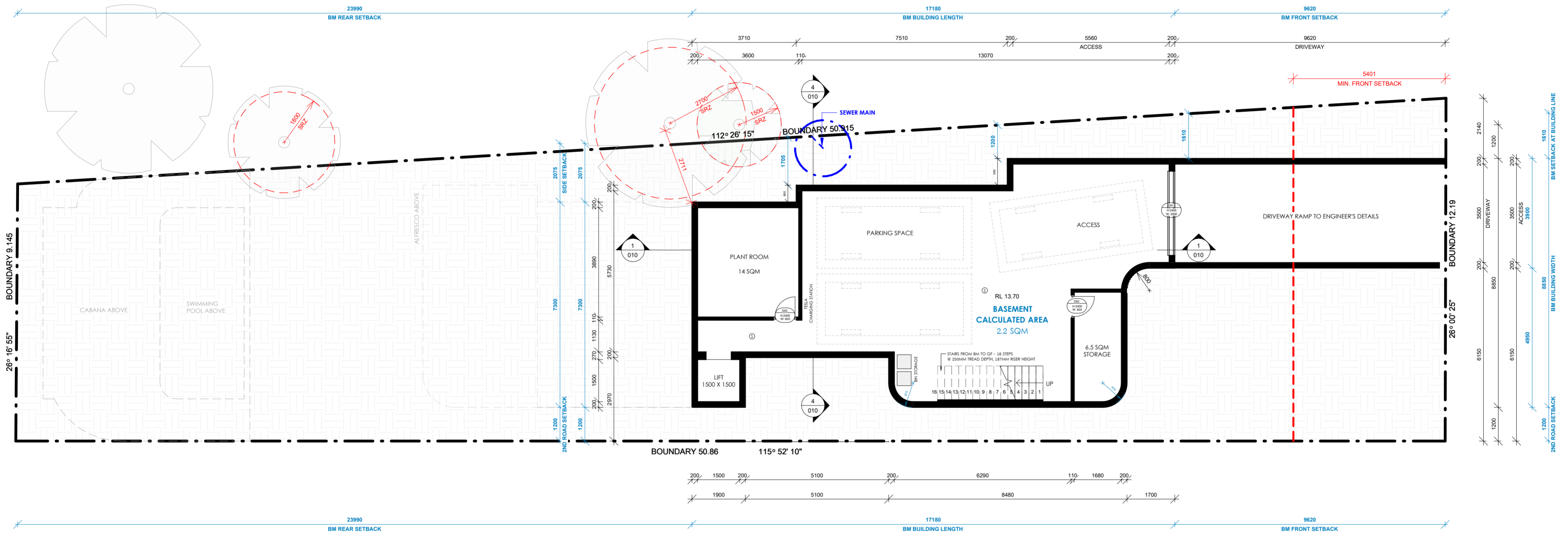
Nominated Architect:
Amani Salameh
NSW Reg. 13130

Member Australian Institute of Architects

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ISSUE NO.	DATE	REVISION	SPECIFICATIONS:	NOTES:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AFS - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE	- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022 - SMOKE ALARMS TO BE COMPLIED WITH CLASS 9.4 OF THE NCC VOLUME TWO 2022 & AS1786.2014 - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH R60A PART 1003 AS REQUIRED BY THE BASIN CERTIFICATE HOUSING PROVISIONS - WATERPROOFING FOR ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 102 OF THE AIBCA HOUSING PROVISIONS - RAILROADS INSTALLATION TO BE IN COMPLIANCE WITH CLASS 1.1.3.4 OF THE NCC VOLUME TWO 2022 - BRICKS TO BE INSTALLED ON ALL REQUIRED FLOORS TO COMPLY WITH BCA PART 1003
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE	- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3 - POOL FENCE TO BE SCHEDULED ROOF AND COMPLY WITH CLASS 3.8.6 - BATHWATER TANK, HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIN CERTIFICATE - WATERPROOFING TO COMPLY WITH AS1628.3.8.1.2 - VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584 - WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS4584
C	25.08.2025	W/P MEETING REVIEW		
D	09.09.2025	FINAL		

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA	PROJECT NO.	03/2025	DRAWING TITLE	SITE PLAN
29 THE BOULEVARD, SANS SOUCI NSW 2219	DATE:	09.09.25	SCALE:	As @ A2
Client	REVISION:	D	Drawing no	003
KARIM MAHMOUD	DRAWN BY:	MJ	CHECKED BY:	AS



1 Basement Floor Plan
1 : 100

- LEGENDS**
- AFS WALL
 - DOUBLE BRICK WALL
 - SINGLE BRICK WALL

dezcon

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A: 1/25 Kyle Parade, Kyle Bay
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ABN: 656636650084

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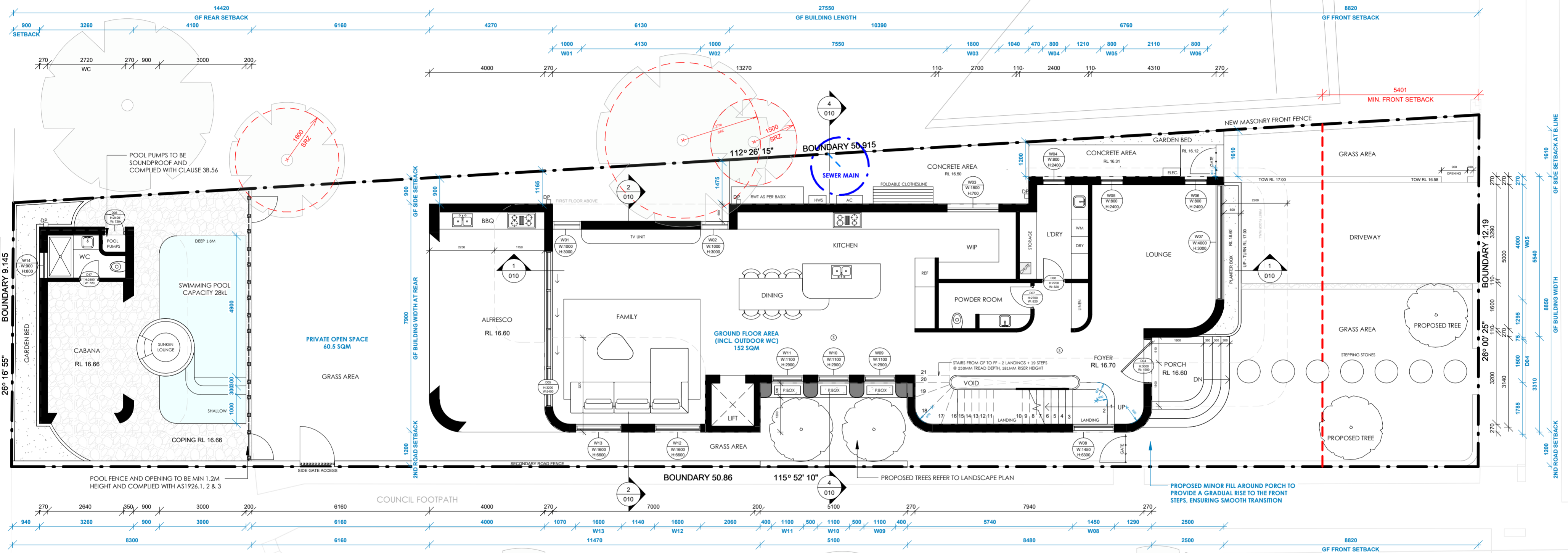
ISSUE NO.	DATE	REVISION
A	28.03.2025	ISSUE FOR DA ASSESSMENT
B	21.08.2025	AMENDMENTS 1
C	25.08.2025	W.P. MEETING REVIEW
D	09.09.2025	FINAL

SPECIFICATIONS:	NOTES:
BASEMENT FLOOR: - EXTERNAL WALL: AFS - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE	- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022 - SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS1786.2014 - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART H103 AS REQUIRED BY THE BASIX CERTIFICATE - WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS - WATERPROOFING FOR HANDBASIN AND BALCONY TO COMPLY WITH NCC 2.4 & 2.4.1 - RAILINGS TO BE INSTALLED IN ACCORDANCE WITH CLAUSE 1.1.3.4 OF THE NCC VOLUME TWO 2022 - FLOOR FINISHES TO BE REVEALED ON ALL REQUIRED FINISHES TO COMPLY WITH BCA PART H103 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3 - POOL FINISHES TO BE COMPLIED WITH AS1926.3 - BATHWATER TANK, HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIX CERTIFICATE - WATERPROOFING TO COMPLY WITH AS1629.3.1.2 - VERANDAH, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584 - WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA
29 THE BOULEVARD, SANS SOUCI NSW 2219

PROJECT NO.	03/2025
DATE:	09.09.25
REVISION:	D
DRAWN BY:	MJ
CHECKED BY:	AS

DRAWING TITLE	BASEMENT FLOOR PLAN
SCALE:	1 : 100 @ A2
Drawing no	004



1 Ground Floor Plan
1 : 100

PLIMSOLL STREET

THE BOULEVARD

LEGENDS

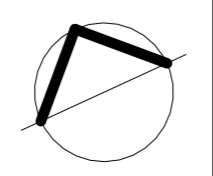
	AFS WALL
	DOUBLE BRICK WALL
	SINGLE BRICK WALL

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A: 1/25 Kyle Parade, Kyle Bay
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Nominated Architect:
Amratt Salameh
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ISSUE NO.	DATE	REVISION
A	28.03.2025	ISSUE FOR DA ASSESSMENT
B	21.08.2025	AMENDMENTS 1
C	25.08.2025	W/P MEETING REVIEW
D	09.09.2025	FINAL

SPECIFICATIONS:

BASEMENT FLOOR:
- EXTERNAL WALL: AFS
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: CONCRETE

GROUND FLOOR:
- EXTERNAL WALL: DOUBLE BRICK 270MM
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: CONCRETE

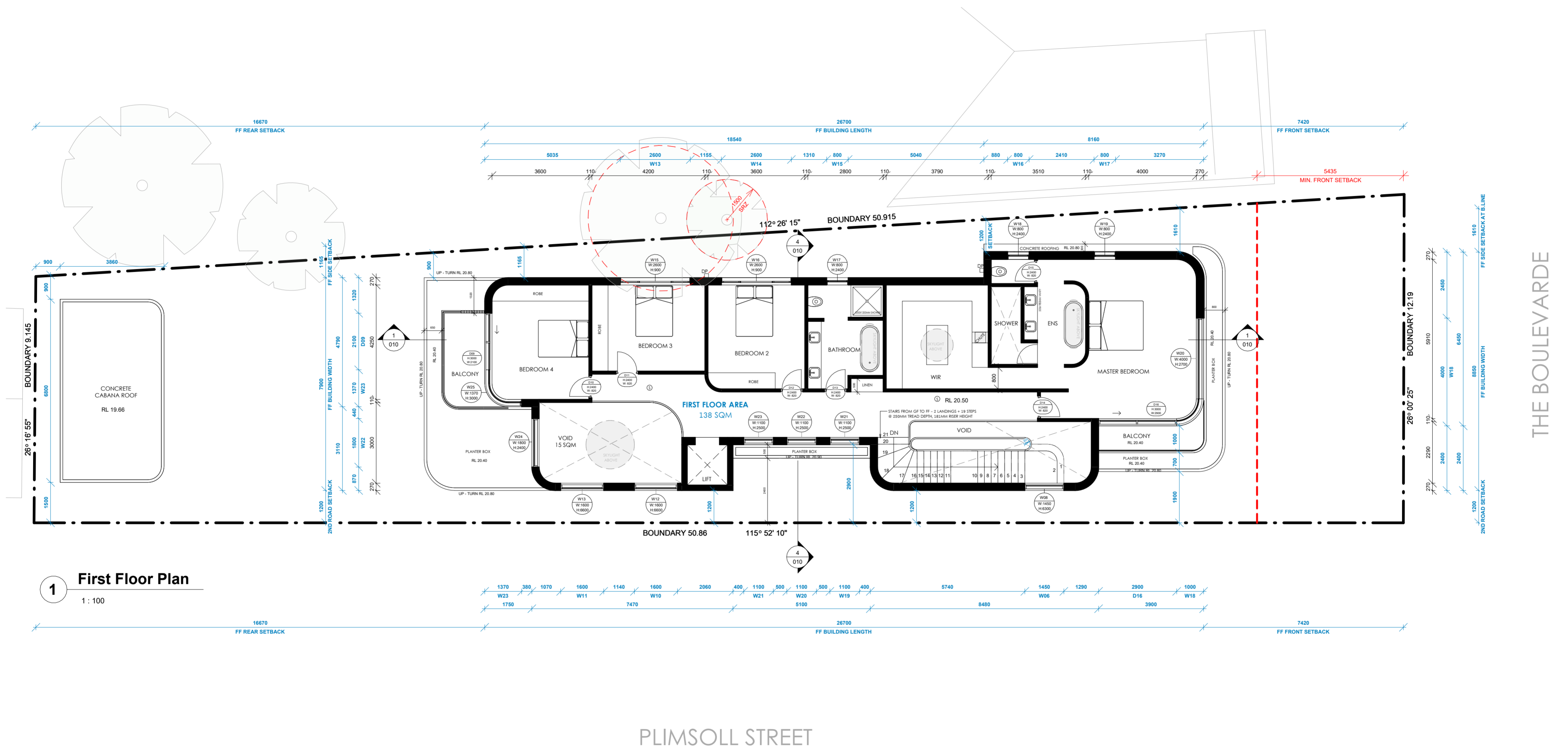
FIRST FLOOR:
- EXTERNAL WALL: DOUBLE BRICK 270MM
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: SUSPENDED CONCRETE

ROOF:
- DWELLING ROOF - KLIPLOK
- CABANA ROOF - CONCRETE

NOTES:

- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.3.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 1103 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS
- WATERPROOFING FOR HANDBASIN AND BALCONY TO COMPLY WITH AMARA 1 & AMARA 2
- RAILINGS INSTALLATION TO BE IN ACCORDANCE WITH CLAUSE 1.3.4 OF THE NCC VOLUME TWO 2022
- SMOKE RESISTANCE TO BE INSTALLED ON ALL REQUIRED ROOMS TO COMPLY WITH BCA PART 1003
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL PUMPS TO BE SOUNDPROOF AND COMPLIED WITH CLAUSE 38.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1626.3.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA	PROJECT NO.	03/2025	DRAWING TITLE	GROUND FLOOR PLAN			
	DATE:	09.09.25	SCALE:	1 : 100 @ A2			
	29 THE BOULEVARD, SANS SOUCI NSW 2219	REVISION:	D	Drawing no			
Client	KARIM MAHMOUD	DRAWN BY:	MJ	CHECKED BY:	AS		005



1 First Floor Plan
1 : 100

THE BOULEVARDE

PLIMSOLL STREET

- LEGENDS**
- AFS WALL
 - DOUBLE BRICK WALL
 - SINGLE BRICK WALL

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ISSUE NO.	DATE	REVISION
A	28.03.2025	ISSUE FOR DA ASSESSMENT
B	21.08.2025	AMENDMENTS 1
C	25.08.2025	W/P MEETING REVIEW
D	09.09.2025	FINAL

SPECIFICATIONS:

BASEMENT FLOOR:
- EXTERNAL WALL: AFS
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: CONCRETE

GROUND FLOOR:
- EXTERNAL WALL: DOUBLE BRICK 270MM
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: CONCRETE

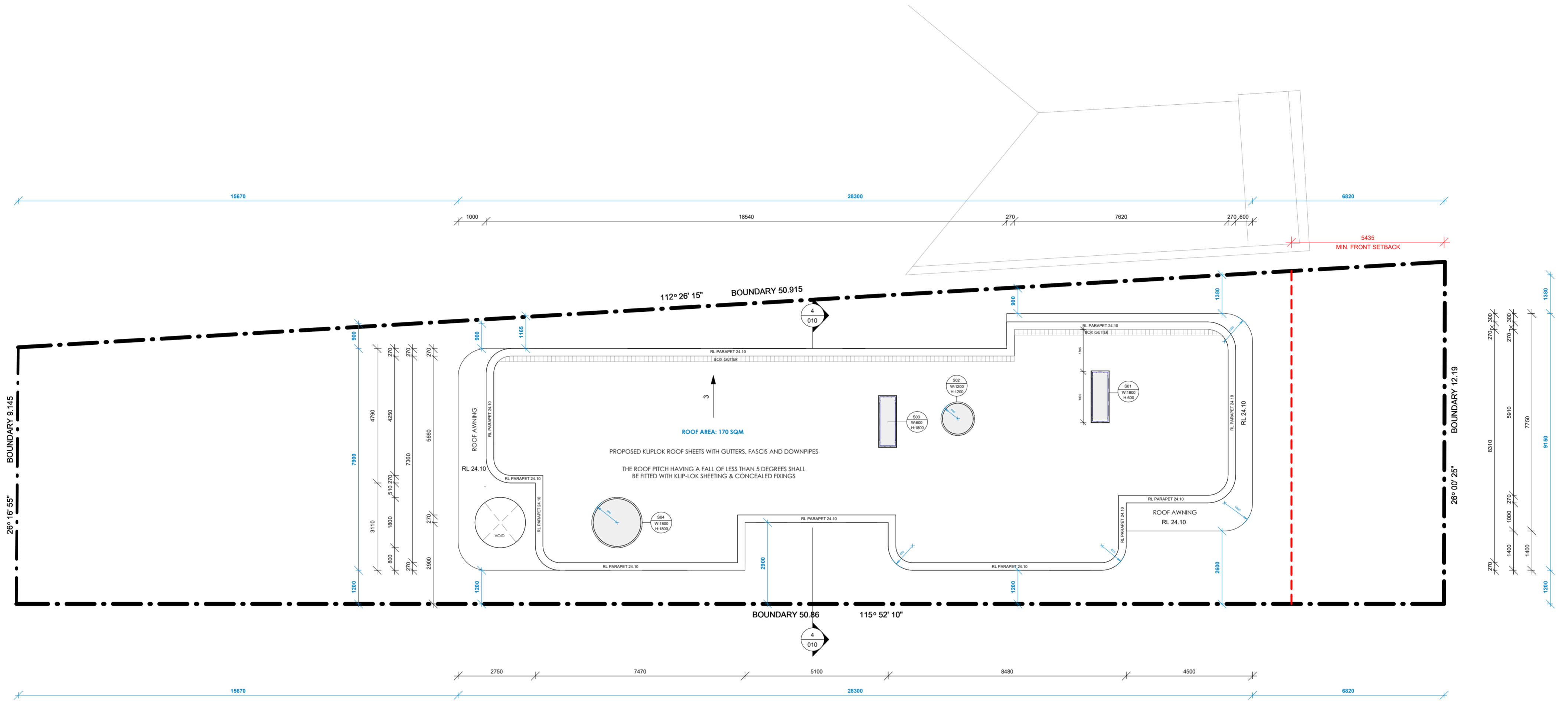
FIRST FLOOR:
- EXTERNAL WALL: DOUBLE BRICK 270MM
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: SUSPENDED CONCRETE

ROOF:
- DWELLING ROOF - KLIPLOK
- CABANA ROOF - CONCRETE

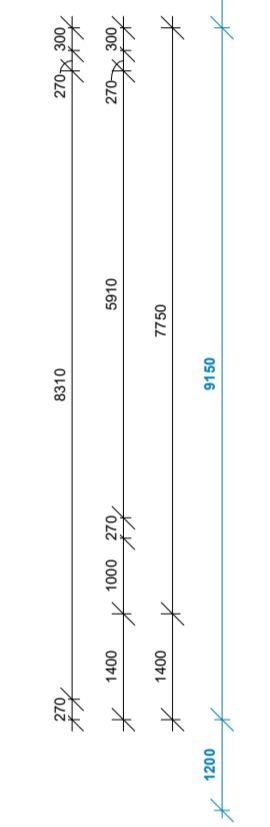
NOTES:

- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.3 & 9.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 4.6 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS
- WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH NABERS E & A4664
- MULLION/RAIL INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 1.3.3.4 OF THE NCC VOLUME TWO 2022
- BRICKWORK STRUCTURES TO BE REINFORCED ON ALL REQUIRED FINISHES TO COMPLY WITH BCA PART 10.03
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FIBRE TO BE BOUND TO FLOOR AND COMPARED WITH CLAUSE 3.8.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1547.6.3.1.2
- VERANDA/DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	FIRST FLOOR PLAN
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 100 @ A2
Client: KARIM MAHMOUD		REVISION:	D	Drawing no	006
		DRAWN BY:	MJ	CHECKED BY:	AS



1 Roof Plan
1 : 100



LEGENDS

	AFS WALL
	DOUBLE BRICK WALL
	SINGLE BRICK WALL

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ABN: 656636650084

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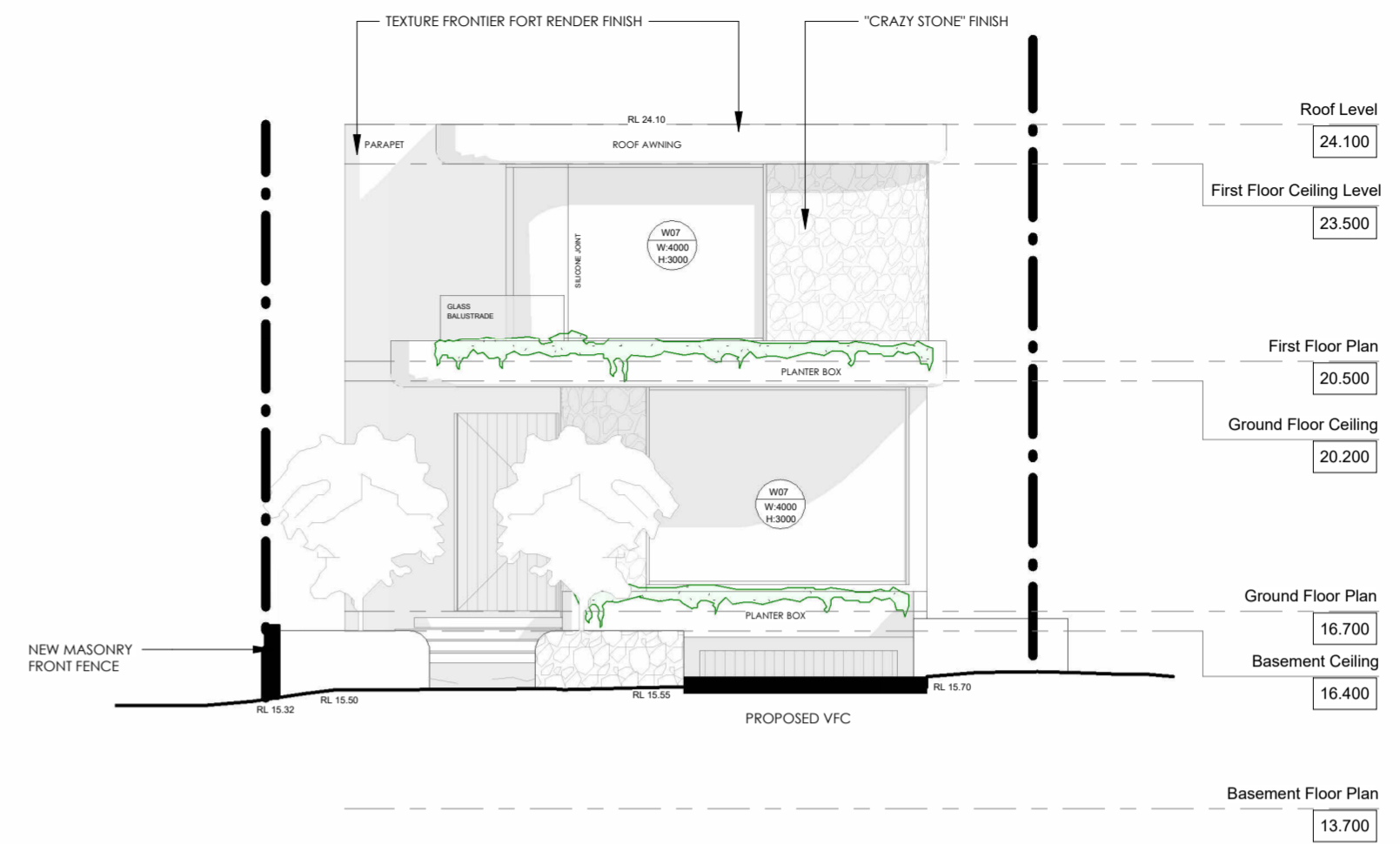
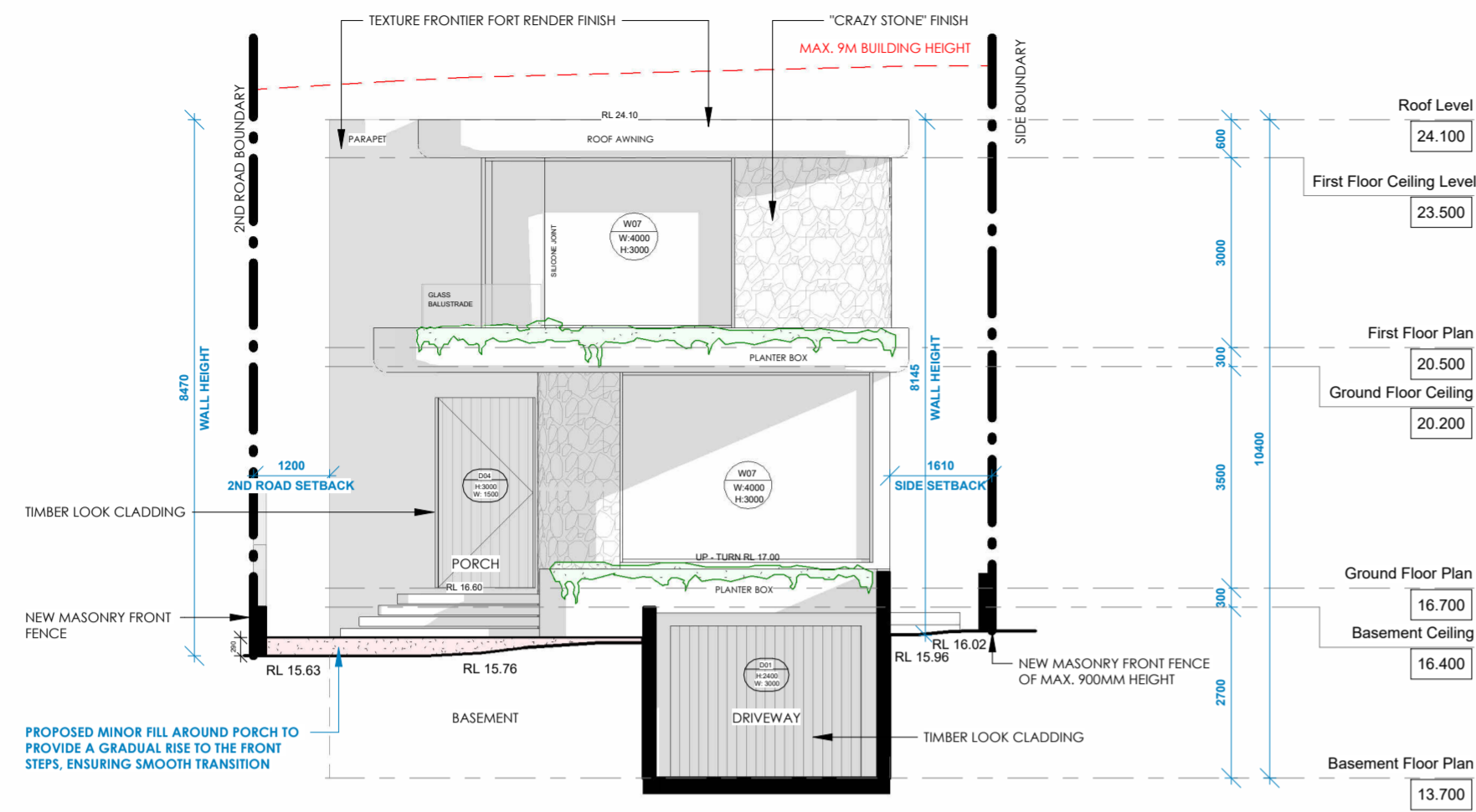
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ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AFS - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
C	25.08.2025	W.P. MEETING REVIEW	
D	09.09.2025	FINAL	

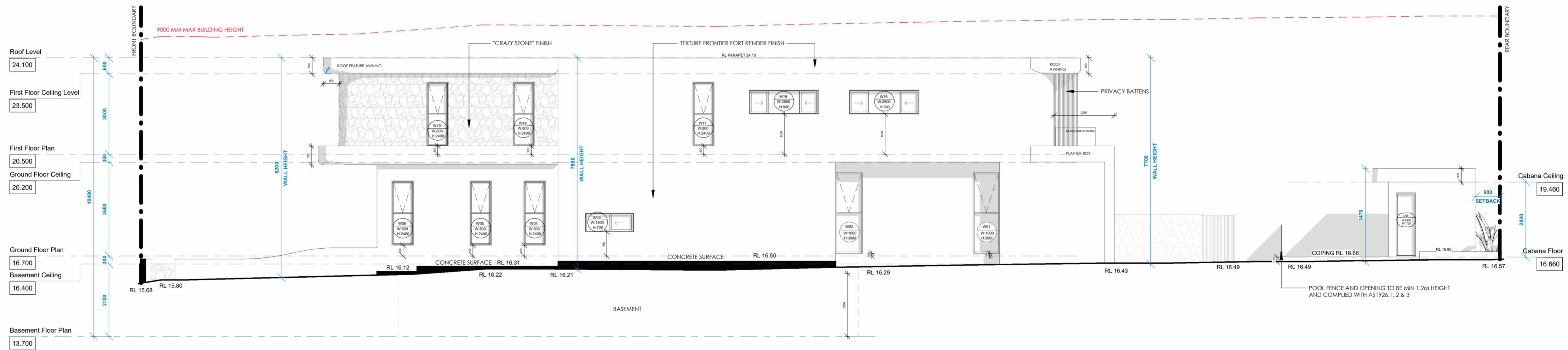
NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.3.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMBINED WITH BGA PART 1003 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ASBC
- HOUSING PROVISIONS
- WATERPROOFING FOR TERRACE ROOF AND BALCONY TO COMPLY WITH NCC 2022 & AS4684.
- RAILGRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- FLOOR FINISHES TO BE AS PER BGA PART 1003 TO COMPLY WITH BGA PART 1003
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FINISH TO BE BGA PART 1003 AND COMPLY WITH CLAUSE 38.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1626.3.1.2
- TERRACE, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS 4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA	PROJECT NO.	03/2025	DRAWING TITLE	ROOF PLAN
	DATE:	09.09.25	SCALE:	1 : 100 @ A2
29 THE BOULEVARD, SANS SOUCI NSW 2219	REVISION:	D	Drawing no	007
	Client	KARIM MAHMOUD	DRAWN BY:	MJ
	CHECKED BY:	AS		



1 East Facade Elevation
1 : 100

4 The Boulevard Elevation
1 : 100

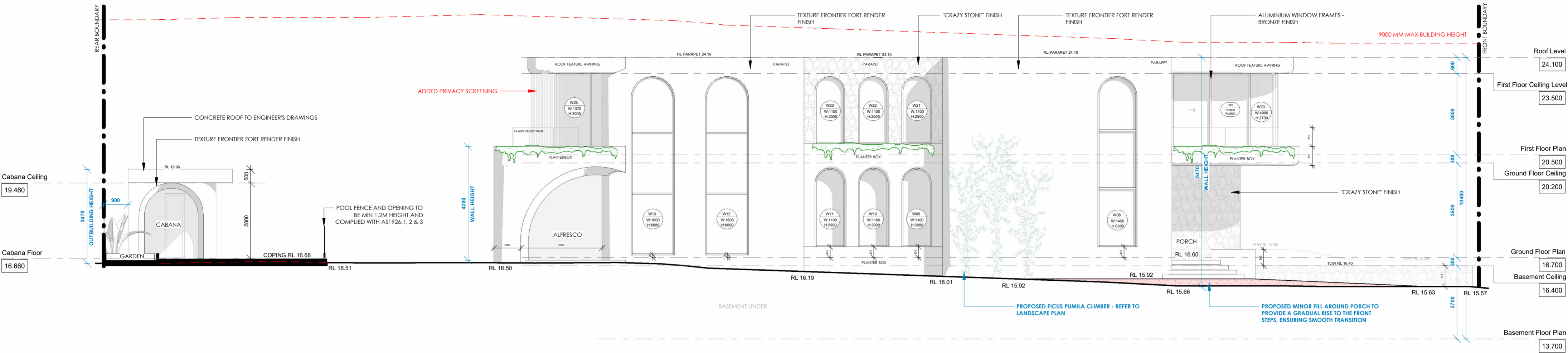


2 North Elevation
1 : 100

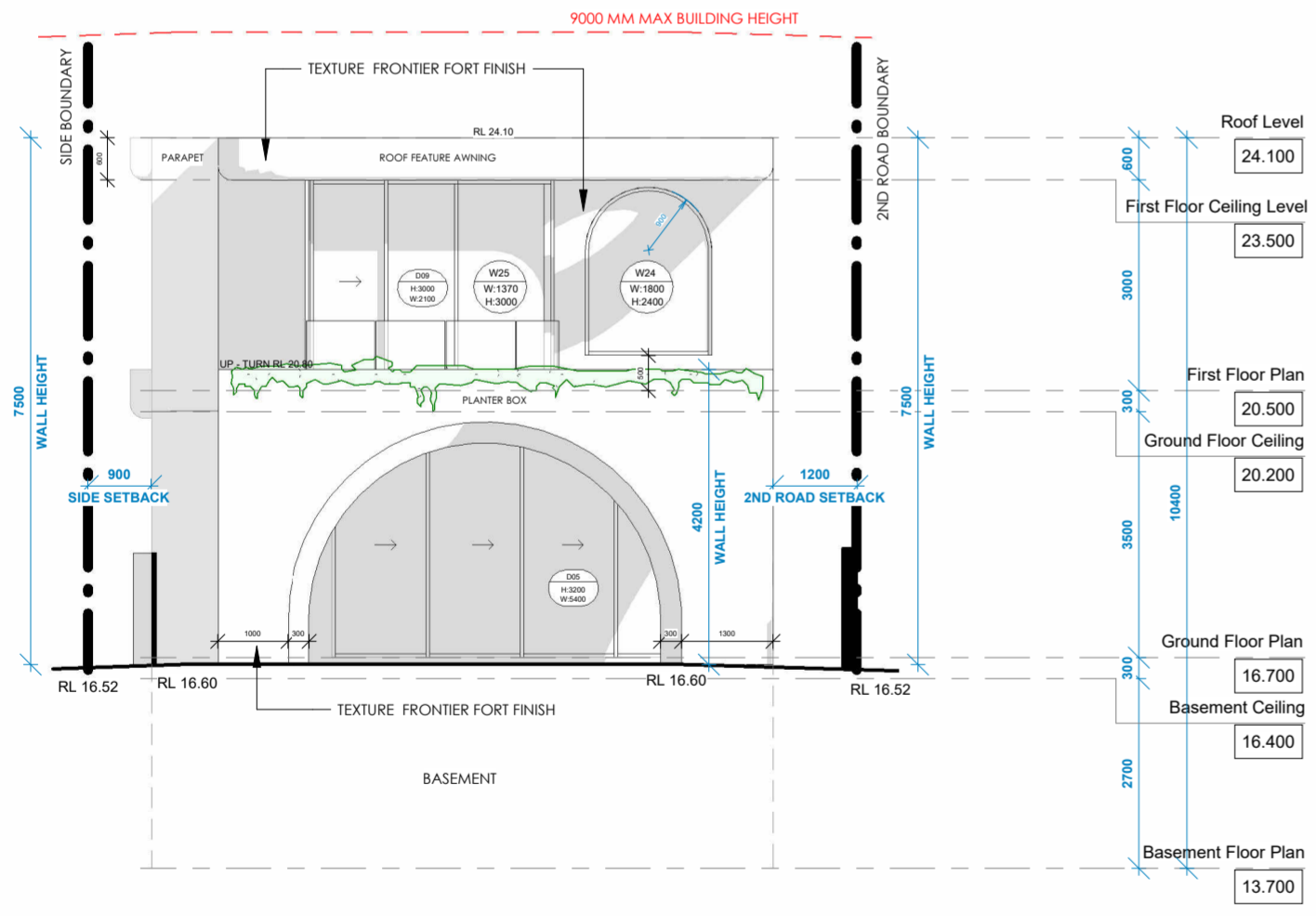
ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AF5 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
C	25.08.2025	W.P. MEETING REVIEW	
D	09.09.2025	FINAL	

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 4.10 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS
- WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH AMARA 1 & AMARA 6
- BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 1.1.3.4 OF THE NCC VOLUME TWO 2022
- WINDOW BALUSTRADES TO BE RECALLED ON ALL REQUIRED FINISHES TO COMPLY WITH BCA PART 10.03
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FIBRE TO BE SOLIDPROOF AND COMPLIED WITH CLAUSE 38.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1676.3.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS4584

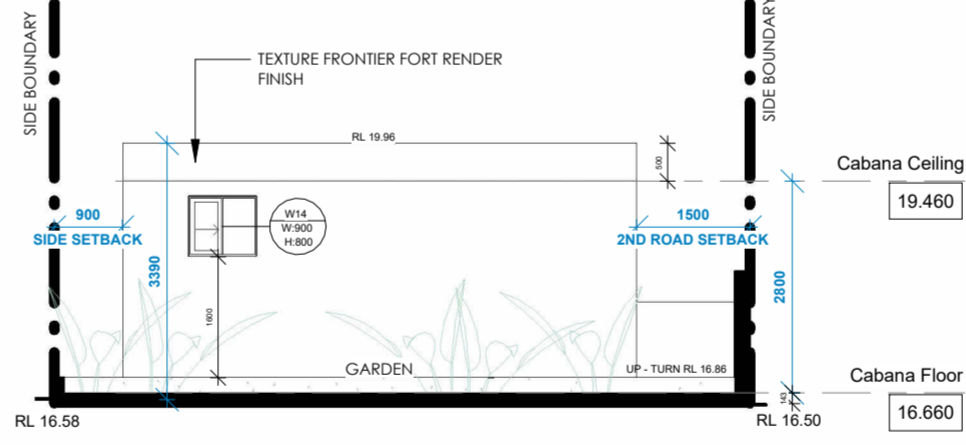
PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	ELEVATIONS 1
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 100 @ A2
Client: KARIM MAHMOUD		REVISION:	D	Drawing no	008
		DRAWN BY:	MJ	CHECKED BY:	AS



