

Dodds Street Dual Occupancy

Construction Certificate

Project Location:
11 Dodds Street Redhead 2290

Client:
Redhead 24 Pty Ltd

Site Information

Client	Redhead 24 Pty Ltd
Site Address	11 Dodds Street Redhead 2290 Sec -, Lot 8, DP 24156, SP -
LGA	Lake Macquarie
Land Zoning	R2
FSR/Site Coverage	55%
Maximum Height	8.5
Flood Area	No
Mine Subsidence Area	Yes - Guideline 3
Bushfire Area	Yes
Heritage Area	No
Local Aboriginal Land Council	Bahtabah



SUBJECT SITE - NTS



LOCATION - NTS

Drawing Catalogue: (survey by others)

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A-002	Specification Sheet
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A-301	Elevations
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Drawing Catalogue: (survey by others)

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A-700	BASIX Notes
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A-703	Driveway Details
A-704	Perspectives
A-705	BAL Notes
A-800	Window Schedule
A-801	Door Schedule
A-900	Sediment Control

SHADE
ARCHITECTS

Nominated Architect - Timothy Graham
Registration Number: 12385
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SITE PLAN

RWT

ABOVE GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS

RW

RETAINING WALLS TO ENGINEERS SPECIFICATIONS & DETAILS

EXISTING TREE TO BE RETAINED

TO BE DEMOLISHED

BUILDING FOOTPRINT

SETOUT POINT

STORMWATER

PLEASE REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS AS REQUIRED

NOTES

1. DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER. ALL LOCATIONS AND POSITIONS TO COMPLY WITH BCA 2022 & ABCB HOUSING PROVISIONS PART 7.4. TO BE CONFIRMED BY BUILDER & READ IN CONJUNCTION WITH HYDRAULIC ENGINEERS DETAILS & SPECIFICATION.
2. STORMWATER ROOF WATER, SURFACE WATER AND CONNECTION DETAILS TO COMPLY WITH COUNCIL'S CONDITIONS OF CONSENT. DOWN PIPE LOCATIONS TO ENSURE COMPLIANCE WITH BCA 2022 & ABCB HOUSING PROVISIONS PART 7.4.
3. MASONRY ARTICULATION JOINTS AS PER AS4773.2 & ABCB HOUSING PROVISIONS PART 5.6.8. (BUILDER & ENGINEER TO CONFIRM LOCATIONS).
4. DEMOLITION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2601: THE DEMOLITION OF STRUCTURES (AS 2601).
- NOTES:
- BUILDER TO CONFIRM LEVELS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE BUILDING DESIGNER BEFORE CONSTRUCTION.
- USE FIGURED DIMENSIONS ONLY. **DO NOT** SCALE FROM DRAWINGS.
- BOUNDARY INFORMATION SUPPLIED BY BUILDER/SURVEYOR. BUILDER TO CONFIRM ALL BOUNDARY INFORMATION PRIOR TO CONTRACTS AND/OR COMMENCEMENT OF WORK.
- ALL SETBACKS TO COMPLY WITH LOCAL REQUIREMENTS UNLESS NOTED ON THIS SHEET, IN WHICH CASE A SEPARATE APPLICATION FOR RELAXATION IS TO BE APPLIED FOR AS PART OF BUILDING APPROVAL.
- BUILDER AND/OR CERTIFYING AUTHORITY TO NOTIFY SHADE DESIGN NEWCASTLE PTY LTD OF ANY DISCREPANCIES PRIOR TO APPROVAL.

SLAB SET OUT

NOTE:

SET-OUT PLANS ONLY. REFER TO ENGINEERS DRAWINGS FOR DETAILS

COL ■

COLUMN TO ENGINEERS DETAIL

RWT

GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS

RW

RETAINING WALLS TO ENGINEERS SPECIFICATIONS & DETAILS

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7. ALL NEW CONSTRUCTION TO BE CONSTRUCTED TO SATISFY BCA 2022 & ABCB HOUSING PROVISIONS PART 3.4 - TERMITE RISK MANAGEMENT AS REQUIRED.
8. SUB-FLOOR VENTILATION & CLEARANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH BCA 2022 & ABCB HOUSING PROVISIONS PART 6.2.
9. MASONRY ARTICULATION JOINTS AS PER AS4773.2 & ABCB HOUSING PROVISIONS PART 5.6.8. (BUILDER & ENGINEER TO CONFIRM LOCATIONS).

FLOOR PLANS

ACU	AIR CONDITIONING UNIT
ADJ	ADJUSTABLE
AHD	AUSTRALIAN HEIGHT DATUM
BAL	SELECTED BALUSTRADE
BG	BOX GUTTER
CFC	COMPRESSED FIBRE CEMENT
CJ	CONTROL JOINT TO BCA REQUIREMENTS
CPD	CUPBOARD
CPT	SELECTED CARPET
CNC	SELECTED CONCRETE FINISH
COL	COLUMN TO ENGINEERS DETAIL
CT	SELECTED CERAMIC TILE
CRS	SELECTED COLORBOND CUSTOM ORB ROOF SHEETING ('ULTRA MARINE' AS REQUIRED)
CRT	SELECTED CONCRETE ROOF TILES
DP	DOWN PIPE - COLORBOND
DRY	DRYER
DW	DISHWASHER
DWRS	DRAWERS
EG	SELECTED EAVES GUTTER
EQ	EQUAL
EX	EXHAUST FAN - MECHANICAL VENTILATION TO COMPLY WITH BCA PART 3.8.7.4 & AUS STANDARDS
FC	FIBRE CEMENT SHEET
FL	FLUE TO FIREPLACE
FP	FIREPLACE
FW	FLOOR WASTE
G	GLASS
GD	GRATED DRAIN
HR	HANDRAIL TO BE INSTALLED TO BCA REQUIREMENTS
HWD	HARDWOOD TIMBER
HWS	HOT WATER SYSTEM
L-CH	LAUNDRY CHUTE
LT	LAUNDRY TUB
MF	SELECTED METAL FLASHING
MRS	COLORBOND LYSAGHT SPANDEK ROOF SHEETING ('ULTRA MARINE' AS REQUIRED)
MW	MIRCOWAVE SPACE
NST	SELECTED NON-SLIP TILES
OF	OVERFLOW
OV	OVEN
OHC	OVERHEAD CUPBOARD
PS	SELECTED PRIVACY SCREEN
PTY	KITCHEN PANTRY
R	CEMENT RENDER FINISH
REF	REFRIDGERATOR
RH	RANGEHOOD
RW	RETAINING WALLS TO ENGINEERS SPECIFICATIONS & DETAILS
RWH	RAIN WATER HEAD
RWT	RAIN WATER TANK
S	SPLITTER
SA	SMOKE ALARM LOCATIONS TO BE INSTALLED IN ACCORDANCE WITH AS3786.BCA
SD	STRIP DRAIN
SHW	SHOWER
SKL	SELECTED SKYLIGHT
SNK	SINK
SOP	SETOUT POINT
SPDR	DOWN PIPE SPREADER
SS	STAINLESS STEEL
TD	TIMBER DECKING
TF	TIMBER FLOOR BOARDS
WH	SELECTED WINDOW HOOD
WM	WASHING MACHINE