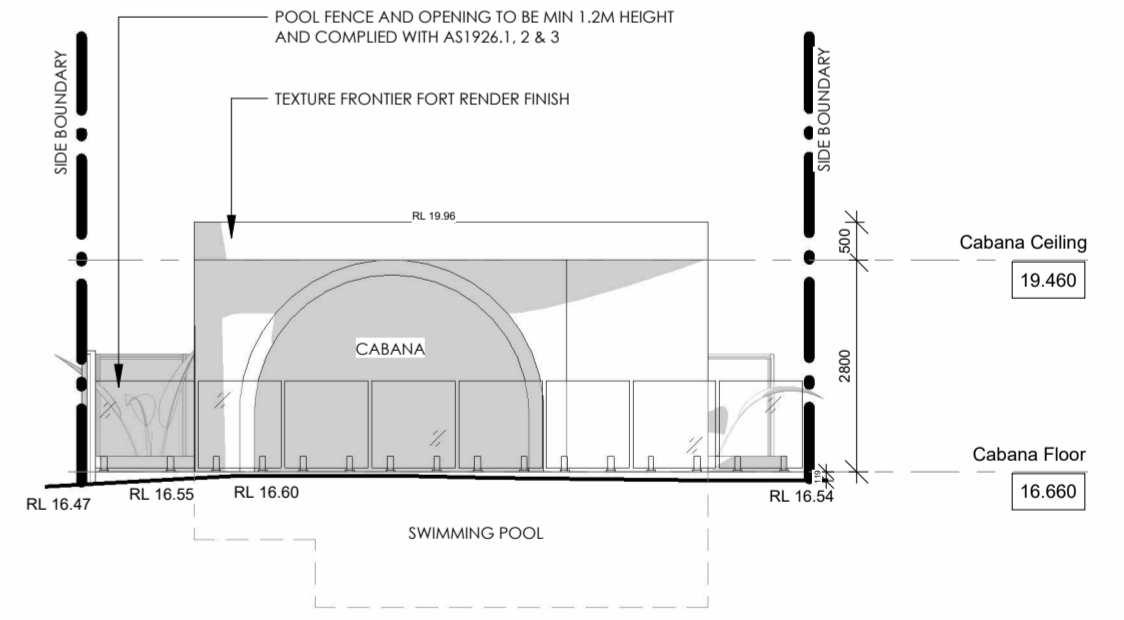
1 **Plimsoll Street South Elevation**
1 : 100



4 **West Rear Elevation**
1 : 100



2 **Cabana West Elevation**
1 : 100

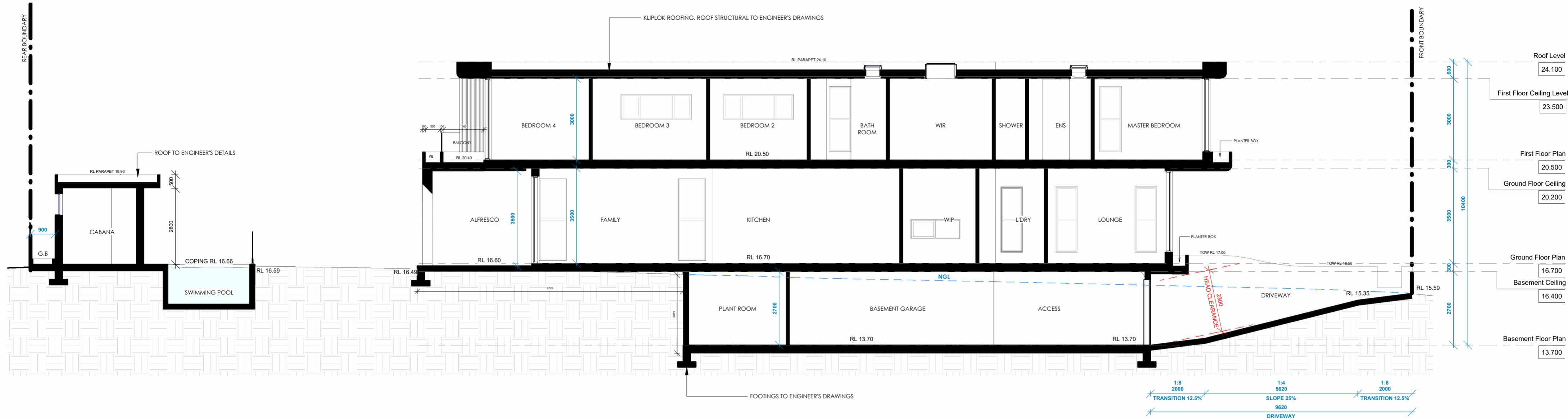


3 **Cabana East Elevation**
1 : 100

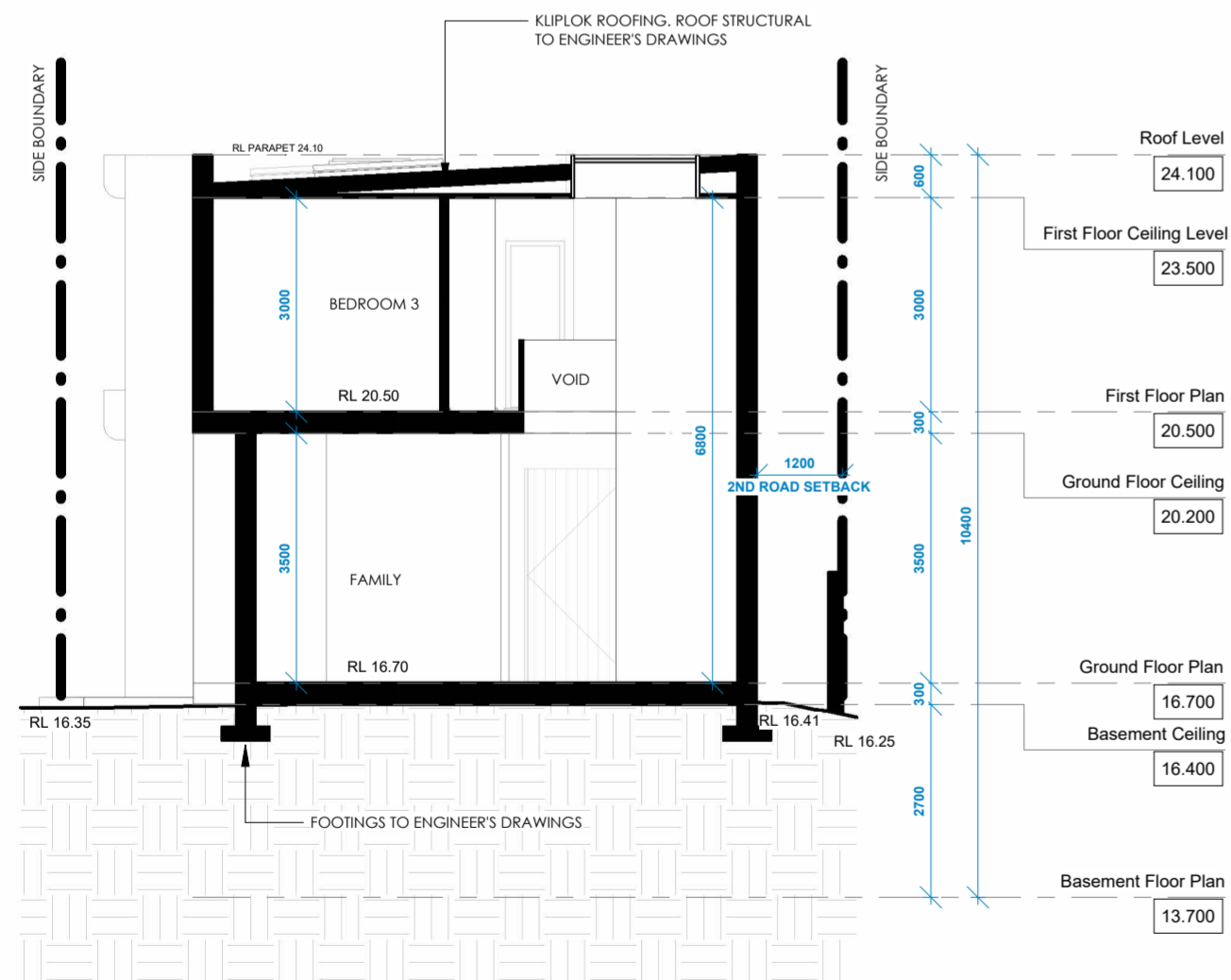
ISSUE NO.	DATE	REVISION	SPECIFICATIONS:	NOTES:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AFS - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE	- PARTY WALL TO COMPLY WITH FIRE RATED WALL 40/40/40 AS PER NCC 2022 - SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014 - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 1103 AS REQUIRED BY THE BASIX CERTIFICATE - WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS - WATERPROOFING FOR BALCONY AND TERRACE TO COMPLY WITH AMARA 1 & AMARA 4 - BALCONY INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022 - FLOOR FINISHES TO BE REVEALED ON ALL REQUIRED FINISHES TO COMPLY WITH BCA PART 1003 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3 - POOL FINISH TO BE BOUNDARY AND COMPLIED WITH CLAUSE 38.8.6 - BATHWATER TANK, HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIX CERTIFICATE - WATERPROOFING TO COMPLY WITH AS1629.3.1.2 - VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584 - WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS4584
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE	FIRST FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: SUSPENDED CONCRETE
C	25.08.2025	W.P. MEETING REVIEW		
D	09.09.2025	FINAL		

PROJECT NO.	DATE	REVISION:	DRAWN BY:	CHECKED BY:
03/2025	09.09.25	D	MJ	AS

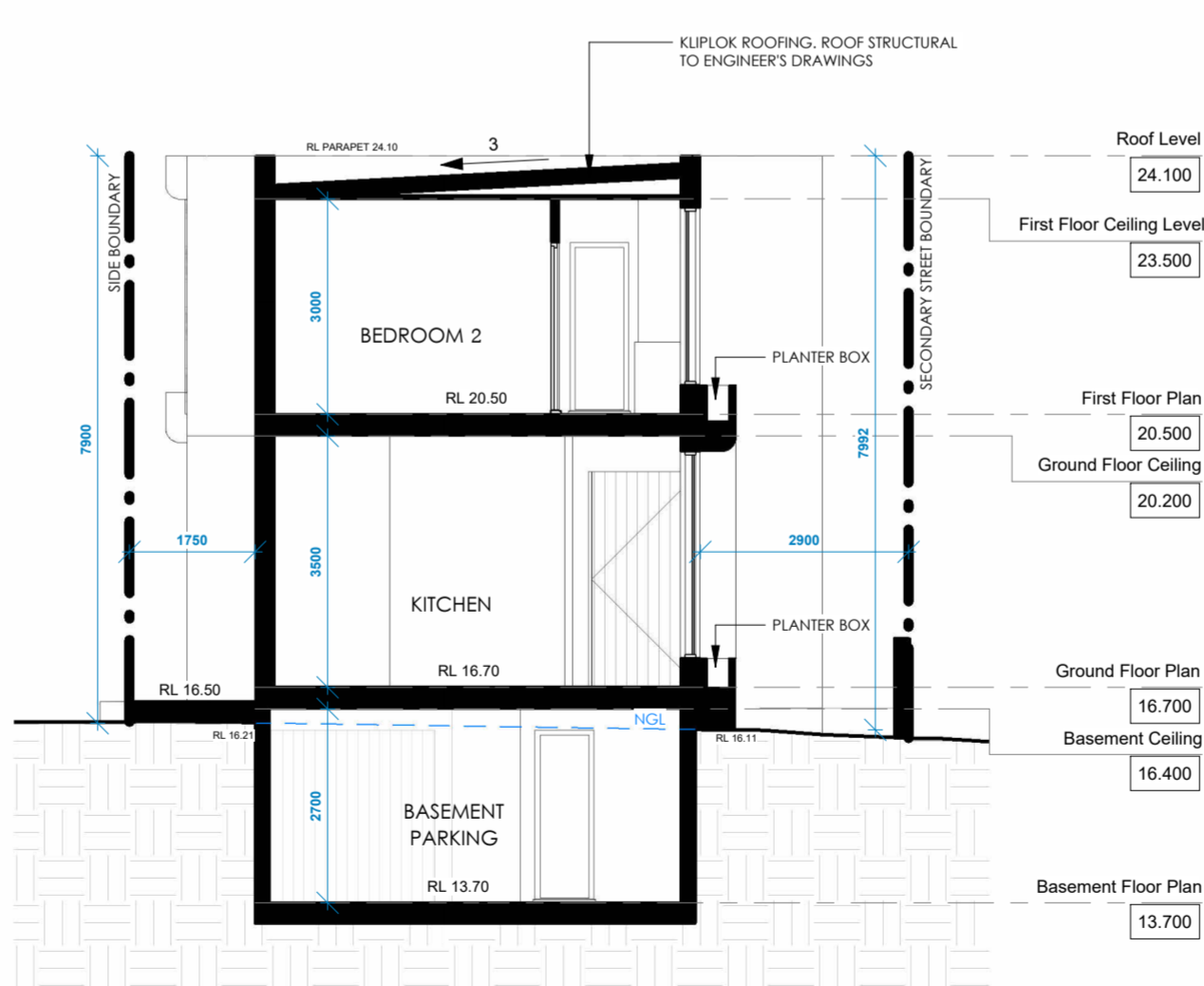
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PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA	1 : 100 @ A2	009



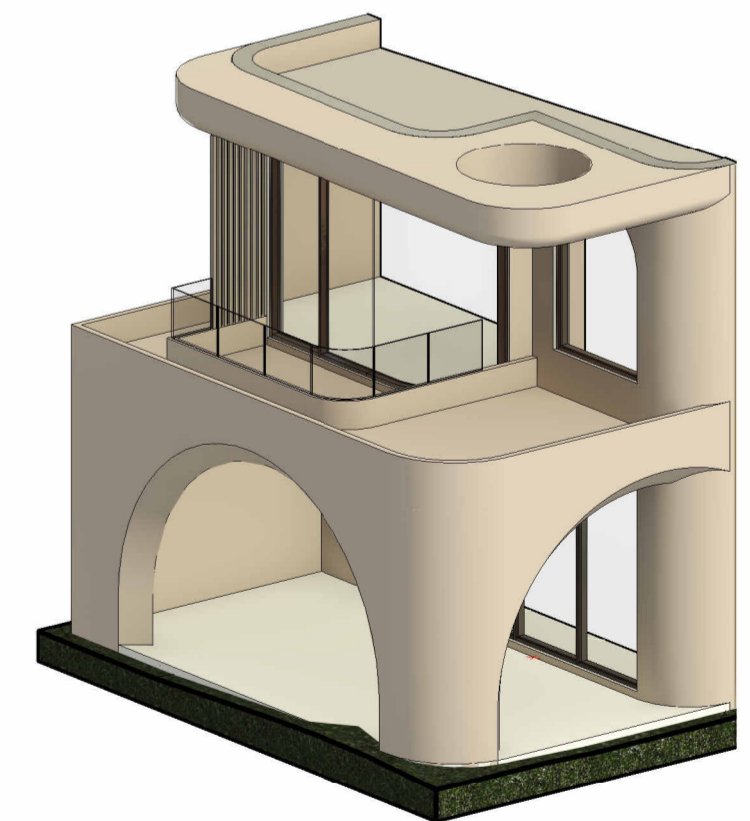
1 Long Section
1 : 100



2 Short Section
1 : 100



4 Short Section 2
1 : 100



3 Back View

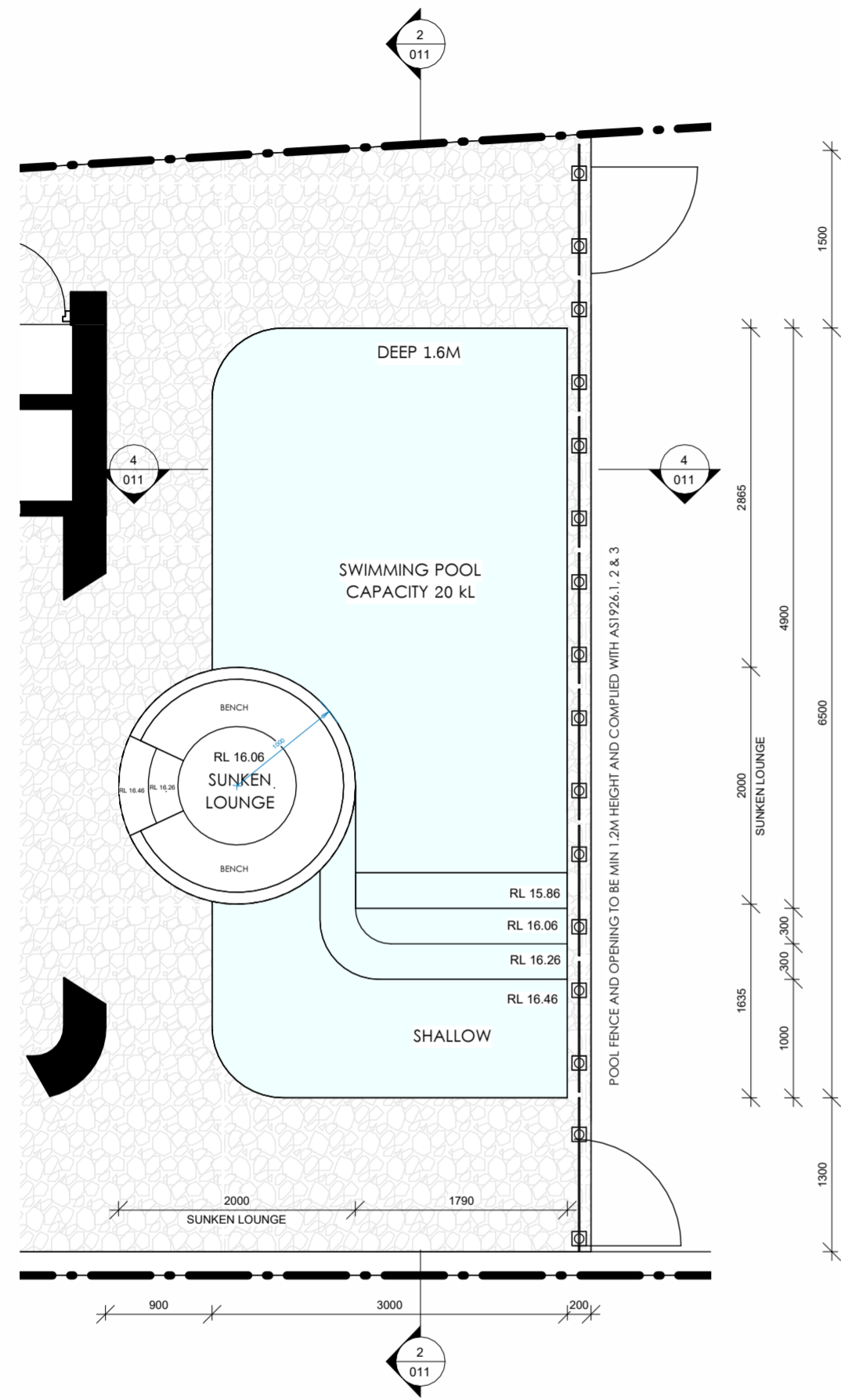
ISSUE NO.	DATE	REVISION
A	28.03.2025	ISSUE FOR DA ASSESSMENT
B	21.08.2025	AMENDMENTS 1
C	25.08.2025	W.P. MEETING REVIEW
D	09.09.2025	FINAL

SPECIFICATIONS:
BASEMENT FLOOR: - EXTERNAL WALL: ARTS - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE

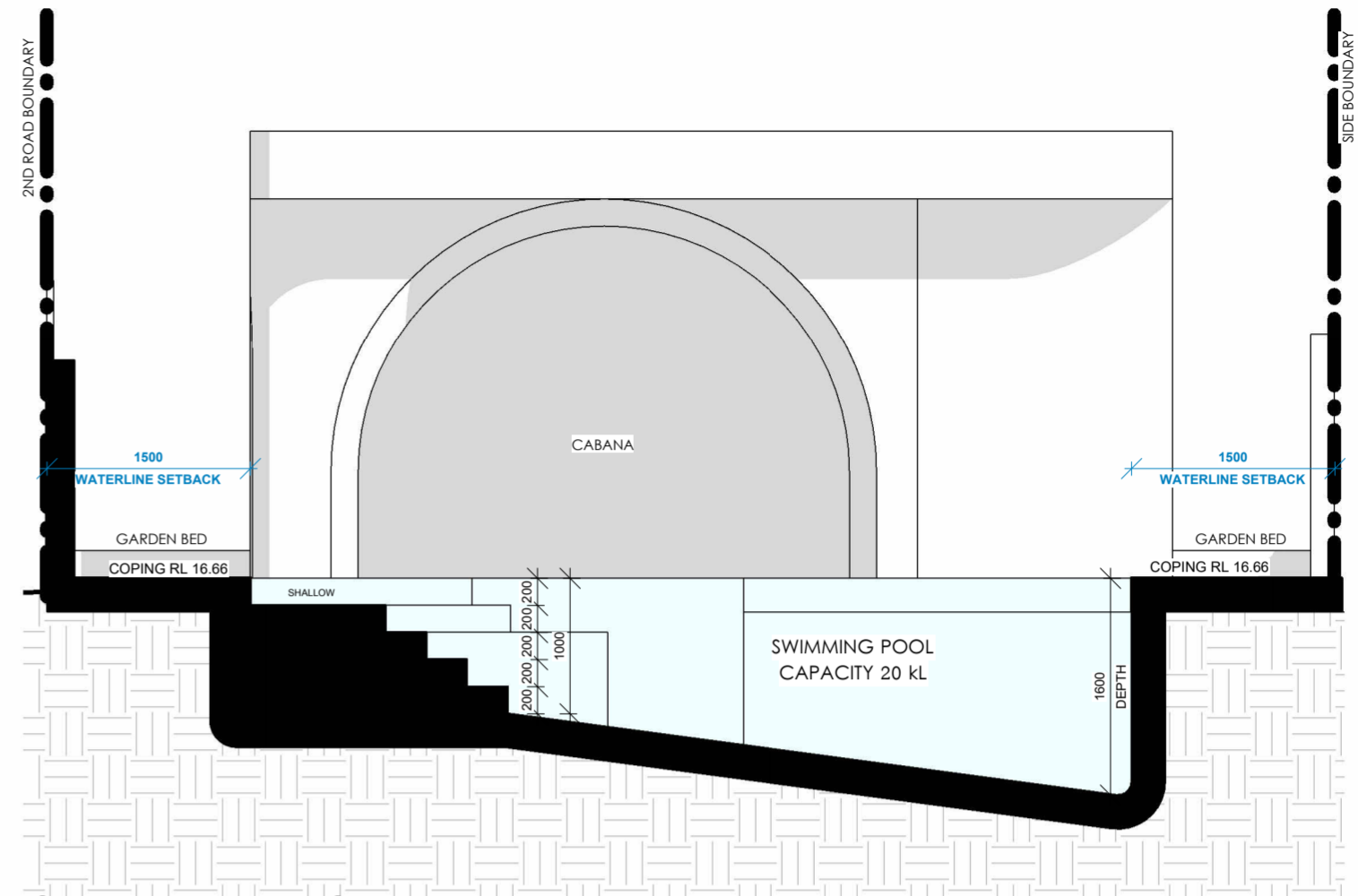
FIRST FLOOR
- EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: SUSPENDED CONCRETE
ROOF: - DWELLING ROOF - KLIPLOK - CABANA ROOF - CONCRETE

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.3.4 OF THE NCC VOLUME TWO 2022 & AS1376:2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMBINED WITH BGA PART 140 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS
- BALCONY FENCE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- BRICKWORK REINFORCEMENT TO BE REVEALED ON ALL REQUIRED FINISHES TO COMPLY WITH BCA PART 10.03
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FENCE TO BE SIGNPROOF AND COMPLY WITH CLAUSE 38.5B
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1547:2014 3.8.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS1547
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS1547

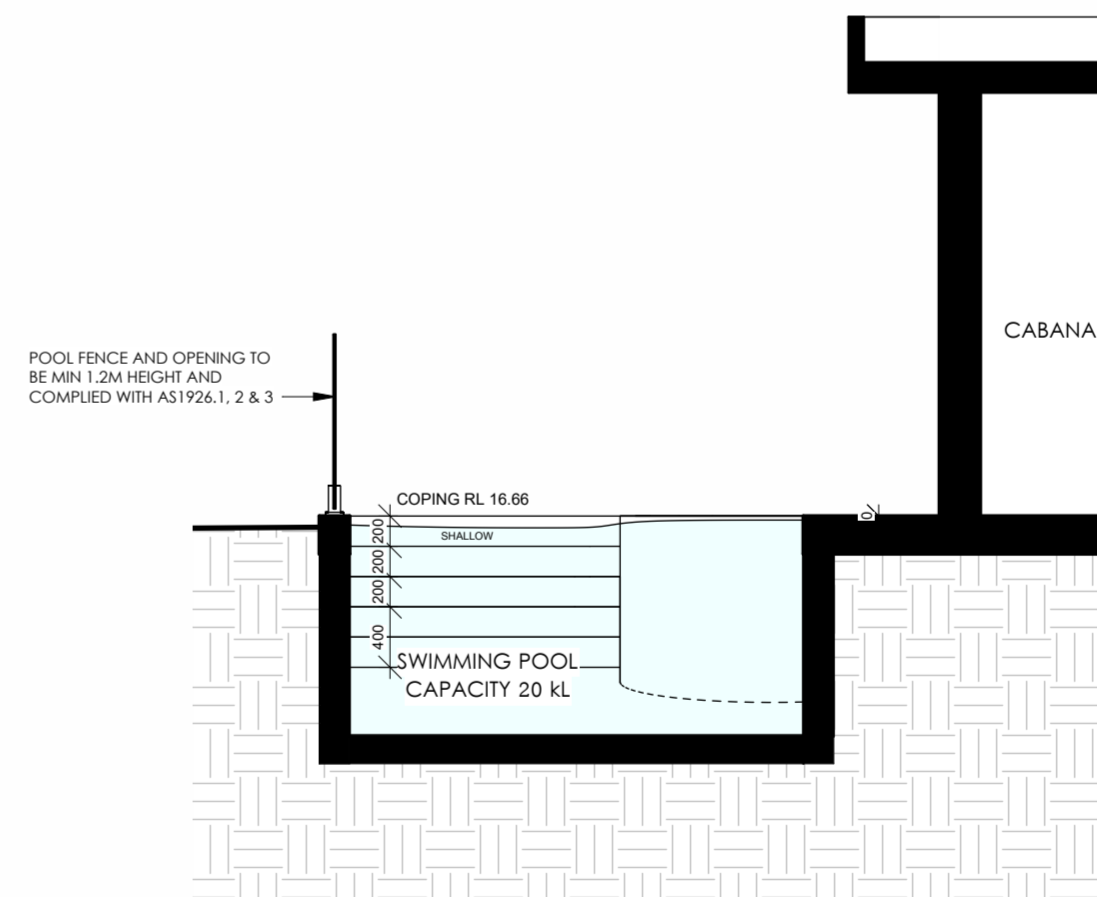
PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025 <th>DRAWING TITLE</th> <td>SECTIONS</td>	DRAWING TITLE	SECTIONS
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 100 @ A2
Client: KARIM MAHMOUD		REVISION:	D	Drawing no	010
		DRAWN BY:	MJ	CHECKED BY:	AS



1 Swimming Pool Plan
1 : 50

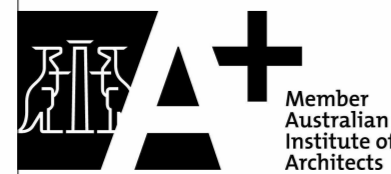


2 Swimming Pool Section 1
1 : 50

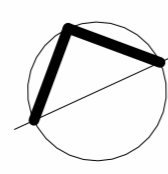


4 Swimming Pool Section 3
1 : 50

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E: info@dezcon.net
W: www.dezcon.com.au
A: 1/25 Kyle Parade, Kyle Bay
NSW 2221
ABN: 656636650084



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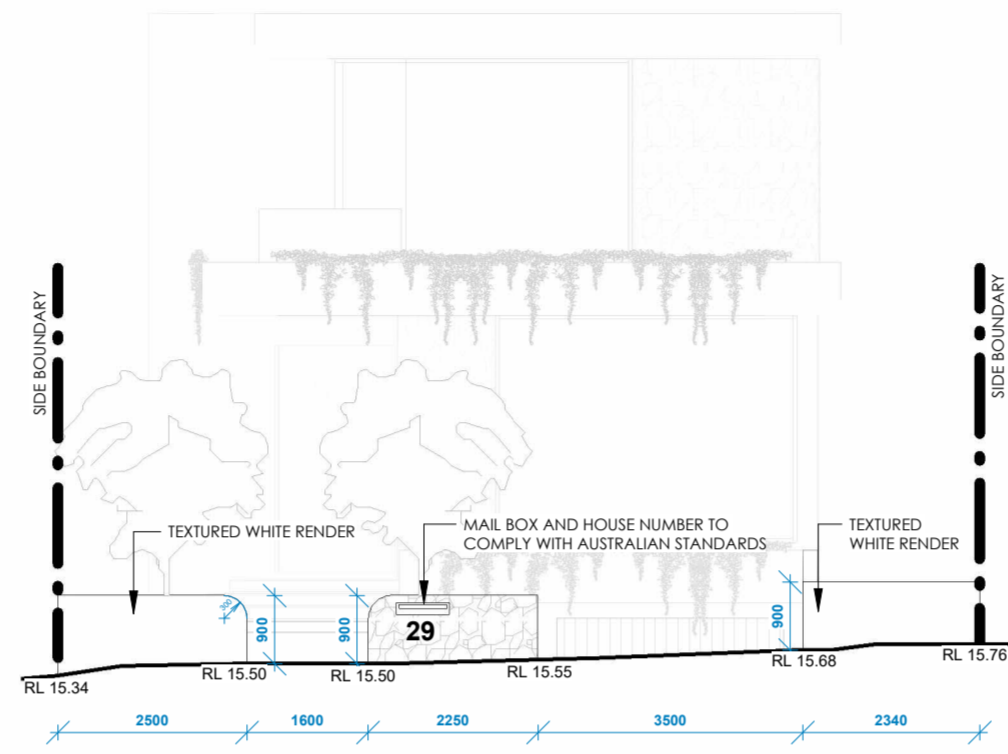
ISSUE NO.	DATE	REVISION
A	28.03.2025	ISSUE FOR DA ASSESSMENT
B	21.08.2025	AMENDMENTS 1
C	25.08.2025	W/P MEETING REVIEW
D	09.09.2025	FINAL

SPECIFICATIONS:
BASEMENT FLOOR:
- EXTERNAL WALL: AFS
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: CONCRETE
GROUND FLOOR:
- EXTERNAL WALL: DOUBLE BRICK 270MM
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: CONCRETE

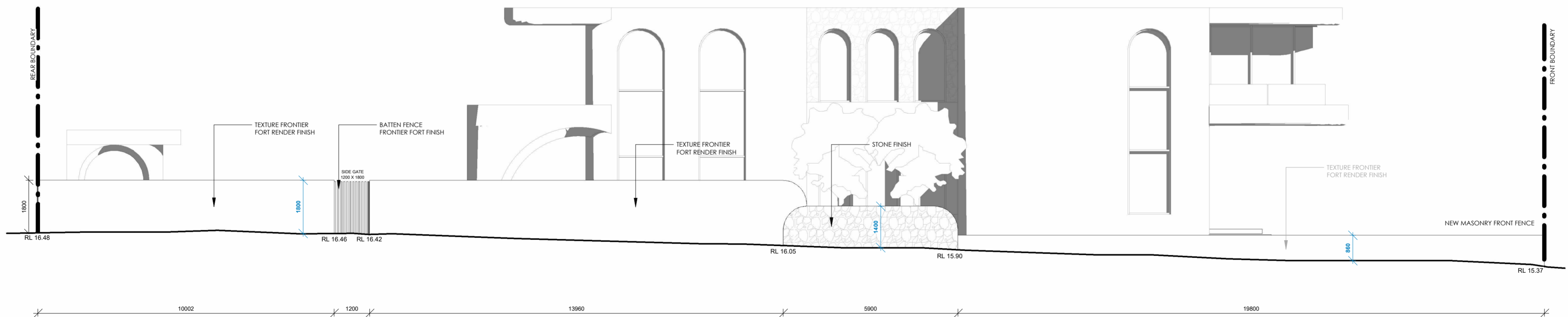
FIRST FLOOR
- EXTERNAL WALL: DOUBLE BRICK 270MM
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: SUSPENDED CONCRETE
ROOF:
- DWELLING ROOF - KLIPLOK
- CABANA ROOF - CONCRETE

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL 40/40/40 AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 4.4 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ASBC
- INSULATION TO BE INSTALLED IN ACCORDANCE WITH CLAUSE 1.1.3.4 OF THE NCC VOLUME TWO 2022
- RAILINGS TO BE INSTALLED IN ACCORDANCE WITH CLAUSE 1.1.3.4 OF THE NCC VOLUME TWO 2022
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FIBRE TO BE 800GR/M ² AND COMPLIED WITH CLAUSE 38.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS3740 & AS3740.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	SWIMMING POOL DETAILS
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 50 @ A2
Client		REVISION:	D	Drawing no	011
KARIM MAHMOUD		DRAWN BY:	MJ	CHECKED BY:	AS



2 The Boulevard Front Fence Elevation
1 : 100

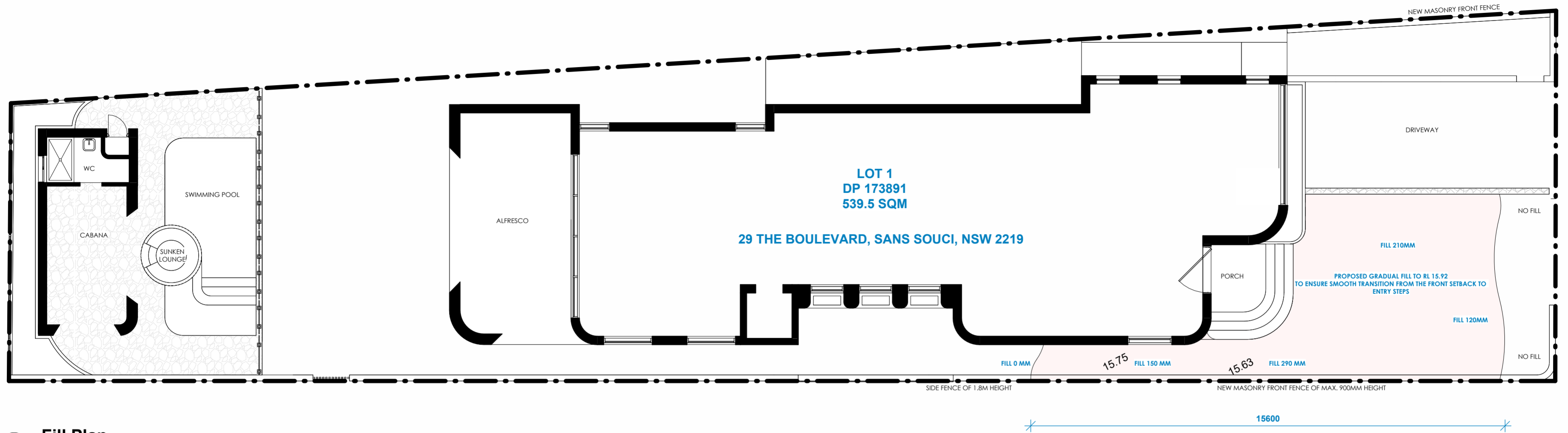


3 Plimsoll Road Elevation
1 : 100

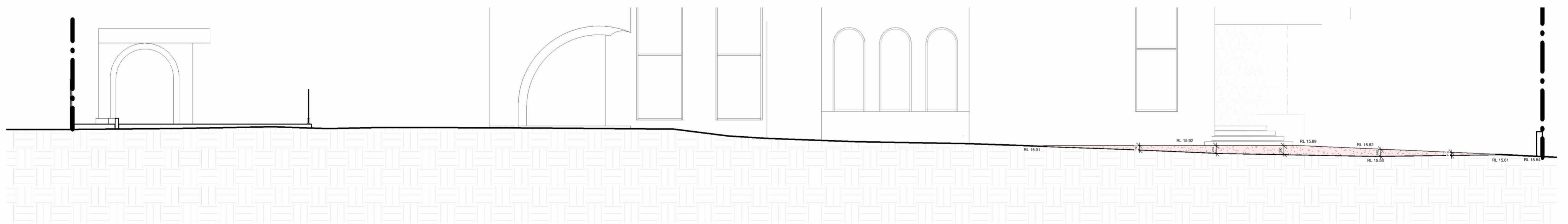
ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AFS - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	FIRST FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: SUSPENDED CONCRETE
C	25.08.2025	W.P. MEETING REVIEW	ROOF: - DWELLING ROOF - KLIPLOK - CABANA ROOF - CONCRETE
D	09.09.2025	FINAL	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL 40/40/40 AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.3.4 OF THE NCC VOLUME TWO 2022 & AS1786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 1103 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS1740 OR AS1740 AND PART 10.2 OF THE ABCB HOUSEhold PROVISIONS
- WATERPROOFING FOR HANDBOX AND BALCONY TO COMPLY WITH NATA 1.1 & NATA 4.
- RAILINGS INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 1.1.3.4 OF THE NCC VOLUME TWO 2022
- WINDOW RESTRICERS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART 1003
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FINISH TO BE SCUMPROOF AND COMPLIED WITH CLAUSE 38.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1628.3.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS1544
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS1544

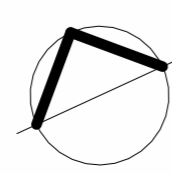
PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	FENCE ELEVATIONS
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 100 @ A2
Client		REVISION:	D	Drawing no	012
KARIM MAHMOUD		DRAWN BY:	MJ	CHECKED BY:	AS



1 Fill Plan
1 : 100



2 Fill Section
1 : 100



ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AS5 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
C	25.08.2025	W.P. MEETING REVIEW	
D	09.09.2025	FINAL	

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.3.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 11.4 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSEBUILT
- WATERPROOFING FOR TERRACE ROOF AND BALCONY TO COMPLY WITH AS4684.1 & AS4684.2
- RAILINGS INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 1.1.3.4 OF THE NCC VOLUME TWO 2022
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FIBRE TO BE SOLARPROOF AND COMPLY WITH CLAUSE 38.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1629.3.1.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	FILL PLAN
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 100 @ A2
Client		REVISION:	D	Drawing no	013
KARIM MAHMOUD		DRAWN BY:	MJ	CHECKED BY:	AS



ISSUE NO.	DATE	REVISION
A	28.03.2025	ISSUE FOR DA ASSESSMENT
B	21.08.2025	AMENDMENTS 1
C	25.08.2025	W.P. MEETING REVIEW
D	09.09.2025	FINAL

SPECIFICATIONS:

BASEMENT FLOOR:
- EXTERNAL WALL: AF5
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: CONCRETE

GROUND FLOOR:
- EXTERNAL WALL: DOUBLE BRICK 270MM
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: CONCRETE

FIRST FLOOR:
- EXTERNAL WALL: DOUBLE BRICK 270MM
- INTERNAL WALL: SINGLE BRICK 110MM
- FLOOR: SUSPENDED CONCRETE

ROOF:
- DWELLING ROOF - KLIPLOK
- CABANA ROOF - CONCRETE

NOTES:

- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS1786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLETED WITH BCA PART 1003 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS1740 OR AS1740 AND PART 10.2 OF THE ABCB BUILDING REGULATIONS
- WATERPROOFING FOR PLASTER BOARDS AND BALCONY TO COMPLY WITH AMARA 1 & AMARA 2
- BALCONY INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FENCE TO BE SECUREPROOF AND COMPLIED WITH CLAUSE 38.5B
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1742 & AS1743
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS1554
- WHERE A PROPOSED HOBB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS1554

**PROPOSED TWO STOREY DWELLING WITH
BASEMENT, SWIMMING POOL & CABANA**

29 THE BOULEVARD, SANS SOUCI NSW 2219

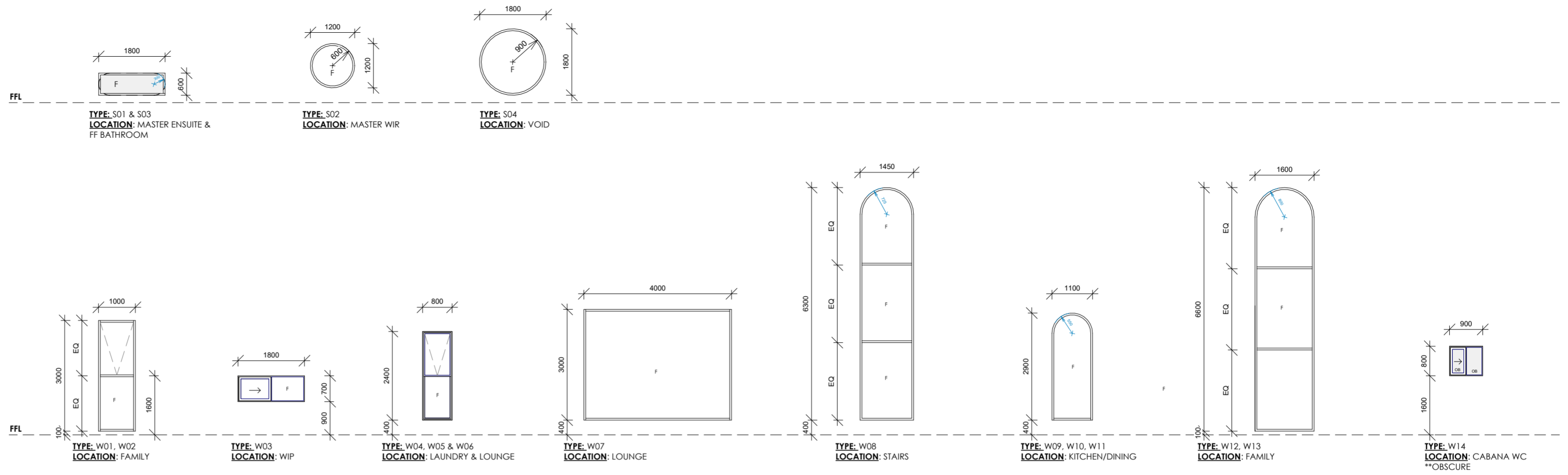
Client: KARIM MAHMOUD

PROJECT NO.: 03/2025
DATE: 09.09.25
REVISION: D
DRAWN BY: MJ
CHECKED BY: AS

DRAWING TITLE: 3D ELEVATION VIEWS
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Drawing no: 014

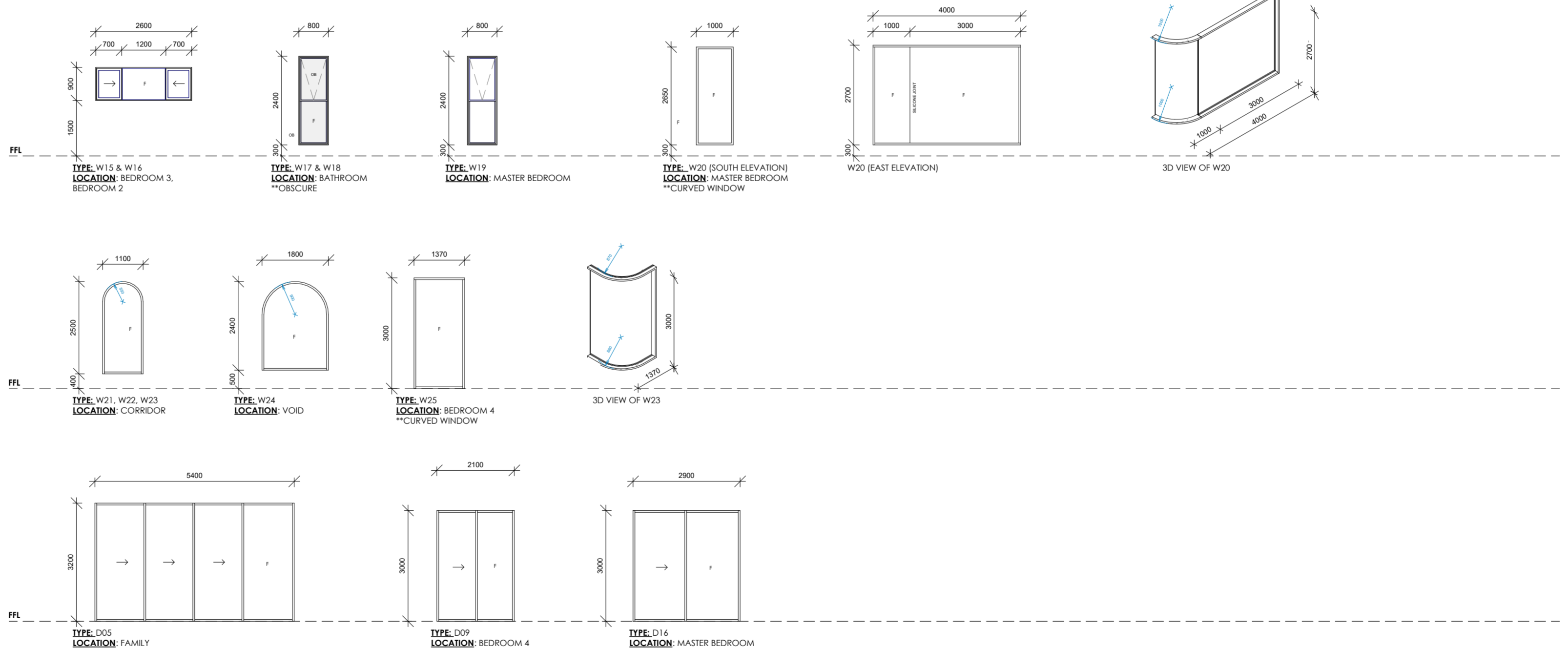
Window Schedule					
Mark	Width	Height	Sill Height	Comments	Glazing
S01	600	1800		Skylight	Clear
S02	1200	1200		Skylight	Clear
S03	600	1800		Skylight	Clear
S04	1800	1800		Skylight	Clear
W01	800	3000	100	Awning Window	Clear
W02	800	3000	100	Awning Window	Clear
W03	1800	700	900	Sliding Window	
W04	800	2400	400	Awning Window	Obscure
W05	800	2400	400	Awning Window	Clear
W06	800	2400	400	Awning Window	Clear
W07	4000	3000	400	Fixed	Clear
W08	1450	6300	400	Fixed	Clear
W09	1100	2900	400	Fixed	Clear
W10	1100	2900	400	Fixed	Clear
W11	1100	2900	400	Fixed	Clear
W12	1600	6600	100	Fixed	Clear
W13	1600	6600	100	Fixed	Clear
W14	900	800	1800	Sliding Window	Obscure
W15	2600	900	1500	Three Panel Sliding Window	Clear
W16	2600	900	1500	Three Panel Sliding Window	Clear
W17	800	2400	300	Awning Window Double Hung	Obscure
W18	800	2400	300	Awning Window Double Hung	Obscure
W19	800	2400	300	Awning Window Double Hung	Clear
W20	4000	2700	300	Fixed	Clear
W21	1100	2500	400	Fixed	Clear
W22	1100	2500	400	Fixed	Clear
W23	1100	2500	400	Fixed	Clear
W24	1800	2400	500	Fixed	Clear
W25	1370	3000	0	Fixed	Clear

GLAZING SCHEDULE



Door Schedule				
Mark	Height	Width	Description	Finish
D01	2400	3000	Garage Roller Door	Timber Cladding
D02	2400	820	Flush Door	Solid Timber
D03	2400	820	Flush Door	Solid Timber
D04	3000	1500	Pivot Door	Timber Cladding
D05	3200	5400	4 Panel Sliding Door	Glazing
D06	2700	820	Obscure Flush Door	Solid Timber
D07	2700	820	Obscure Flush Door	Solid Timber
D08	2400	720	Flush Door	Solid Timber
D09	3000	2100	2 Panel Sliding Door	Glazing
D10	2400	820	Flush Door	Solid Timber
D11	2400	820	Flush Door	Solid Timber
D12	2400	820	Flush Door	Solid Timber
D13	2400	820	Flush Door	Solid Timber
D14	2400	820	Flush Door	Solid Timber
D15	2400	820	Flush Door	Solid Timber
D16	3000	2900	2 Panel Sliding Door	Glazing
D17	2400	720	Flush Door	Solid Timber

Grand total: 17



LEGEND

- F FIXED PANEL
- OB OBSOURE GLASS
- LV LOUVRE WINDOW
- SLIDING PANEL
- FLUSH PANEL
- AWNING PANEL

GENERAL NOTES:

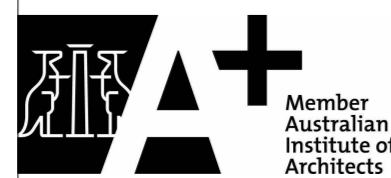
- EXACT OPENING & WINDOW SIZE TO MANUFACTURERS SPECIFICATIONS AND DETAILS.
- GLAZING & FRAMING TO COMPLY WITH BCA & RELEVANT AUSTRALIAN STANDARDS
- INSTALLATION TO MANUFACTURER'S RECOMMENDATIONS
- TO BE READ IN CONJUNCTIONS WITH PLANS
- COMPLIANCE CERTIFICATES TO BE PROVIDED BY WINDOWS MANUFACTURER.
- TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE.
- ALL WINDOW FRAME SIZES, FLYSCREENS & GLASS TYPE TO BE CONFIRMED BY THE OWNER OR BUILDER.

- CHECK ALL WINDOW & DOOR OPENINGS ON SITE



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W: www.dezcon.com.au
A: 1/25 Kyle Parade, Kyle Bay
NSW 2221
ABN: 656636650084

Nominated Architect:
Amal Saleemeh
NSW Reg. 131330



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ISSUE NO.	DATE	REVISION	SPECIFICATIONS:	NOTES:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AF5 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE	- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022 - SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS1768.2014 - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 140 AS REQUIRED BY THE BASIX CERTIFICATE - WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSE PREVENTION - WATERPROOFING FOR HAMMER BOLA AND BALCONY TO COMPLY WITH MANAGER & BASIX - RAILING/RAIL INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 1.1.3.4 OF THE NCC VOLUME TWO 2022 - WINDOW BLINDS/SCREENS TO BE INSTALLED ON ALL WINDOWS TO COMPLY WITH BCA PART 10.03 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3 - POOL FRAMES TO BE ICEBROOK AND COMPLIED WITH CLAUSE 38.5.6 - BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITONER TO BE INSTALLED AS PER BASIX CERTIFICATE - WATERPROOFING TO COMPLY WITH AS1654.3.1.2 - VERANDAH, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS1654 - WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS1654
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE	FIRST FLOOR - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: SUSPENDED CONCRETE
C	25.08.2025	W/P MEETING REVIEW		ROOF - DWELLING ROOF - KLIPLOK - CABANA ROOF - CONCRETE
D	09.09.2025	FINAL		

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA	PROJECT NO. 03/2025	DRAWING TITLE WINDOW & DOOR SCHEDULE
29 THE BOULEVARD, SANS SOUCI NSW 2219	DATE: 09.09.25	SCALE: 1 : 100 @ A2
Client: KARIM MAHMOUD	REVISION: D	Drawing no 015
DRAWN BY: MJ	CHECKED BY: AS	



TEXTURED RENDER FINISH
DULUX - FRONTIER FORT

STONE FINISH

BRONZE ALUMINIUM FRAMES
FOR WINDOWS AND DOORS

RENDERED TEXTURE
DULUX - FRONTIER FORT

RENDERED TEXTURE
DULUX - FRONTIER FORT

BRONZE ALUMINIUM FRAMES
FOR WINDOWS AND DOORS

STONE CLADDING

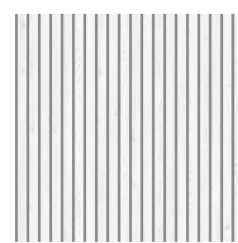
RENDERED TEXTURE
PLANTER BOX
DULUX - FRONTIER FORT

ALUMINIUM CLADDING FOR
GARAGE DOOR OR EQUIVALENT
TO MATCH DULUX RENDER FINISH

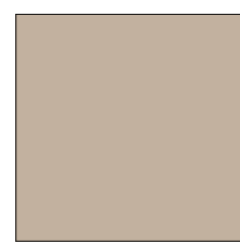
STONE FINISH

SCHEDULE OF FINISHES

SUPPLIER: ALU SELEKTA
SQUARE BATTENS: 50 x 50 MM
COLOUR: WHITE



TEXTURED RENDER FINISH
COLOUR: FRONTIER FORT
DULUX



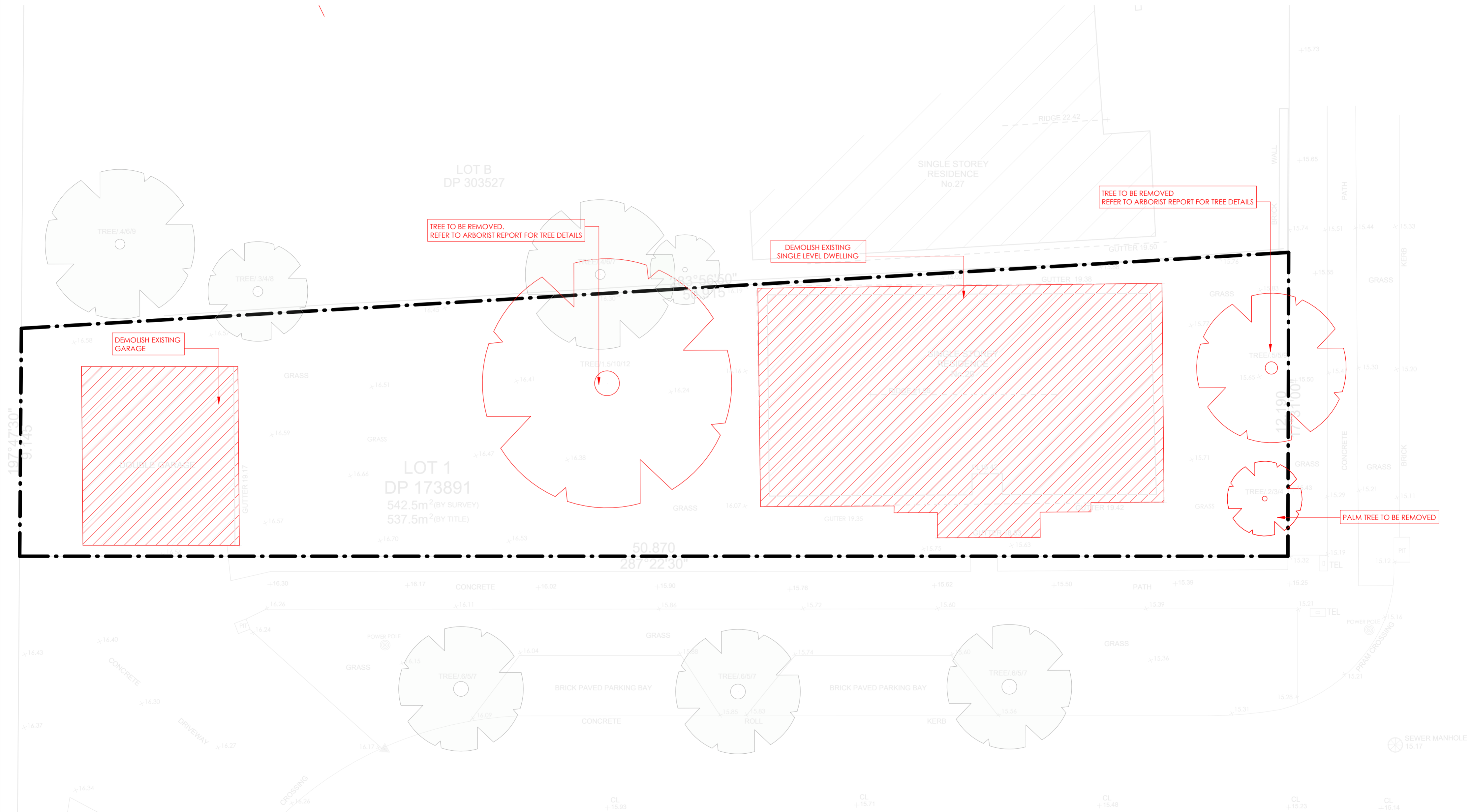
ECO OUTDOOR WILTON FREE-FORM



ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AF5 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
C	25.08.2025	W.P. MEETING REVIEW	
D	09.09.2025	FINAL	

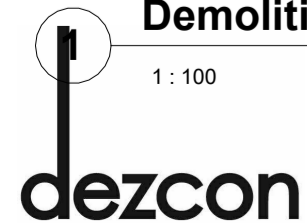
NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022 - SMOKE ALARMS TO BE COMPLIED CLAUSE 9.3.4 OF THE NCC VOLUME TWO 2022 & AS1766.2014 - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 1103 AS REQUIRED BY THE BASIX CERTIFICATE - WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB BUILDING CODE OF PRACTICE - WATERPROOFING FOR PLANTER BOX AND BALCONY TO COMPLY WITH AS4641 & AS4642 - BALCONY INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022 - POOL FENCING TO BE INSTALLED ON ALL REQUIRED SIDINGS TO COMPLY WITH BCA PART 1003 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3 - POOL FINISH TO BE SCANDIUM AND COMPLY WITH CLAUSE 38.5.6 - BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE - WATERPROOFING TO COMPLY WITH AS1626.3.1.2 - VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584 - WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS1654

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	SCHEDULE OF COLOURS AND FINISHES
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 100 @ A2
Client		REVISION:	D	Drawing no	016
KARIM MAHMOUD		DRAWN BY:	MJ	CHECKED BY:	AS

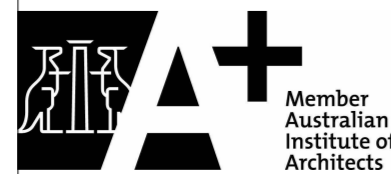


Demolition Plan

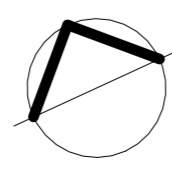
1 : 100



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 A: 1/25 Kyle Parade, Kyle Bay
 NSW 2221
 ABN: 656636650084
 Nominated Architect:
 Amani Salameh
 NSW Reg. 13130