ELEVATIONS

ACU	AIR CONDITIONING UNIT
ADJ	ADJUSTABLE
AHD	AUSTRALIAN HEIGHT DATUM
BAL	SELECTED BALUSTRADE
BG	BOX GUTTER
BR	SELECTED BRICKWORK
BW	SELECTED BLOCKWORK
CFC	COMPRESSED FIBRE CEMENT
CJ	CONTROL JOINT TO BCA REQUIREMENTS
CNC	SELECTED CONCRETE FINISH
COL	COLUMN TO ENGINEERS DETAIL
CRS	SELECTED COLORBOND CUSTOM ORB ROOF SHEETING ('ULTRA MARINE' AS REQUIRED)
CRT	SELECTED CONCRETE ROOF TILES
DP	DOWN PIPE - COLORBOND
EG	SELECTED EAVES GUTTER
EQ	EQUAL
FC	FIBRE CEMENT SHEET
FL	FLUE TO FIREPLACE
FP	FIREPLACE
G	GLASS
HR	HANDRAIL TO BE INSTALLED TO BCA REQUIREMENTS
HWD	HARDWOOD TIMBER
HWS	HOT WATER SYSTEM
LC-1	NRG GREENBOARD WITH APPLIED RENDER FINISH IN WHITE PAINT
LC-2	JAMES HARDIE OBLIQUE CLADDING IN WHITE PAINT FINISH
LC-3	SELECTED KNOTWOOD VERTICAL CLADDING
LC-4	SELECTED KNOTWOOD BATTENS TO BE INSTALLED TO MANUFACTURERS DETAILS & SPECIFICATION
MF	SELECTED METAL FLASHING
MRS	LYSAGHT TRIMDEK ROOF SHEETING 'DOVER WHITE'
NST	SELECTED NON-SLIP TILES
OF	OVERFLOW
PS	SELECTED PRIVACY SCREEN
R	CEMENT RENDER FINISH
RBR	SELECTED BRICKWORK WITH APPLIED RENDER FINISH IN WHITE PAINT FINISH
RBW	SELECTED BLOCKWORK WITH APPLIED RENDER FINISH IN WHITE PAINT FINISH
RW	RETAINING WALLS TO ENGINEERS SPECIFICATIONS & DETAILS
RWH	RAIN WATER HEAD
RWT	RAIN WATER TANK
S	SPLITTER
SHW	SHOWER
SKL	SELECTED SKYLIGHT
SPDR	DOWN PIPE SPREADER
SS	STAINLESS STEEL
TD	TIMBER DECKING
WH	SELECTED WINDOW HOOD

WINDOW & DOOR SCHEDULE

AAW	SELECTED ALUMINIUM AWNING WINDOW
ADH	SELECTED ALUMINIUM DOUBLE HUNG WINDOW
ALW	SELECTED ALUMINIUM LOUVRE WINDOW
ASD	SELECTED ALUMINIUM SLIDING DOOR
ASSD	SELECTED ALUMINIUM STACKER SLIDING DOOR
ASW	SELECTED ALUMINIUM SLIDING WINDOW
CSD	SELECTED CAVITY SLIDER DOOR
ED	SELECTED ENTRY DOOR
FG	SELECTED ALUMINIUM FIXED GLASS WINDOW
GD	SELECTED GARAGE DOOR

NOTES

1. BUILDER TO CONFIRM WITH SELECTED WINDOW/DOOR MANUFACTURER ALL WINDOW/DOOR DIMENSIONS, OPENING DIRECTIONS & HINGE LOCATIONS.
2. PLEASE REFER TO CURRENT BASIX REPORT FOR ENERGY PERFORMANCE REQUIREMENTS & SPECIFICATIONS.
3. BUILDER TO CONFIRM LEVELS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO SHADE DESIGN NEWCASTLE PTY LTD BEFORE CONSTRUCTION.
4. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS.
5. ALL UPPER FLOOR OPERABLE WINDOWS ABOVE 800AFL ARE PERMANENTLY RESTRICTED TO 125mm OR FITTED WITH A NON REMOVEABLE ROBUST SCREEN AS PER ABCB HOUSING PROVISIONS PART 11.3.

NOTES

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2. MASONRY ARTICULATION JOINTS AS PER AS4773.2 & ABCB HOUSING PROVISIONS PART 5.6.8. (BUILDER & ENGINEER TO CONFIRM LOCATIONS).
3. STORMWATER ROOF WATER, SURFACE WATER AND CONNECTION DETAILS TO COMPLY WITH COUNCIL'S CONDITIONS OF CONSENT. DOWN PIPE LOCATIONS TO ENSURE COMPLIANCE WITH BCA 2022 & ABCB HOUSING PROVISIONS PART 7.4.
4. MECHANICAL VENTILATION DISCHARGE LOCATIONS (i.e EXTERNAL WALL/EAVE ETC) AS PER BCA 2022 & ABCB HOUSING PROVISIONS PART 10.8 - CONDENSATION MANAGEMENT.
5. EXTERNAL MATERIALS (BRICKWORK) TO COMPLY WITH THE MINES SUBSIDENCE LETTER OF REQUIREMENTS (MAXIMUM HEIGHT OF FOUNDATION BRICKWORK OF 1.5M. ALL MASONRY IS TO BE ARTICULATED, IN ACCORDANCE WITH AS4773 & ABCB HOUSING PROVISIONS PART 5.6.8.)
6. SUB-FLOOR VENTILATION & CLEARANCES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH BCA 2022 & ABCB HOUSING PROVISIONS PART 6.2.
7. ALL UPPER FLOOR OPERABLE WINDOWS ABOVE 800AFL ARE PERMANENTLY RESTRICTED TO 125mm OR FITTED WITH A NON REMOVEABLE ROBUST SCREEN AS PER ABCB HOUSING PROVISIONS PART 11.3.
8. STRIP DRAIN AT EXTERNAL DOOR OPENINGS TO BE INSTALLED IN ACCORDANCE WITH AS4654. REFER TO MANUFACTURERS DETAILS AND SPECIFICATION.
9. POOL FENCE TO COMPLY WITH PROVISIONS OF THE SWIMMING POOLS ACT & AUSTRALIAN STANDARD AS1926.1 2012.
10. POOL FILTRATION / RECIRCULATION SYSTEM TO COMPLY WITH AS1926.3 - 2010.
11. POOL PUMP AND FILTER TO BE ENCLOSED WITHIN SOUND PROOF ENCLOSURE AS PER COUNCIL'S CONDITION OF THE DA CONSENT.
12. ALL EXTERNAL WALLS WITHIN 900MM OF THE BOUNDARY ACHIEVE A 60/60/60 FIRE RATING, IN ACCORDANCE WITH BCA 2022 & ABCB HOUSING PROVISIONS PART 9.2.3.
13. ALL PROPOSED CUT & FILL TO BE COMPLETED IN ACCORDANCE WITH BCA 2022 & ABCB HOUSING PROVISIONS PART 3.2.1.
14. ALL NEW CONSTRUCTION TO BE CONSTRUCTED TO SATISFY BCA 2022 & ABCB HOUSING PROVISIONS PART 3.4 - TERMITE RISK MANAGEMENT AS REQUIRED.
15. DEMOLITION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2601: THE DEMOLITION OF STRUCTURES.
16. ALL STAIRWAYS & RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 11.2 & TO MANUFACTURER'S DETAIL
17. ALL EXTERNAL WALLS <900mm FROM BOUNDARIES ARE TO BE FIRE RATED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 9.2

PROJECT
Dodds Street
Dual Occupancy

11 Dodds Street Redhead 2290

CLIENT
Redhead 24 Pty Ltd

Drawing

Legends

Drawing No.
A-001

Project Number

2449

Scale
As Shown @ A2

Revision	Description	Date
A	Construction Certificate	20.02.26
B	Added BAL Notes	26.02.26
C	Changed Stair Balustrade	23.03.26
(ISSUED FOR CONSTRUCTION CERTIFICATE)		

SHADE ARCHITECTS

Nominated Architect - Timothy Graham
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Building Specifications – NCC 2022 – ABCB Housing Provisions

Site preparation

Termite risk Management - Termite management system to be provided in accordance with HP Part 3.5 and AS 3660.1 and/or AS 3660.3.
Drainage - Drainage to site to comply with HP Part 3.3 OR AS/NZS 3500.3 in accordance with NCC 2022 H2D2.

Masonry

Vertical articulation joints - Masonry articulation joints to be provided as specified in HP 5.6.8 or AS 4773.2 or AS 3700.

Framing

Frame - Timber Frames & Trusses – Designed and constructed to AS/NZS 1170.1 – 2002, AS/NZS 1170.2 – 2021, AS 1684.2 – 2021, AS 1720.1 – 2010, AS 1720.5 – 2015 and AS 4440 -2004 -Installation of nailplated timber roof trusses.
Frame – Steel Frames – Designed and constructed to NASH Part 1 & 2, AS 4100 & AS/NZS 4600.
Subfloor ventilation - Sub-floor ventilation and clearance compliance with NCC Housing Provisions Part 6.2.

Roof and wall cladding

Gutters & downpipes - Downpipes & Gutters to comply with NCC Housing Provisions Part 7.4 OR AS/NZS 3500.3.
Timber and composite wall cladding - Cladding material to be in accordance with HP Part 7.5 OR for AAC-AS 5146.1 OR for metal wall cladding AS 1562.1.
Roof and wall cladding – All Roof and wall cladding to be designed and installed in accordance with NCC 2022 H1D7.

Glazing

Glazing – All glazing to be in accordance with H1D8 & H2D7 of the NCC Volume Two, Section 8 of the Housing Provisions & Australian Standards AS 1288, 2047, 4055. (Basix requirements to be addressed also)

Health and amenity

Wet area waterproofing - Wet area in accordance with H4D1, H4D2 & H4D3 of the NCC Volume Two and Part 10.2 of the Housing Provisions OR Clauses 10.2.1 to 10.2.6 & 10.2.12 and AS 3740.
Floor Waste - Wet Area – All provided floor waste to have floor falls to them between 1:50 – 1:80 as per NCC Housing Provisions Clause 10.2.12.
External waterproofing - External waterproofing for roofing systems on flat roofs, roof terraces, balconies and terraces and other similar horizontal surfaces located above internal spaces of a building compliant with NCC Volume 2 H2D8 & AS 4654.1 & 2.

Condensation management

External wall construction – Where pliable building membrane in installed in an external wall it is comply with HP 10.8.1 and AS 4200.1 & 2.
Exhaust systems - The bathroom &/or sanity compartment/s with an exhaust system and NOT provided with complaint natural ventilation must be interlocked to rooms light switch and have off timer set for 10 minutes after the light is switched off.
Exhaust systems -The room/s with an exhaust system and not provided with compliant natural ventilation must be provided with make-up air from adjacent room of 14,000mm2 which is approx. a 20mm undercut of a 700mm door or 18mm from an 820mm door.
Exhaust systems - The exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of—
(a) 25 L/s for a bathroom or sanitary compartment; and
(b) 40 L/s for a kitchen or laundry.
Ventilation of roof spaces – In climate zones 6, 7 & 8 a roof space must be ventilated in accordance with HP Part 10.8.3.