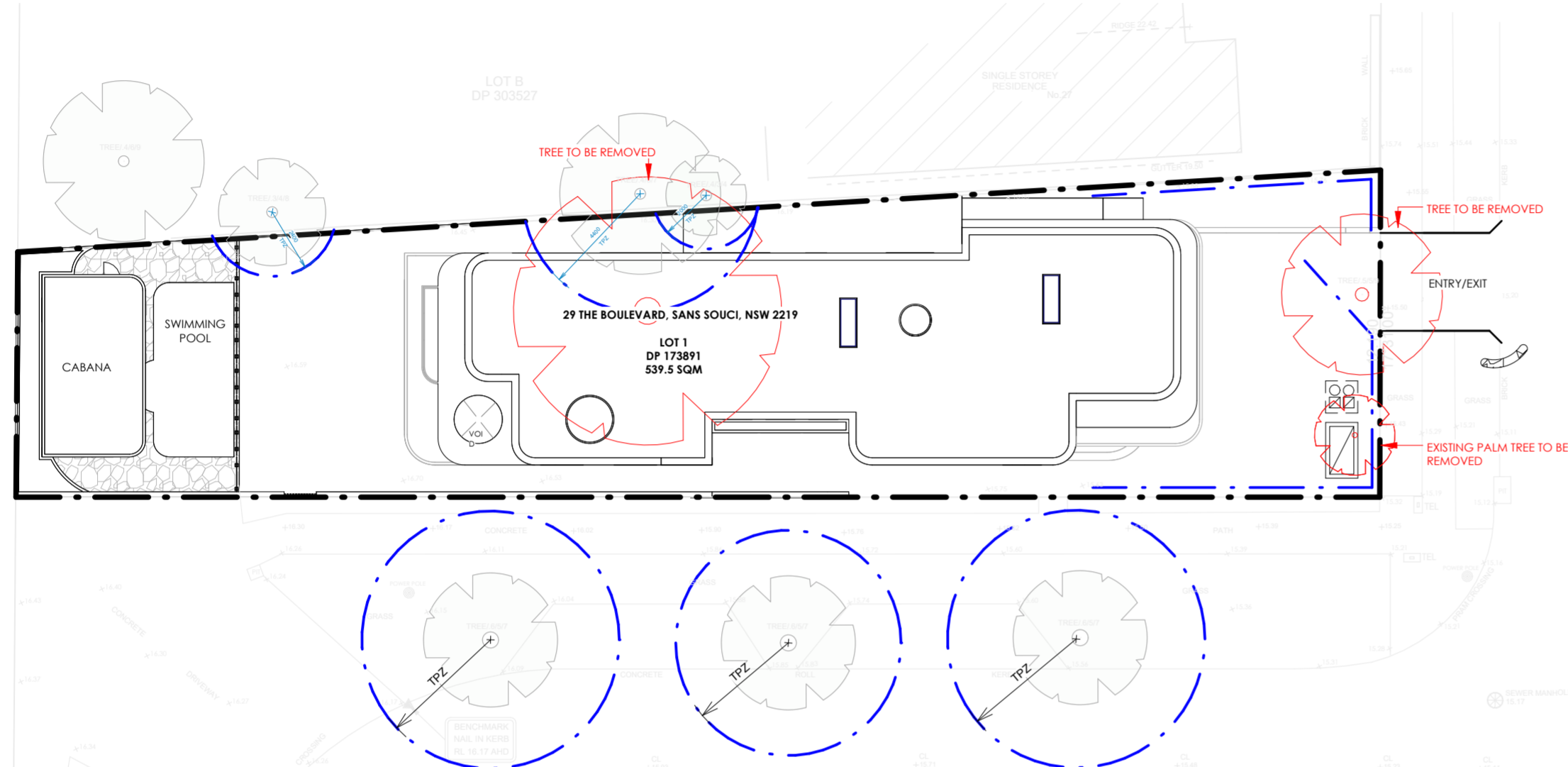
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ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AS1 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	FIRST FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: SUSPENDED CONCRETE
C	25.08.2025	W/P. MEETING REVIEW	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
D	09.09.2025	FINAL	ROOF: - DWELLING ROOF - KLIPLOK - CABANA ROOF - CONCRETE

NOTES:
 - PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
 - SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS1376:2014
 - ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 1103 AS REQUIRED BY THE BASIX CERTIFICATE
 - WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS1740 OR AS1740 AND PART 102 OF THE ABCB BUILDING CODE OF PRACTICE
 - BALUSTRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 1.1.3.4 OF THE NCC VOLUME TWO 2022
 - BRICKWORK RESTRICTIONS TO BE RELEASD ON ALL REQUIRED FINISHES TO COMPLY WITH BCA PART 1003
 - POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
 - POOL FENCE TO BE SQUARE AND COMPLIED WITH CLAUSE 3.8.6
 - BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITONER TO BE INSTALLED AS PER BASIX CERTIFICATE
 - WATERPROOFING TO COMPLY WITH AS1628:3.8.1.2
 - VERANDA/DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS1544
 - WHERE A PROPOSED HOBB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS1544

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	DEMOLITION PLAN
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 100 @ A2
Client: KARIM MAHMOUD		REVISION:	D	Drawing no	017
		DRAWN BY:	MJ	CHECKED BY:	AS



1 Sediment Control Plan

1 : 200

SEDIMENT CONTROL
 The sediment controls need to be in place prior to the commencement of building works. Remember that the sediment controls will need to be altered as construction occurs and the sites drainage patterns change.

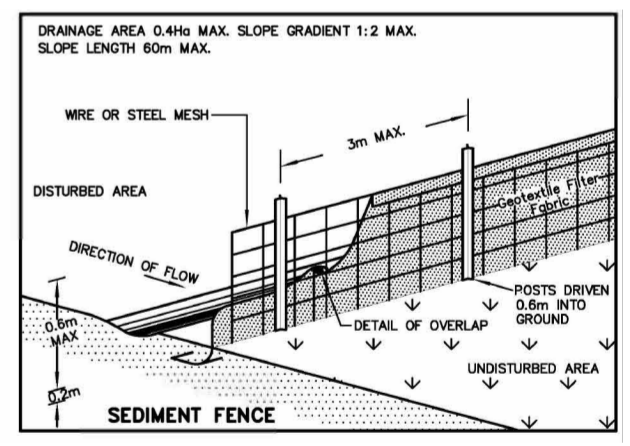
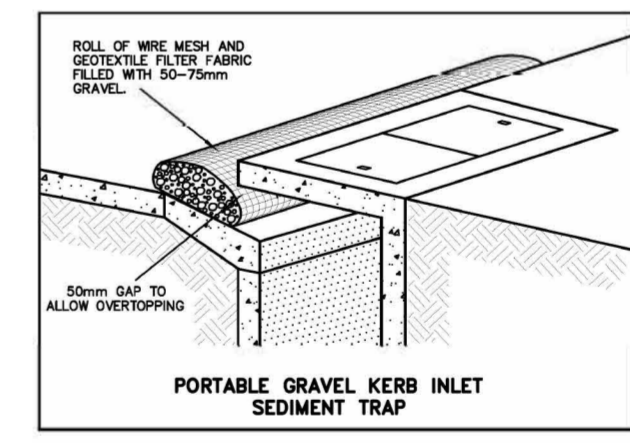
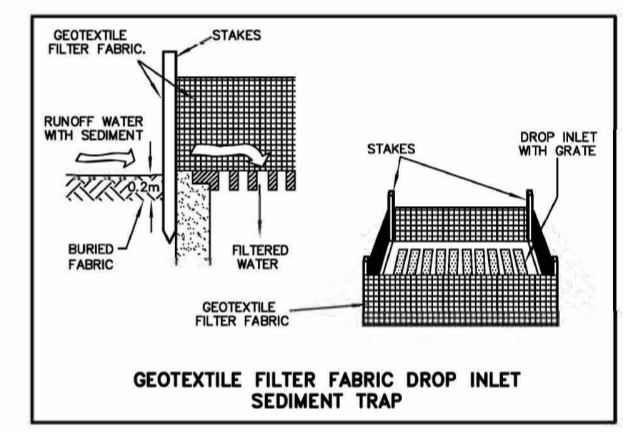
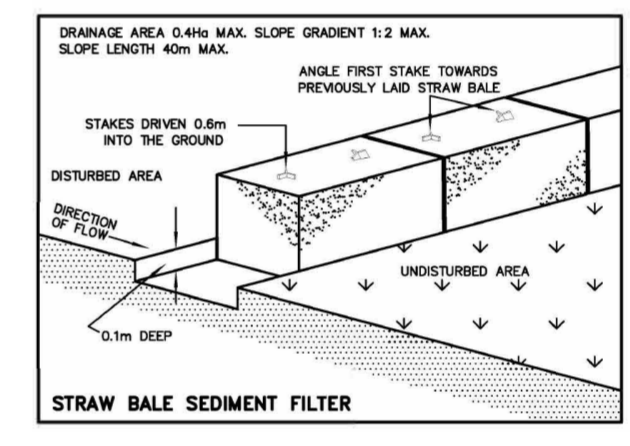
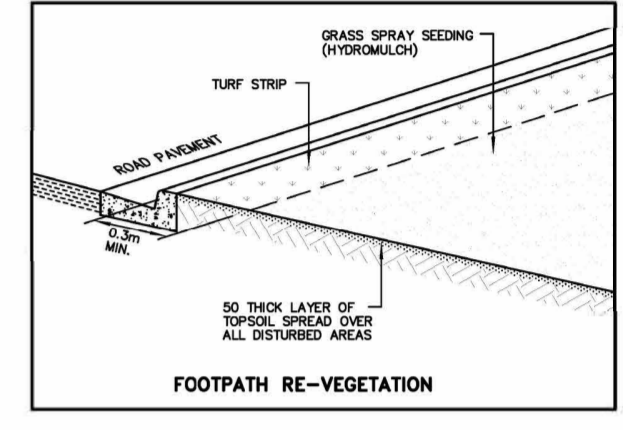
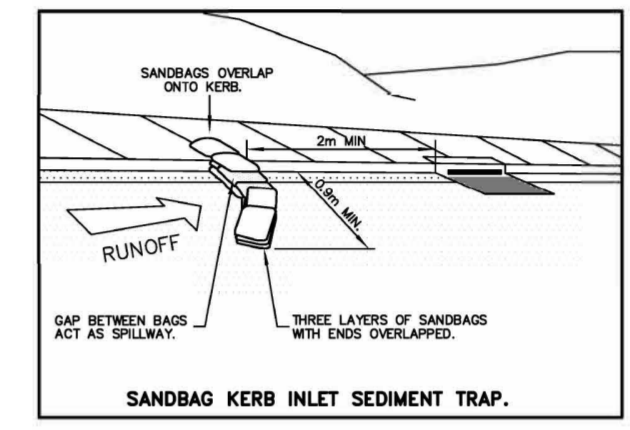
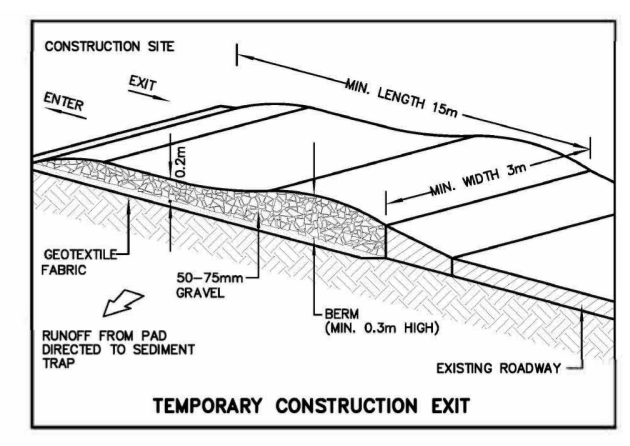
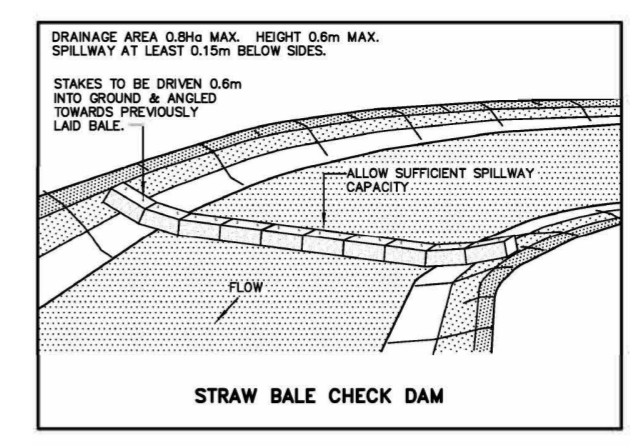
DUST MANAGEMENT
 Good sediment management can alleviate most of the dust problem. Some of the steps that can be taken to minimise dust include:
 Maintain as much vegetation as possible
 Cover materials and stockpiles
 Ensure that all equipment has dust suppressors fitted
 Dampen the site slightly during excavation or when dust is being raised. Be careful not to wet it to the point of creating polluted runoff.
 Ensure that vehicles only leave via the stabilised site access
 Minimise the amount of the site that is disturbed at any one time

WASTE MANAGEMENT CONTROL
 Skip bins for wastes and recycling should be covered to prevent wind blowing waste off-site but also to prevent rain water from entering and being contaminated by the wastes. Cover the skip any time the site is unattended, over night, at weekends and when it is wet or windy. Provide continuous dust protection for any chutes and conveyors used to load the skip from roof or upper storeys. If skip bins are stored in public areas, notify neighbours and Council inspectors and ask for their help in stopping illegal use.

VEGETATION CONTROL
 Install the 'no go' areas by fencing off these zones. Place red tape or other bright materials around trees and plants to be kept. Ensure staff and subcontractors know not to enter. As you finish earthworks in one part of the site, revegetate it or plant temporary crops like rye to prevent erosion.
 Revegetation should not be expected to provide complete erosion protection for a soil that is not stable due to its structure, texture or excessive slope. Erosion control matting should be used for revegetation areas on excessive slopes to provide interim protection until the vegetation cover can be fully established.

STOCK PILES
 Locate stockpile away from stormwater flow paths, roads and hazard areas - ideally at least 5m away.
 Place on a level area as a low, flat, elongated mound. Where there is sufficient area topsoil stockpiles shall be less than 2m in height.
 Construct an earth bank on the upslope side to divert run off around the stockpile and a sediment fence 1 to 2 m downslope of the stockpile or sand bag, gravel sausage. Stockpiles should be covered during windy conditions, rain or unattended site periods.
 Once the roof has been installed on the frame, move stockpiles inside.

WASH BAY
 The wash down area should have sediment controls around it and be large enough to hold all waste water generated. It should be clearly signposted to alert subcontractors and staff of their responsibilities. Minimise the amount of waste water generated by:
 Sweeping excess dirt and mud off equipment prior to washing.
 With Paint wastes- Spin the rollers and brushes to remove excess paint and return as much as possible to the original container for reuse. For water based paints- wash brushes with small amounts of water over newspaper. This will let the water soak through into the ground and keep the paint residue on the paper. The paper can then be placed in a solid waste bin or taken to a licensed solid waste transfer station. It is illegal to let paint and other liquid wastes contaminate the soil.
 For oil based paints- wash equipment in a series of solvent baths until clean. The solvent can be reused until it becomes saturated with paint. Solvent should be stored in air tight tins to prevent evaporation and disposed of to a licenced solid waste transfer station. It can not be placed in the bin or on the ground.



- LEGEND**
- GEOTEXTILE FABRIC FILLED WITH GRAVEL
 - SEDIMENT CONTROL & SAFETY SILT FENCE
 - DRIVEWAY HARDWOOD CROSSING
 - SKIP BIN
 - STOCKPILES

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ISSUE NO.	DATE	REVISION
A	28.03.2025	ISSUE FOR DA ASSESSMENT
B	21.08.2025	AMENDMENTS 1
C	25.08.2025	W/P MEETING REVIEW
D	09.09.2025	FINAL

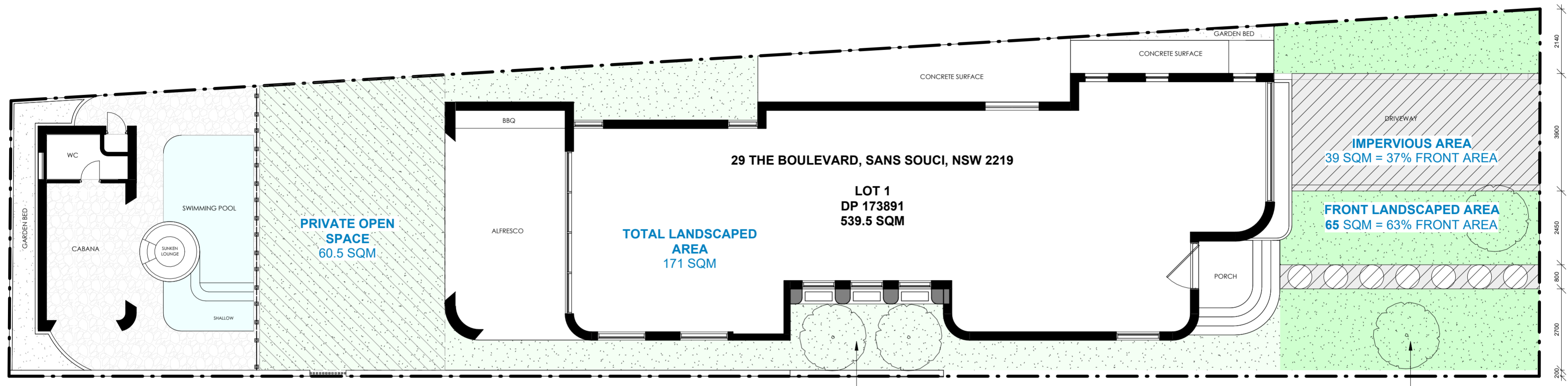
SPECIFICATIONS:
BASEMENT FLOOR: - EXTERNAL WALL: AF5 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE

FIRST FLOOR
- EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: SUSPENDED CONCRETE
ROOF
- DWELLING ROOF - KLIPLOK - CABANA ROOF - CONCRETE

NOTES:

- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS1766.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 1403 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSEBUILDER GUIDE
- WATERPROOFING FOR FLAT ROOF AND BALCONY TO COMPLY WITH AS4646.1 & AS4646.2
- BALCONY INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- WINDOW RESTRAINTS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH SCA PART 1003
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FENCE TO BE SIGNATURED AND COMPLIED WITH CLAUSE 38.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1676.3.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	SEDIMENT CONTROL PLAN
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 200 @ A2
Client		REVISION:	D	Drawing no	018
KARIM MAHMOUD		DRAWN BY:	MJ	CHECKED BY:	AS



1 Landscaped Calculation
1 : 100

REFER TO LANDSCAPE PLAN PREPARED BY APEX - FOR DETAILS

LEGEND

	CALCULATED LANDSCAPED AREA
	LANDSCAPED AREA NOT CALCULATED)
	CALCULATED LANDSCAPE FRONT OF BL
	IMPERVIOUS AREA
	PRIVATE OPEN SPACE

PROPOSED TREE :
All tree planting holes are to be excavated 200mm wider and at least 200mm deeper than the rootball size. All trees are to be double staked and secured with hessian ties in figure eight arrangement.

Apply 150mm layer of topsoil to all turfed areas laid over deep soil. Prior to laying turf, contractor to ensure all topsoiled areas are smoothly graded with no surface depressions or other irregularities, large stones or building debris turf used for this site shall be cultivated. Unless specified otherwise, turf shall be laid flush with adjoined finished surface levels.

PLANT MATERIAL:
All plants to be healthy and well developed without being root bound and disease free.

GARDEN BED/ MULCH:
The topsoil to all garden bed areas shall be 1 part site topsoil and 2 parts organic compost thoroughly mixed together prior to placing into position.

Where the site topsoil is not suitable imported topsoil meeting the requirements of AS4419:1998 shall be used. Topsoil depth to all garden bed areas to be garden mix 300mm deep.