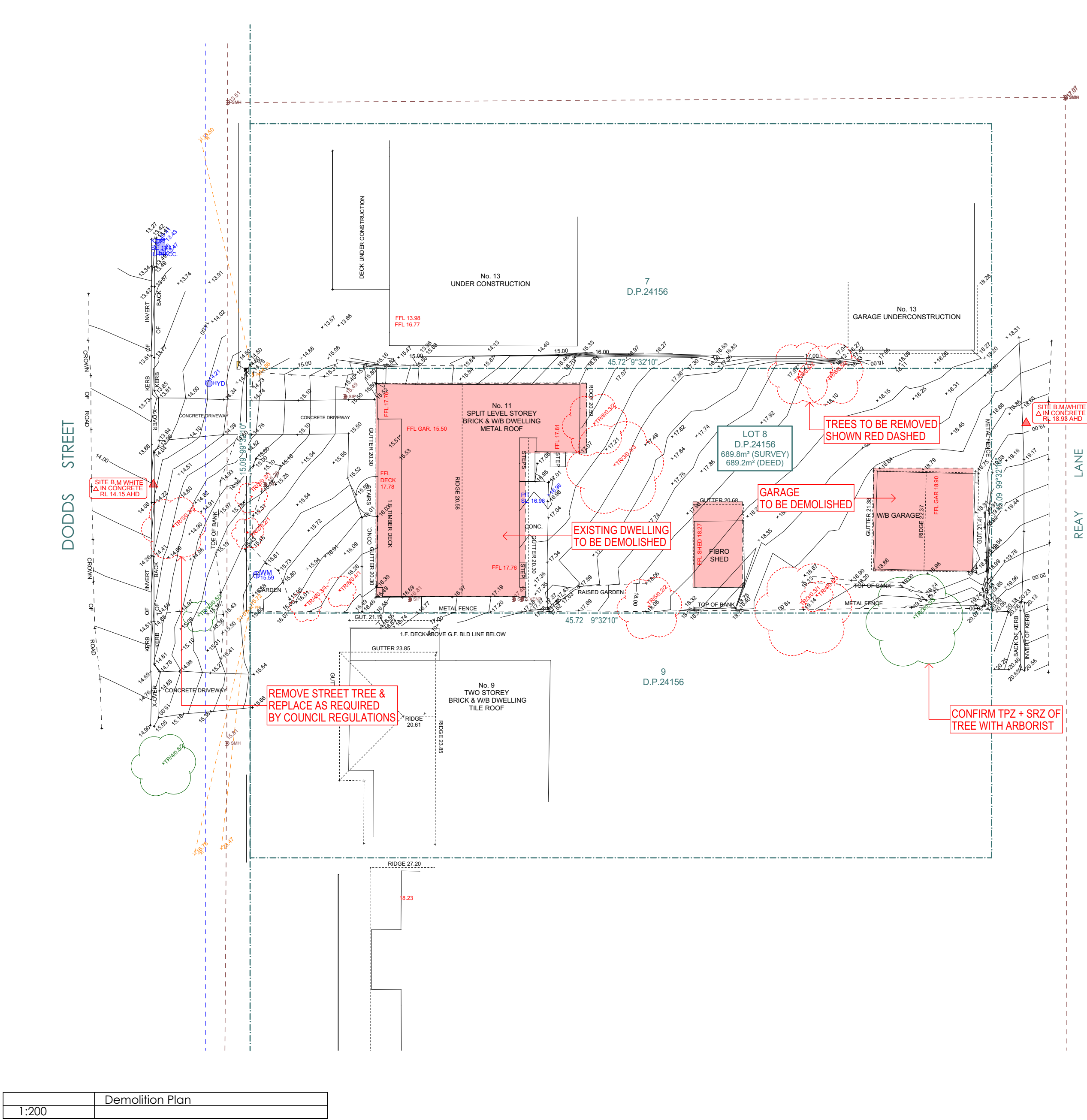
Safe movement and access

Stairway and ramp construction – Stairways and ramps to be constructed to HP Part 11.2.
Barrier and handrails - Barrier and handrails to be constructed to HP Part 11.3.
Barrier and handrails - Handrail to stairs having a change in elevation exceeding 1m required to be provided at a height not less than 865mm to NCC Housing Provisions Clause 11.3.5.
Barrier and handrails - Bedroom windows where the FFL is 2m or more above the surface beneath are to have window restrictors OR screens (crim-safe style mesh) installed as per NCC Housing Provisions Clause 11.3.7.
Barrier and handrails - Windows other than bedroom with FFL 4m or more above adjacent surface to have sill or barrier minimum 865mm above FFL as per NCC Housing Provisions Clause 11.3.8.

HP= ABCB Housing Provisions
Disclaimer: Please refer the appropriate NCC, Housing Provisions, Australian Standards for full details.

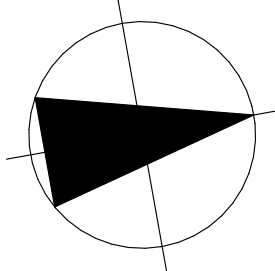
PROJECT Dodds Street Dual Occupancy 11 Dodds Street Redhead 2290 CLIENT Redhead 24 Pty Ltd	Drawing Specification Sheet Drawing No. A-002	Project Number 2449 Scale As Shown @ A2	Revision	Description	Date	SHADE ARCHITECTS Nominated Architect - Timothy Graham Registration Number: 12385 e : info@shadedesign.net.au m : 0412 879 643	NOTES The information contained in the document is copyright of Shade Architects and may not be used or reproduced for any other project or purpose, all documentation is subject to council/authority approval with advice to be sought from the appropriate certifying authorities by the land owner/holder. Verify all dimensions prior to & during construction, use figured dimensions only, do not scale from drawings. Shade Architects cannot guarantee the accuracy of content and format for copies of drawings issued electronically. This document shall not be used for construction unless endorsed "For Construction" and authorised for issue. Nominated Architect - Timothy Graham Registration Number - 12385
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			B	Added BAL Notes	26.02.26		
			C	Changed Stair Balustrade	23.03.26		
				(ISSUED FOR CONSTRUCTION CERTIFICATE)			

DISCONNECT AND CAP EXISTING SERVICES. TO BE RECONNECTED BY RELEVANT PROFESSIONALS



1:200	Demolition Plan
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PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd



Drawing
Demolition Plan
Drawing No.
A-010

Project Number
2449
Scale
As Shown @ A2

Revision	Description
A	Construction Certificate
B	Added BAL Notes
C	Changed Stair Balustrade

(ISSUED FOR CONSTRUCTION CERTIFICATE)

Date
20.02.26
26.02.26
23.03.26

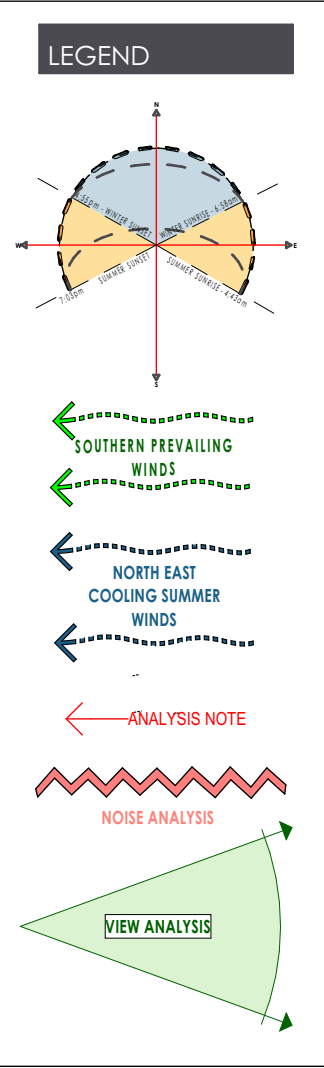
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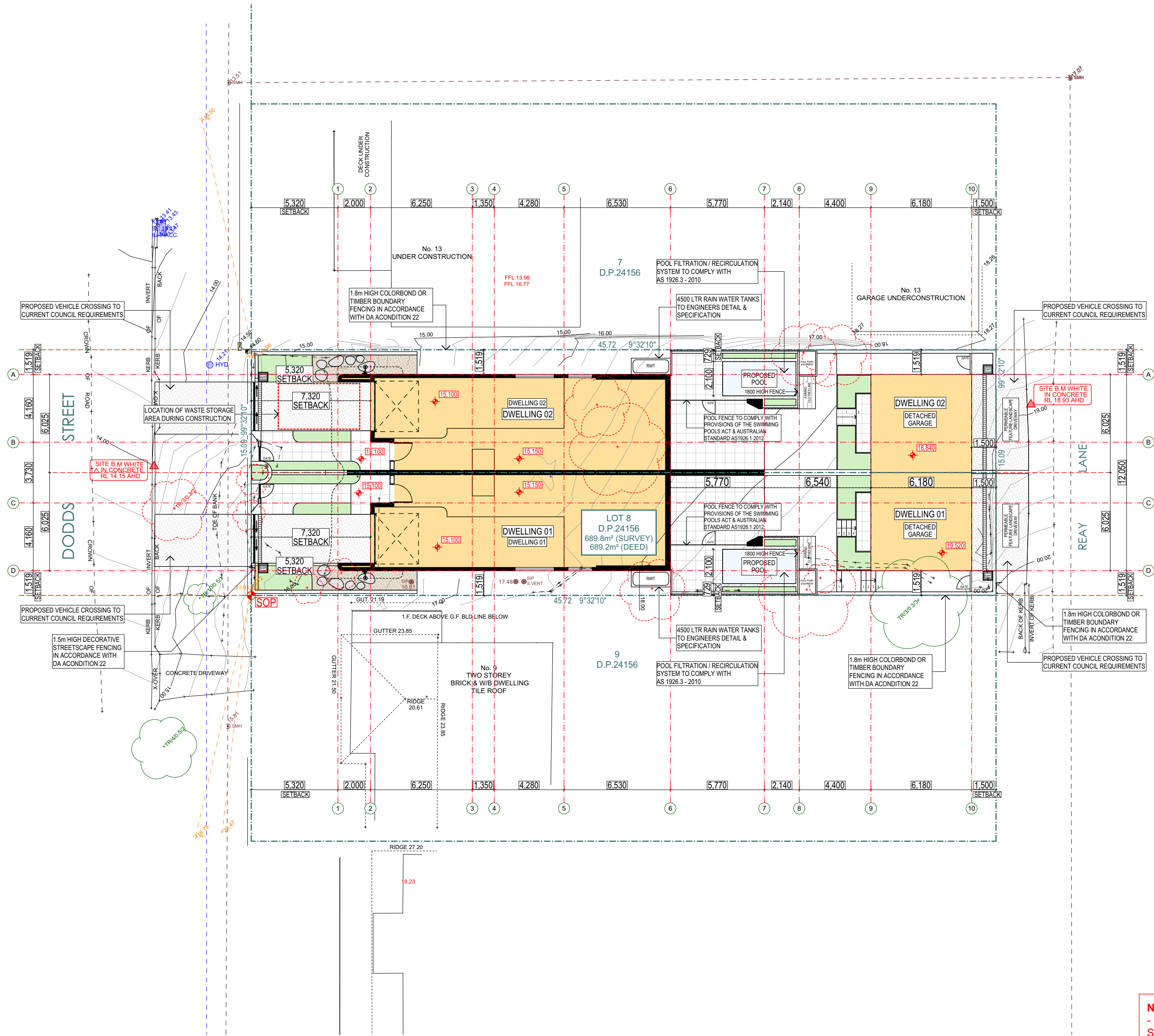
SURVEY BY OTHERS

NOTES:
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- ALL SITE BOUNDARIES ARE TO BE CONFIRMED BY THE SURVEYOR PRIOR TO & DURING CONSTRUCTION
- ALL SETBACKS ARE TO BE CONFIRMED ON SITE BY THE SURVEYOR PRIOR TO & DURING CONSTRUCTION
- ANY SITE/SURVEY DISCREPANCIES ARE TO BE REPORTED TO SHADE DESIGN NEWCASTLE PTY LTD IMMEDIATELY



DISCONNECT AND CAP EXISTING SERVICES. TO BE RECONNECTED BY RELEVANT PROFESSIONALS

CONFIRM BUILDING DIMENSIONS PRIOR TO & DURING CONSTRUCTION



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- ALL STAIRWAYS & RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 11.2
- ALL EXTERNAL WALLS <900mm FROM BOUNDARIES ARE TO BE FIRE RATED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 9.2

SURVEY BY OTHERS

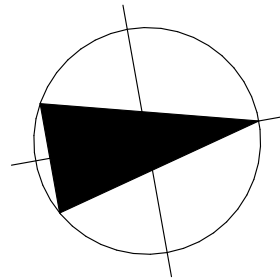
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1:200	Demolition Plan
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PROJECT
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Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd



Drawing
Site Plan
Drawing No.
A-020

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2449
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As Shown @ A2

Revision	Description
A	Construction Certificate
B	Added BAL Notes
C	Changed Stair Balustrade