Mulch consisting of pine bark is to be spread over all planter beds to a depth of 100mm. Reduce depth of mulch around base of plants to form 'watering dish' to facilitate watering.

MAINTENANCE:
Maintain all landscape areas to ensure plant health and occupant safety for a period of 12 months beginning from date of practical completion to the satisfaction of council.

Maintenance will include but not limited to the following activities, mowing, edging, pruning and top dressing of turf areas also all plants to be fed slow release fertilizer according to manufacturer's recommendations, regular ongoing observation and maintenance is required.

IRRIGATION:
Provide one housecock in the front and rear landscape of each unit or the installation of automatic/manual water system as owner choices.

USE EITHER DAMPPROOF OR PLASTIC WATER PROOFING LINERS AS A WATER PROOFING ALSO USE ABOVE WHERE GARDEN BED COME IN CONTACT WITH BRICKWORK

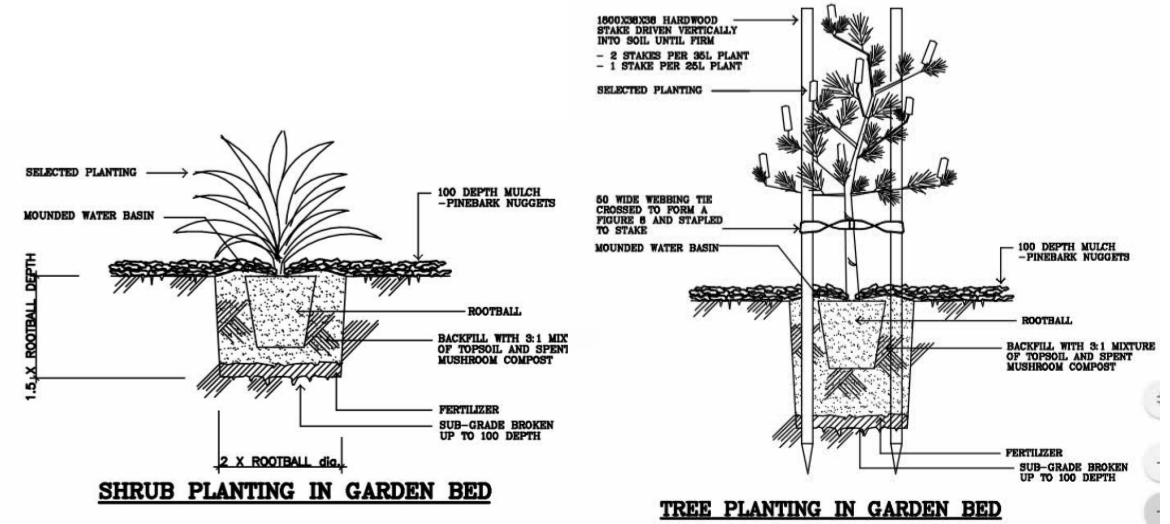
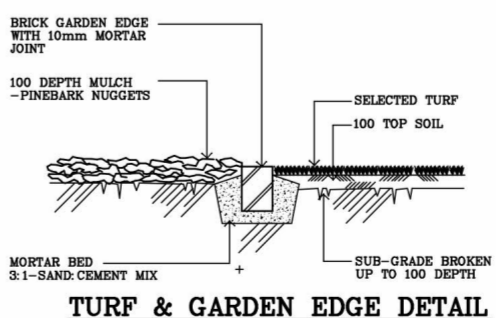
GARDEN BED EDGING:
No chemically treated timber edging to be used.

PAVING:
All pavement areas including driveways and pathways are to have a stenciled concrete finish. All pavement surfaces to comply with the requirements of AS/NZ 3661.1 1993 Slip resistance of pedestrian surfaces.

DISCREPANCIES:
Should there be any discrepancies on the drawings and or on site, landscaping contractor to notify the superintendent for resolution prior to the commencement of the works. Where the situation is not readily resolved onsite, the superintendent is to notify the landscape planner immediately for correction.

STANDARDS:
All materials and standards of workmanship used on this project is to comply with the latest revision of the relevant Australian Standards.

EXCAVATIONS:
Any services drawn on the plan have been indicatively located. Further services may be present prior to any construction or excavation on site. The relevant authorities should be contacted for possible location of further ground services and detailed of all services.



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A: 1/25 Kyle Parade, Kyle Bay
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ABN: 659636650084
Nominated Architect:
Amratt Salameh
NSW Reg. 13130

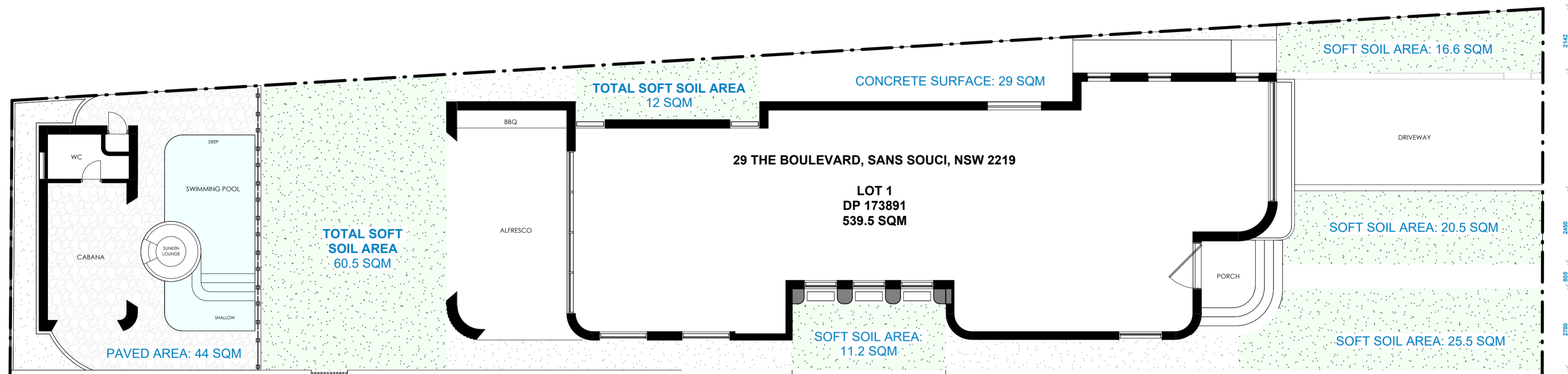
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ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AS5 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	FIRST FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: SUSPENDED CONCRETE
C	25.08.2025	W.P. MEETING REVIEW	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
D	09.09.2025	FINAL	ROOF: - DWELLING ROOF - KLIPLOK - CABANA ROOF - CONCRETE

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL 40/40/40 AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS1376:2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 1103 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB
- HOUSING PROVISIONS
- WATERPROOFING FOR TERRACE ROOF AND BALCONY TO COMPLY WITH NCC 1 & 4.4.4.4.4
- RAILING INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- BRICKWORK STRUCTURES TO BE REINFORCED ON ALL BOUNDARIES TO COMPLY WITH BCA PART 10.03
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FENCE TO BE SECURED AND COMPLY WITH CLAUSE 38.5.6
- SWIMMING TANK - HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1628:3.8.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS1628
- WHERE A PROPOSED HOBB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS1628

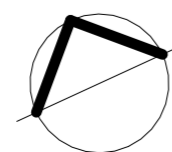
PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA	PROJECT NO.	03/2025	DRAWING TITLE	LANDSCAPE CALCULATIONS
	DATE:	09.09.25	SCALE:	As @ A2
29 THE BOULEVARD, SANS SOUCI NSW 2219	REVISION:	D	Drawing no	indicated
	Client	KARIM MAHMOUD	DRAWN BY:	MJ
	CHECKED BY:	AS		019



1 Soft (Deep) Soil Plan
 1 : 100

LEGEND

	SOFT SOIL AREA (>1.2M WIDTH)
	SOIL AREA NOT CALCULATED (<1.2M WIDTH)



ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AS5 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
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C	25.08.2025	W.P. MEETING REVIEW	
D	09.09.2025	FINAL	

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 10.4 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB BUILDING REGULATIONS
- WATERPROOFING FOR TERRACE ROOF AND BALCONY TO COMPLY WITH AS4684.1 & AS4684.2
- RAILING INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FIBRE TO BE SOLIDROOF AND COMPLY WITH CLAUSE 38.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1629.3.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	SOFT SOIL PLAN
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	As @ A2
Client: KARIM MAHMOUD		REVISION:	D	Drawing no	020
		DRAWN BY:	MJ	CHECKED BY:	AS

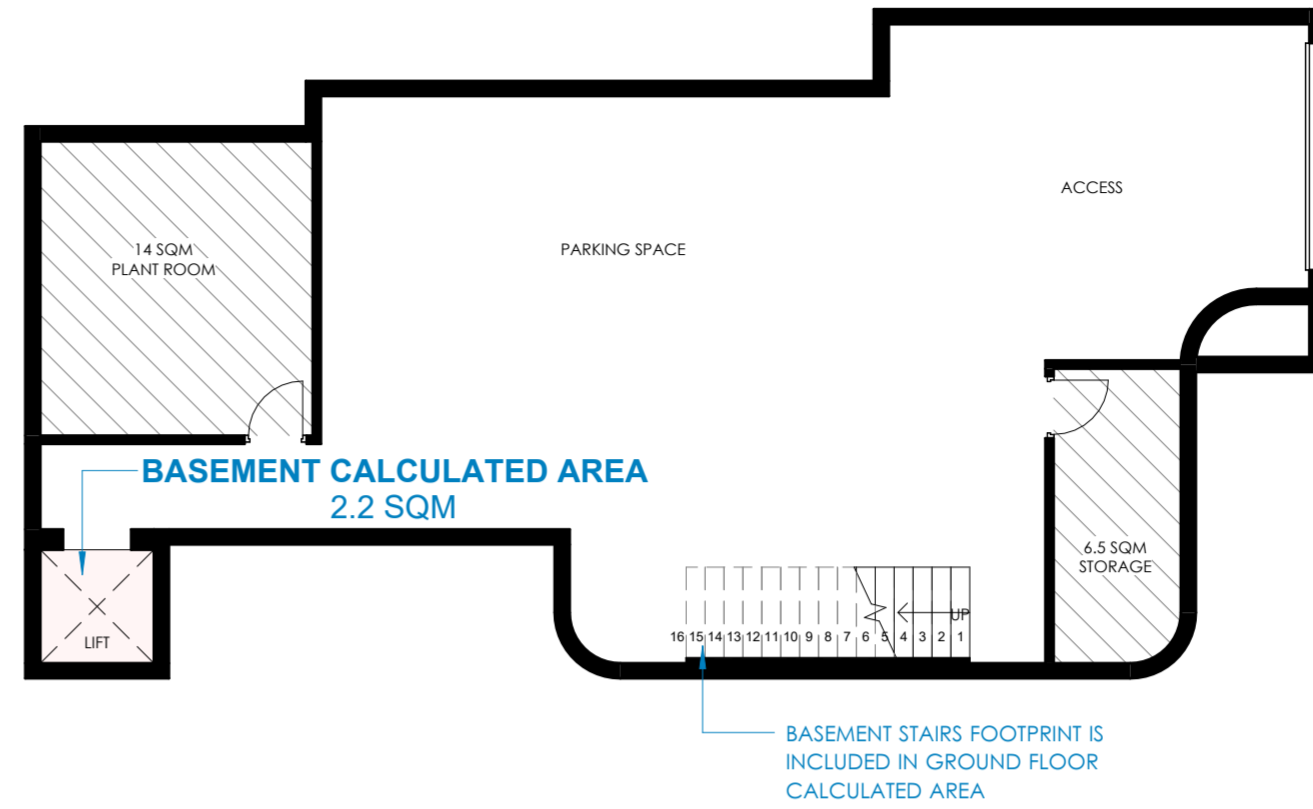
ALLOWABLE FLOOR SPACE RATIO

ALLOWED FSR: 0.55 : 1 = 296.725 SQM

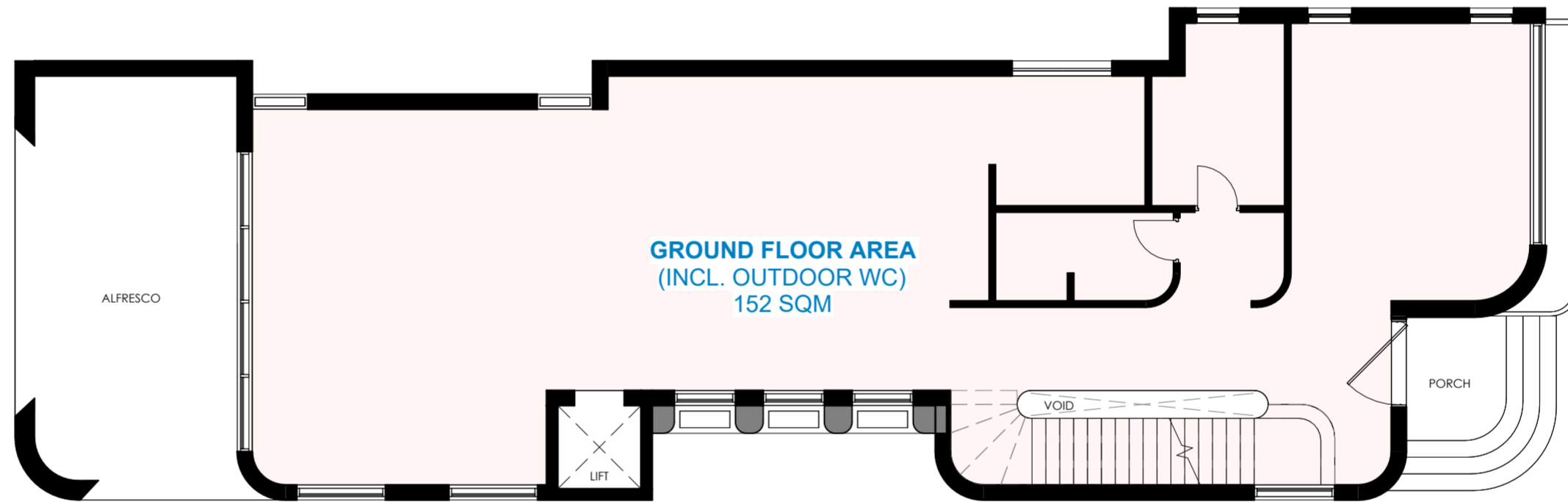
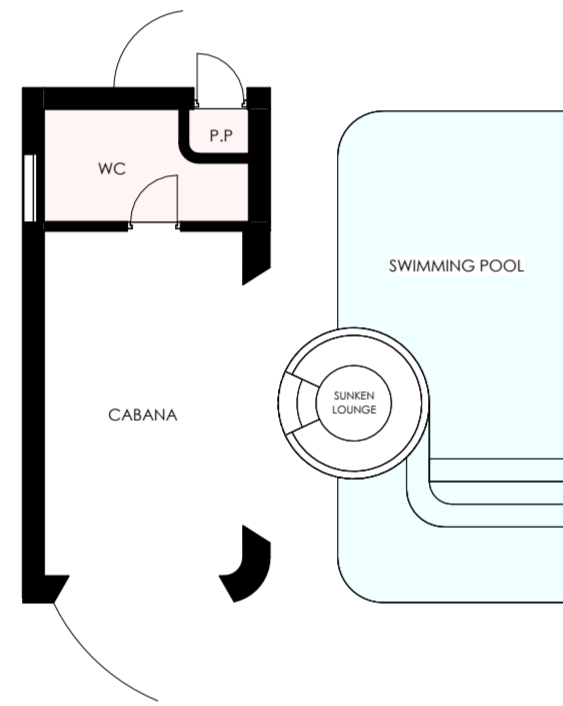
PROPOSED FLOOR SPACE RATIO