Date
20.02.26
26.02.26
23.03.26

SHADE ARCHITECTS

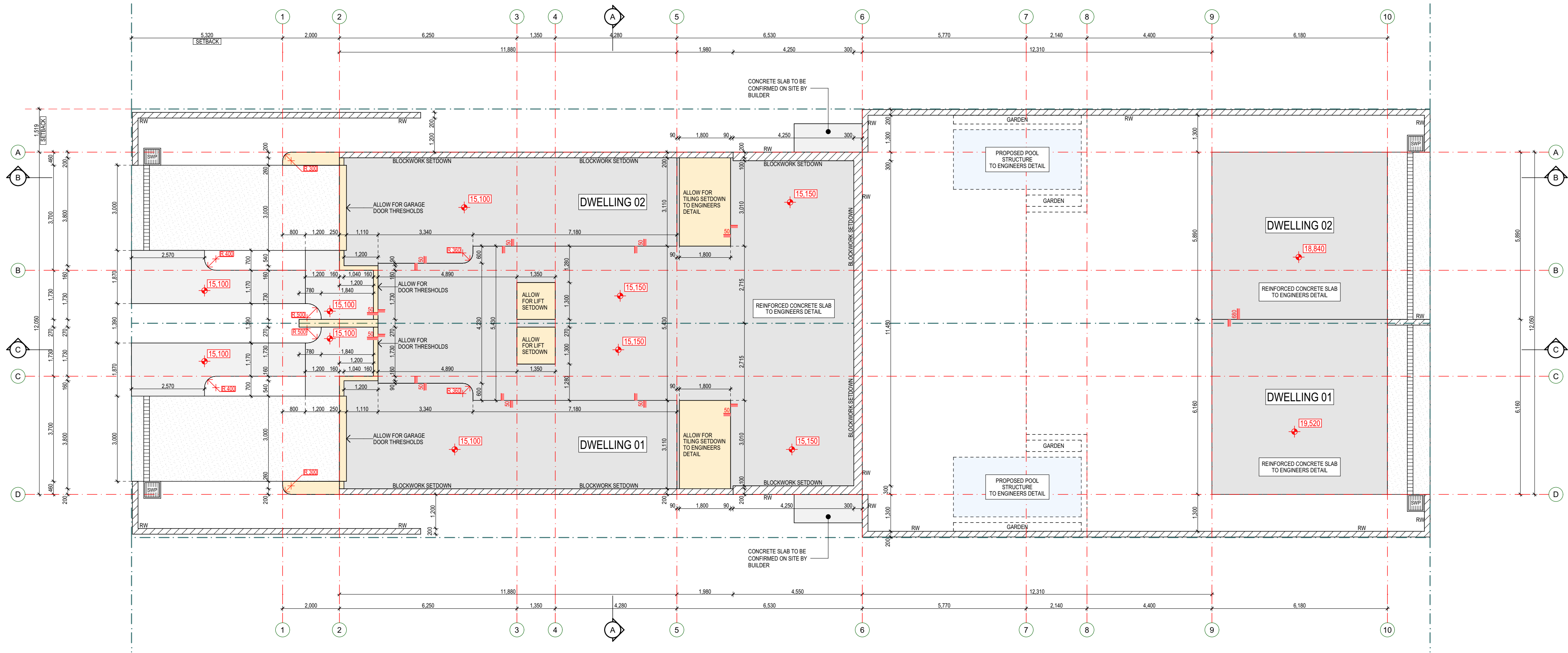
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Nominated Architect - Timothy Graham | Registration Number - 12385

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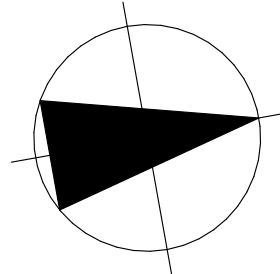
CONFIRM BUILDING DIMENSIONS PRIOR TO & DURING CONSTRUCTION

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 - ALL EXTERNAL WALLS <900mm FROM BOUNDARIES ARE TO BE FIRE RATED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 9.2



1:100	Slab Setout Plan
-------	------------------

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd



Drawing
Slab Set-out Plan
Drawing No.
A-050

Project Number
2449
Scale
As Shown @ A2

Revision	Description
A	Construction Certificate
B	Added BAL Notes
C	Changed Stair Balustrade

Date
20.02.26
26.02.26
23.03.26

SHADE
ARCHITECTS

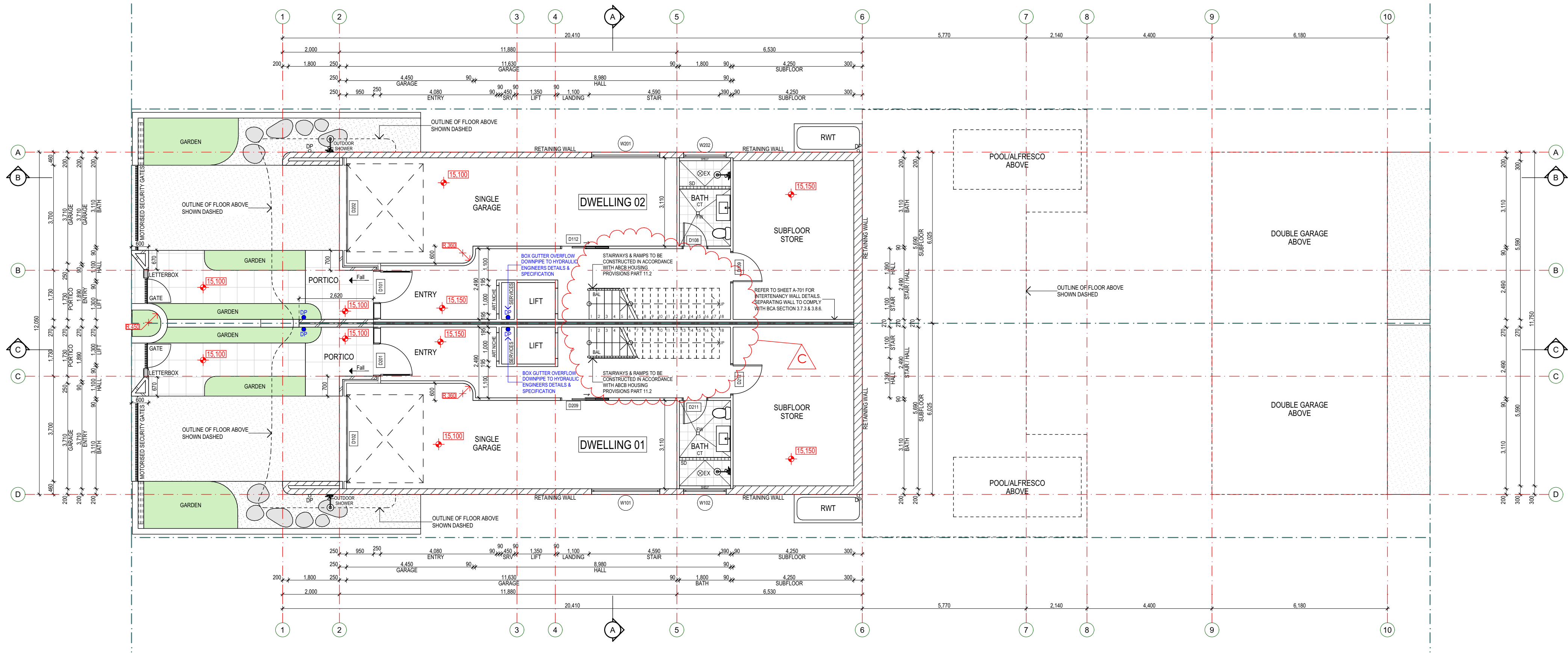
Nominated Architect - Timothy Graham
Registration Number: 12385
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m : 0412 879 643

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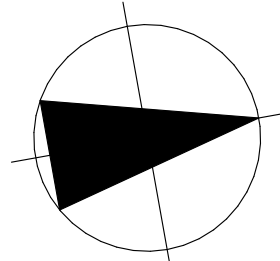
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1:100 Ground Floor Plan

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd



Drawing
Ground Floor Plan
Drawing No.
A-100

Project Number
2449
Scale
As Shown @ A2

Revision Description
A Construction Certificate
B Added BAL Notes
C Changed Stair Balustrade

Date
20.02.26
26.02.26
23.03.26

SHADE
ARCHITECTS

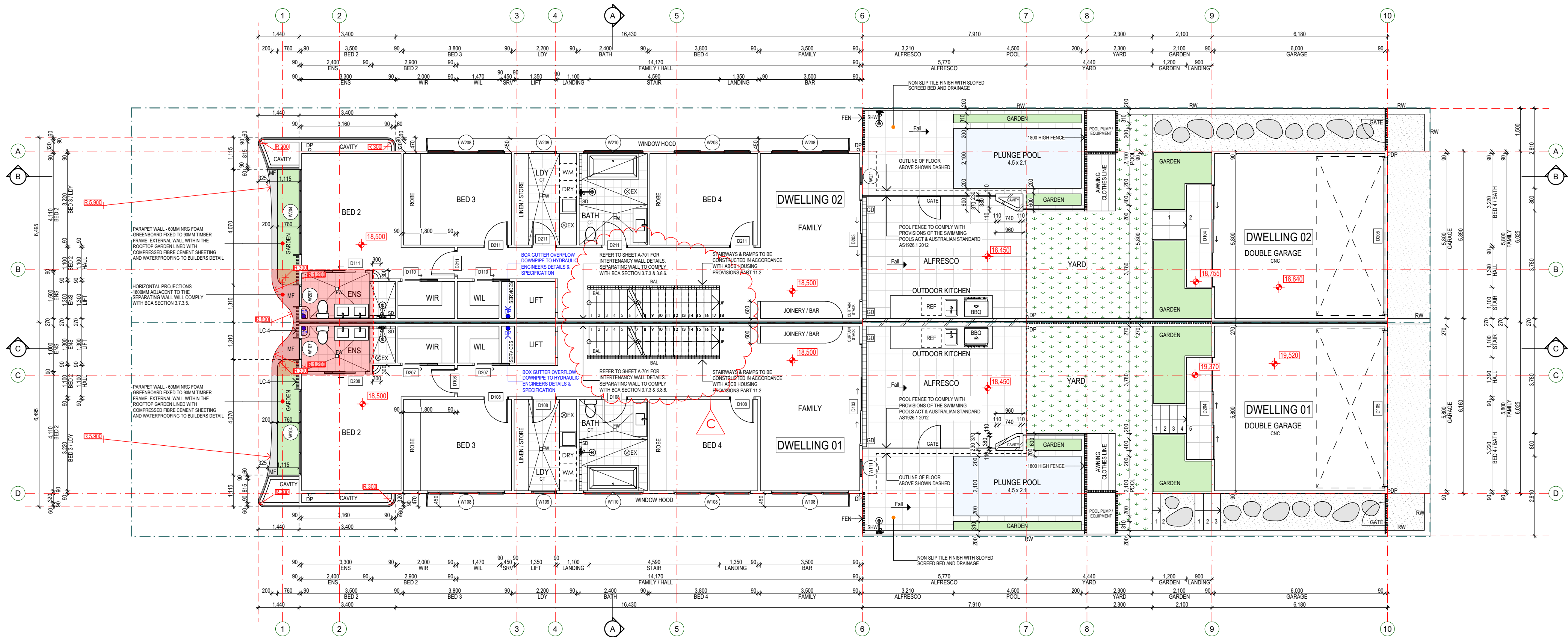
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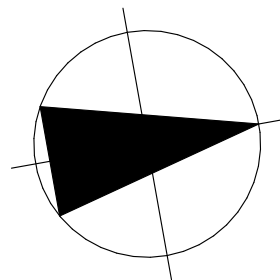
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1:100 First Floor Plan

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd



Drawing
First Floor Plan

Drawing No.
A-101

Project Number
2449

Scale
As Shown @ A2

Revision	Description
A	Construction Certificate
B	Added BAL Notes
C	Changed Stair Balustrade