BASEMENT CALCULATED AREA 2.2 SQM
 GROUND FLOOR 152 SQM
 FIRST FLOOR 138 SQM

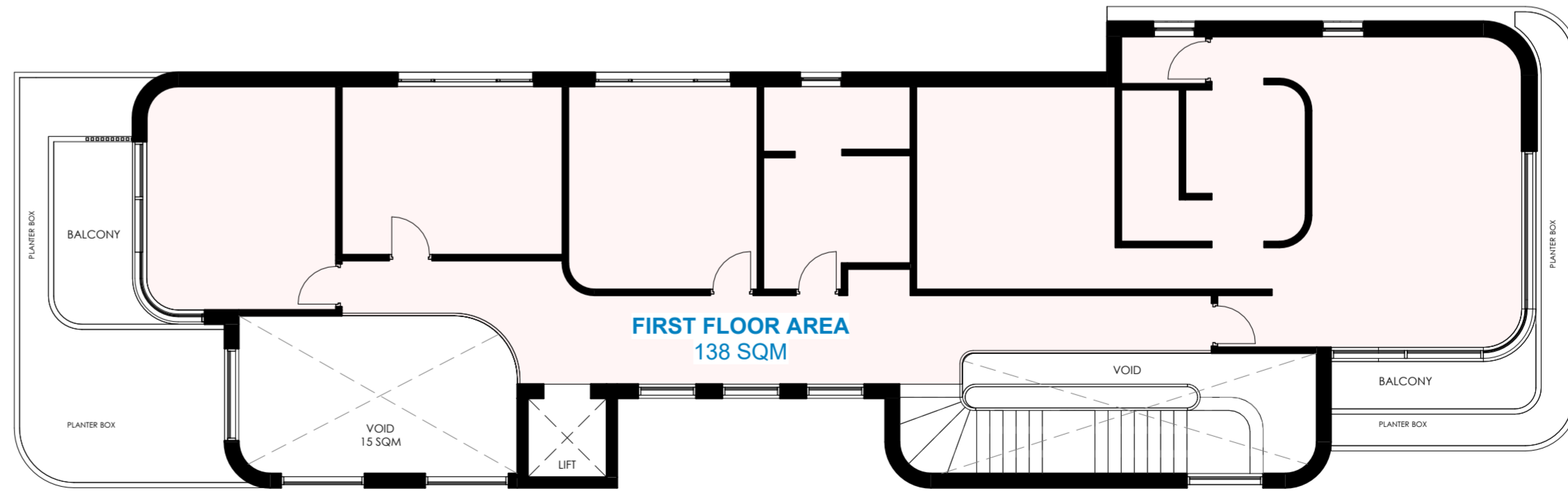
TOTAL FSR 0.54 : 1 = 292.2 SQM



3 Basement Floor GFA
1 : 100



1 Ground Floor GFA
1 : 100

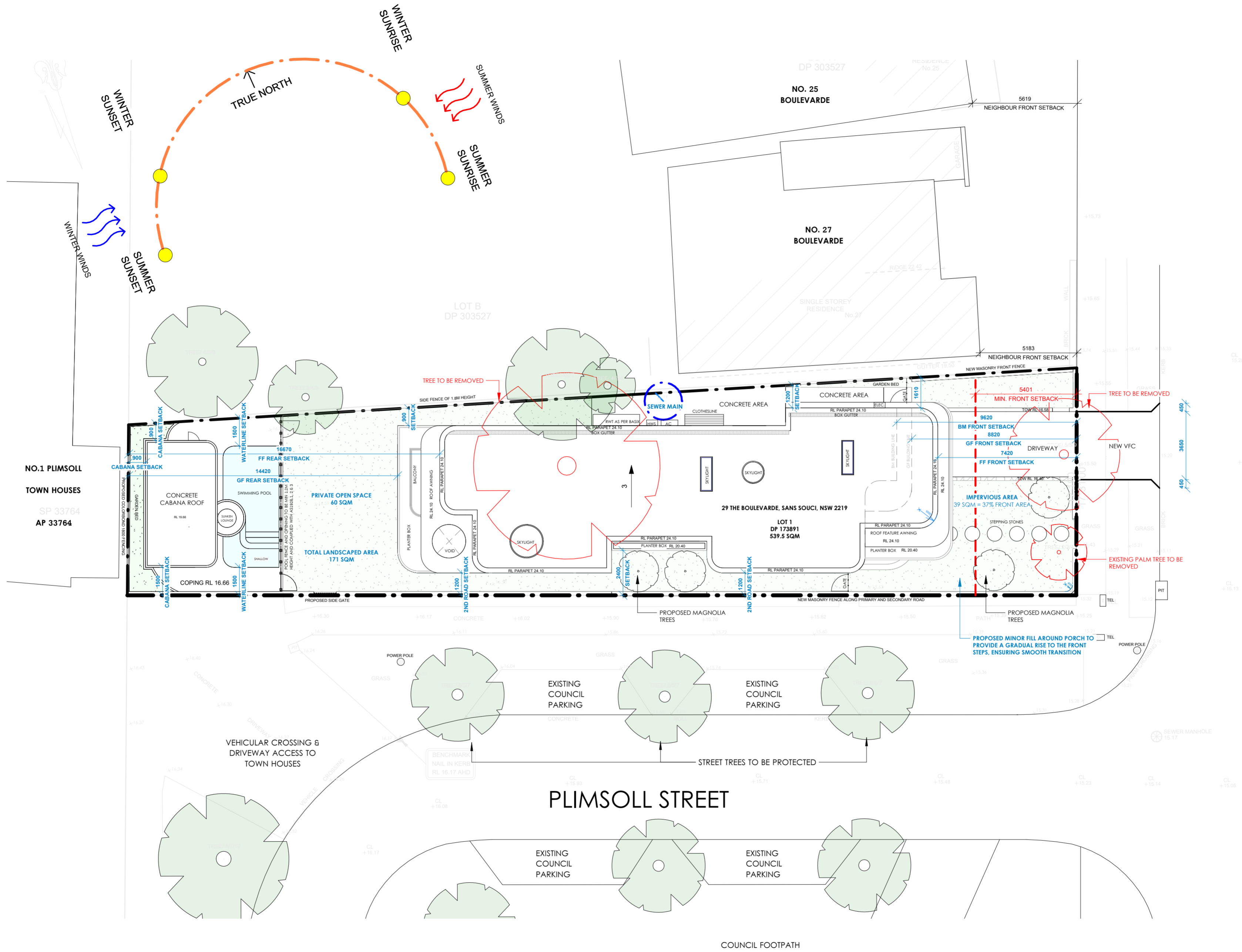


2 First Floor GFA
1 : 100

ISSUE NO.	DATE	REVISION	SPECIFICATIONS:
A	28.03.2025	ISSUE FOR DA ASSESSMENT	BASEMENT FLOOR: - EXTERNAL WALL: AS5 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
B	21.08.2025	AMENDMENTS 1	GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
C	25.08.2025	W.P. MEETING REVIEW	
D	09.09.2025	FINAL	

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.3.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMBINED WITH BGA PART 100 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS
- BALCONY/DECK INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- BRICK INFILL TO BE RECALLED ON ALL REQUIRED FINISHES TO COMPLY WITH BCA PART 1003
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FINISH TO BE SCUMPROOF AND COMPLY WITH CLAUSE 38.8.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1628.3.8.1.2
- VERANDA/DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	FSR CALCULATIONS
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 100 @ A2
Client: KARIM MAHMOUD		REVISION:	D	Drawing no	021
		DRAWN BY:	MJ	CHECKED BY:	AS



THE BOULEVARDE

ISSUE NO.	DATE	REVISION
A	28.03.2025	ISSUE FOR DA ASSESSMENT
B	21.08.2025	AMENDMENTS 1
C	25.08.2025	W/P MEETING REVIEW
D	09.09.2025	FINAL

SPECIFICATIONS:
BASEMENT FLOOR: - EXTERNAL WALL: AF5 - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE

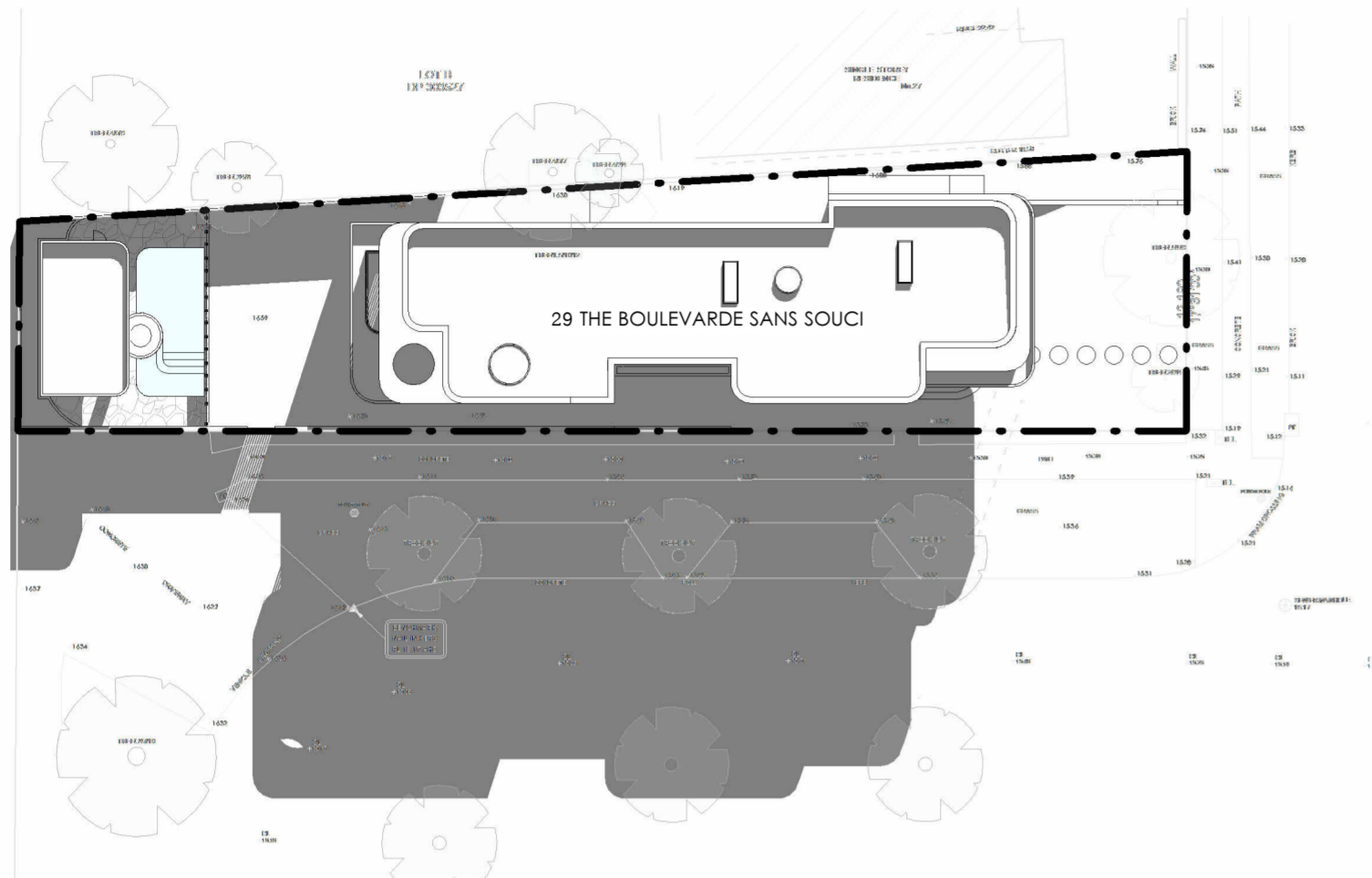
FIRST FLOOR
- EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: SUSPENDED CONCRETE
ROOF: - DWELLING ROOF - KLIPLOK - CABANA ROOF - CONCRETE

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART 1103 AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE BASIX CERTIFICATE
- WATERPROOFING FOR BALCONY AND TERRACE TO COMPLY WITH AS4684.1 & AS4684.2
- MULTIGRADE INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 1.1.3.4 OF THE NCC VOLUME TWO 2022
- SMOKE ALARMS TO BE INSTALLED IN ALL REQUIRED ROOMS TO COMPLY WITH BCA PART 1103
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FENCE TO BE SIGNPOSTED AND COMPLIED WITH CLAUSE 38.5.6
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDENSER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS3740.3.1.2
- VERANDAHS, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS4584

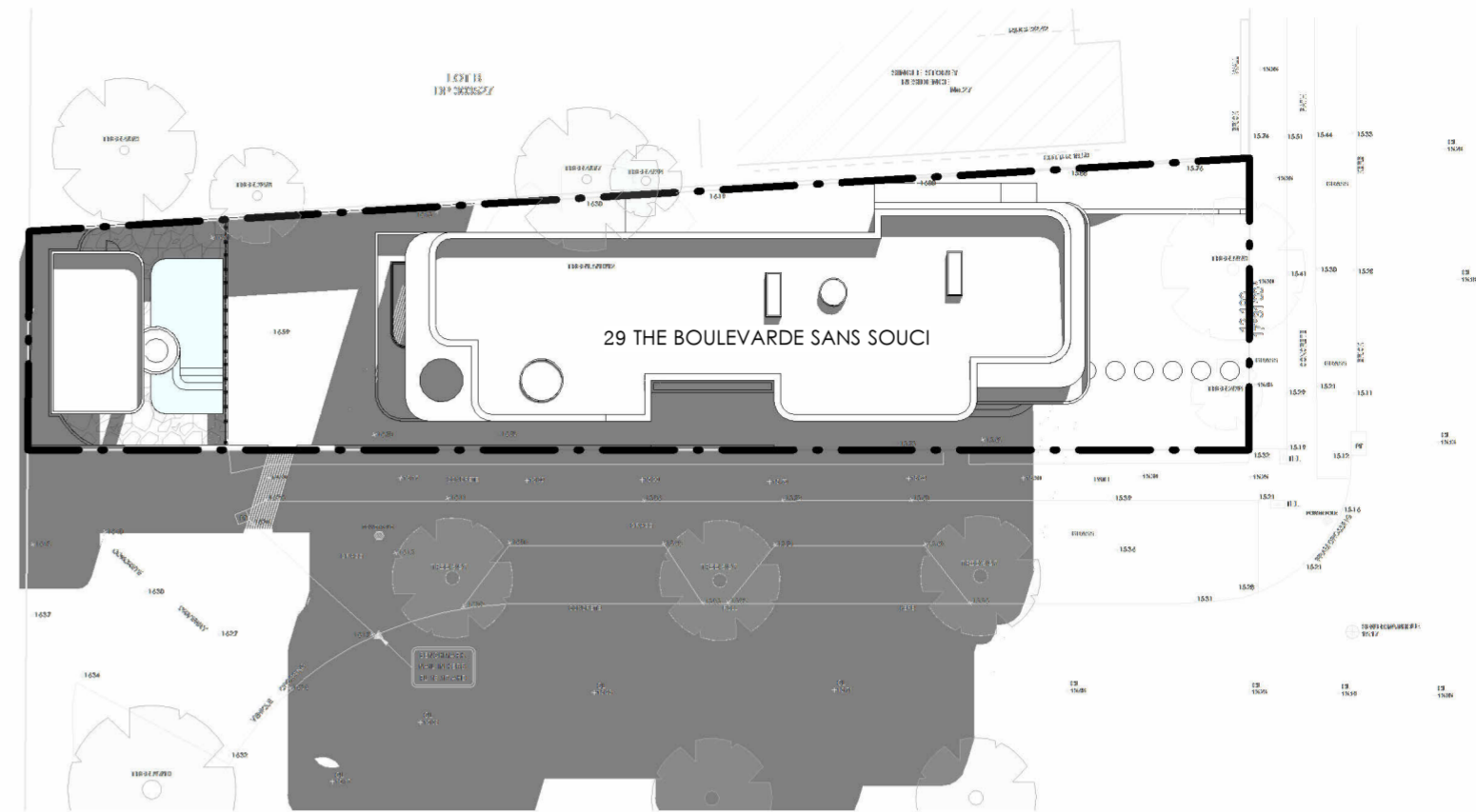
PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA
29 THE BOULEVARD, SANS SOUCI NSW 2219

PROJECT NO.	03/2025
DATE:	09.09.25
REVISION:	D
DRAWN BY:	MJ
CHECKED BY:	AS

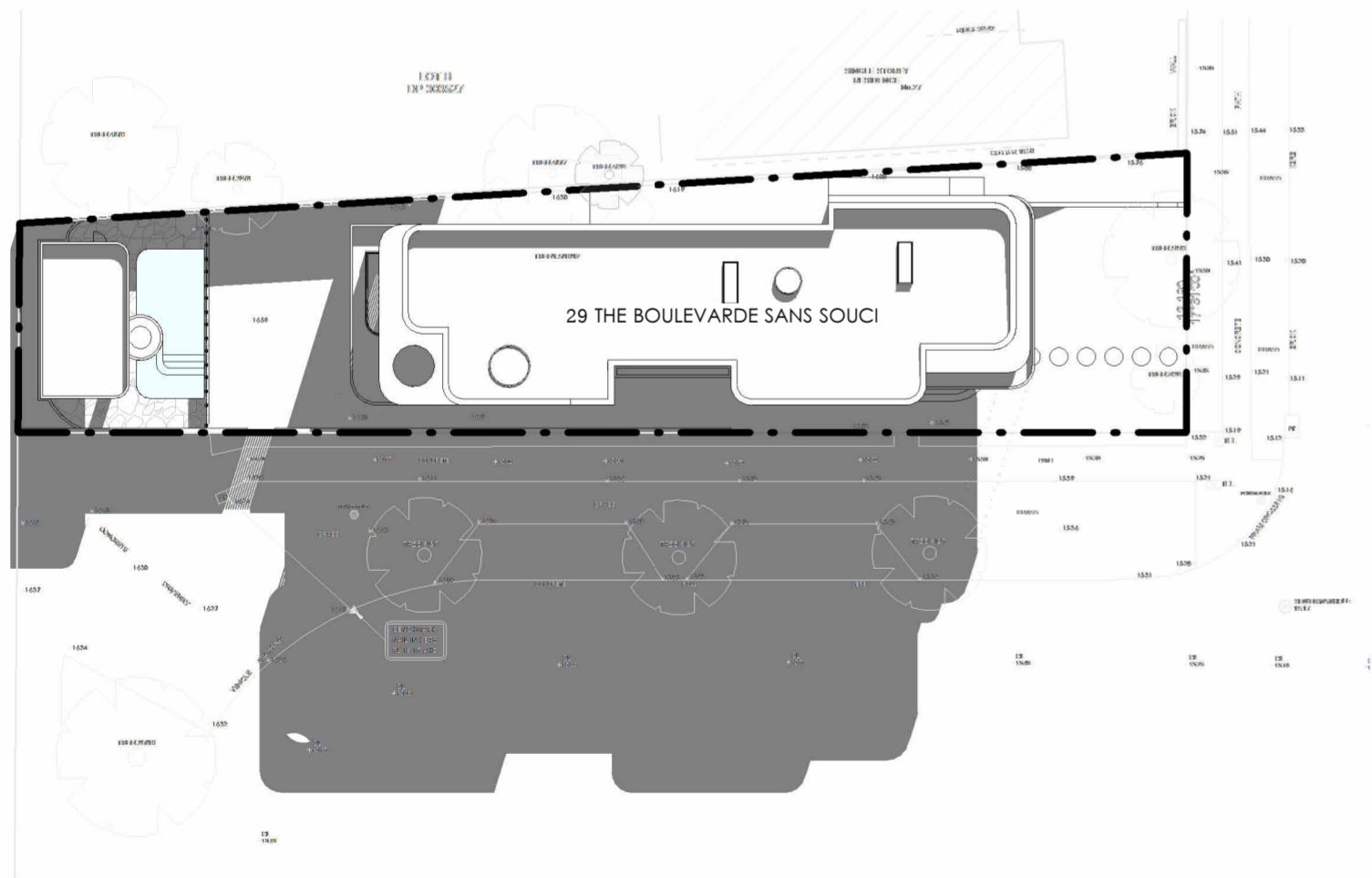
DRAWING TITLE	SITE ANALYSIS PLAN
SCALE:	As @ A2
Drawing no	indicated
022	



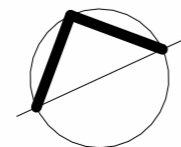
1 Winter Shadow @ 9 AM
1 : 300



3 Winter Shadow @ 3 PM
1 : 300



2 Winter Shadow @ 12 PM
1 : 300



ISSUE NO.	DATE	REVISION
A	28.03.2025	ISSUE FOR DA ASSESSMENT
B	21.08.2025	AMENDMENTS 1
C	25.08.2025	W/P MEETING REVIEW
D	09.09.2025	FINAL

SPECIFICATIONS:
BASEMENT FLOOR: - EXTERNAL WALL: AFS - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE
GROUND FLOOR: - EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: CONCRETE

FIRST FLOOR
- EXTERNAL WALL: DOUBLE BRICK 270MM - INTERNAL WALL: SINGLE BRICK 110MM - FLOOR: SUSPENDED CONCRETE
ROOF - DWELLING ROOF - KLIPOK - CABANA ROOF - CONCRETE

NOTES:
- PARTY WALL TO COMPLY WITH FIRE RATED WALL AS PER NCC 2022
- SMOKE ALARMS TO BE COMPLIED CLAUSE 9.4 OF THE NCC VOLUME TWO 2022 & AS3786.2014
- ALL MECHANICAL VENTILATION SYSTEMS TO BE COMPLIED WITH BCA PART HOP AS REQUIRED BY THE BASIX CERTIFICATE
- WATERPROOFING IN ALL WET AREAS TO BE INSTALLED IN ACCORDANCE WITH AS3740 OR AS3740 AND PART 10.2 OF THE ASBC
- HOUSING PRECAUTIONS
- RAILINGS INSTALLATION TO BE IN COMPLIANCE WITH CLAUSE 11.3.4 OF THE NCC VOLUME TWO 2022
- WINDOW RESTRAINTS TO BE INSTALLED ON ALL REQUIRED WINDOWS TO COMPLY WITH BCA PART 10.03
- POOL FENCE AND OPENING TO BE COMPLIED WITH AS1926.1, AS1926.2 & AS1926.3
- POOL FIBRES TO BE SOLARPROOF AND COMPLY WITH CLAUSE 38.5B
- BATHWATER TANK, HOT WATER SYSTEM, AIR CONDITIONER TO BE INSTALLED AS PER BASIX CERTIFICATE
- WATERPROOFING TO COMPLY WITH AS1628.3.1.2
- VERANDA, DECKS AND BALCONIES TO HAVE STEPDOWN OR STRIP DRAIN AT THE DOOR OPENING IN ACCORDANCE WITH AS4584
- WHERE A PROPOSED HOB ON ANY BALCONY IS HIGHER THAN THE FINISHED FLOOR LEVEL AN OVERFLOW IS REQUIRED IN ACCORDANCE WITH AS4584

PROPOSED TWO STOREY DWELLING WITH BASEMENT, SWIMMING POOL & CABANA		PROJECT NO.	03/2025	DRAWING TITLE	WINTER SHADOW DIAGRAM
29 THE BOULEVARD, SANS SOUCI NSW 2219		DATE:	09.09.25	SCALE:	1 : 300 @ A2
Client		REVISION:	D	Drawing no	023
KARIM MAHMOUD		DRAWN BY:	MJ	CHECKED BY:	AS