Date
20.02.26
26.02.26
23.03.26

SHADE
ARCHITECTS

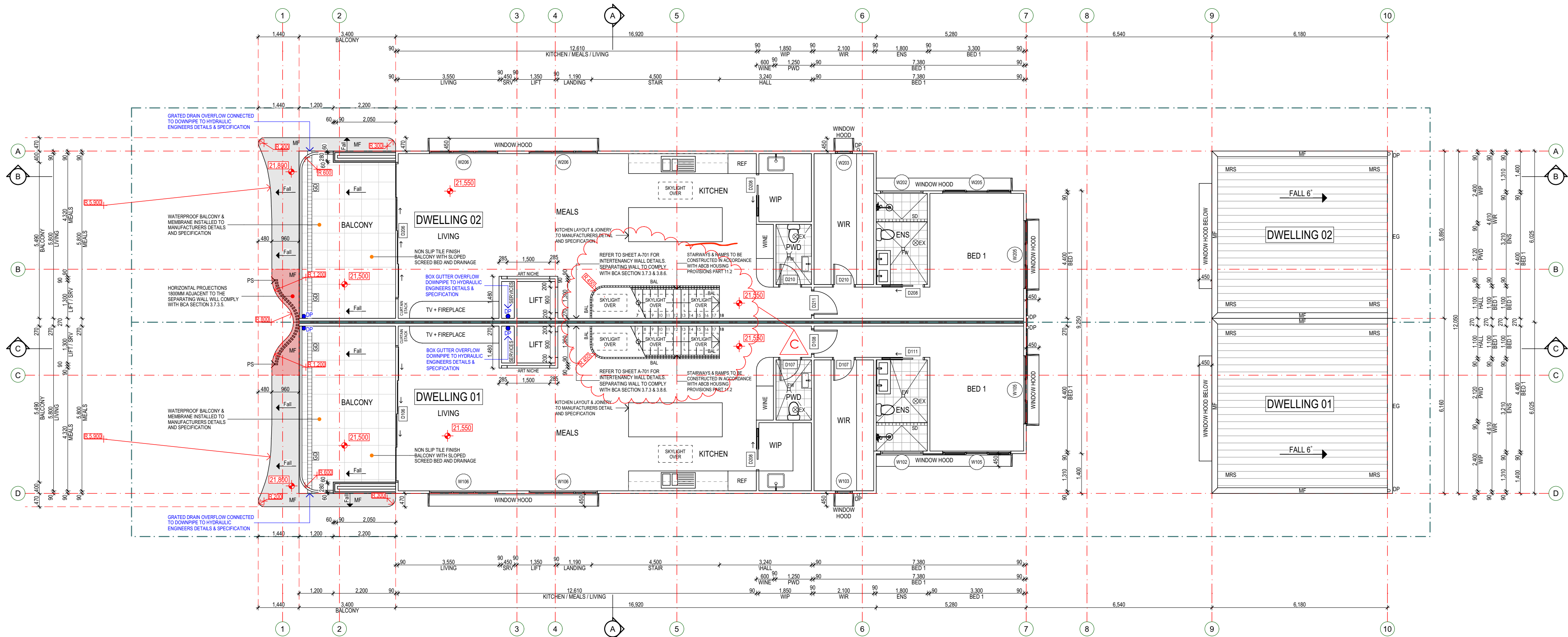
Nominated Architect - Timothy Graham
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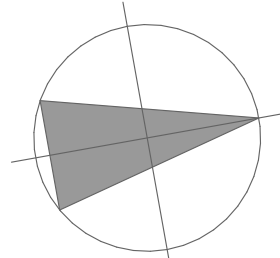
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1:100 Second Floor Plan

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd



Drawing
Second Floor Plan
Drawing No.
A-101

Project Number
2449
Scale
As Shown @ A2

Revision	Description
A	Construction Certificate
B	Added BAL Notes
C	Changed Stair Balustrade

Date
20.02.26
26.02.26
23.03.26

SHADE
ARCHITECTS

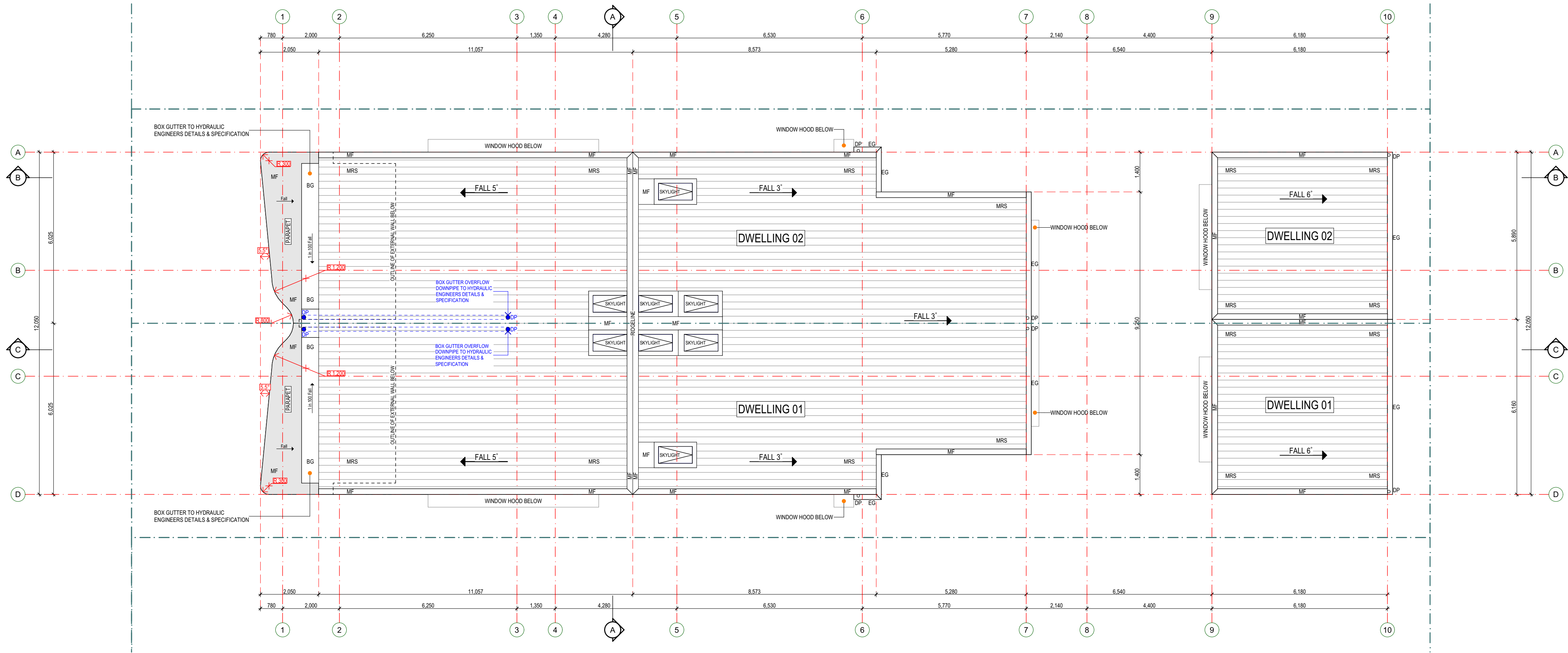
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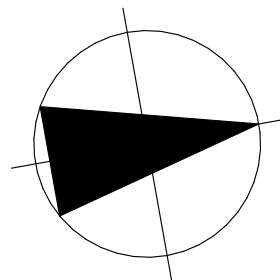
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1:100	Roof Plan
-------	-----------

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd



Drawing
Roof Plan
Drawing No.
A-102

Project Number
2449
Scale
As Shown @ A2

Revision	Description
A	Construction Certificate
B	Added BAL Notes
C	Changed Stair Balustrade

Date
20.02.26
26.02.26
23.03.26

SHADE
ARCHITECTS

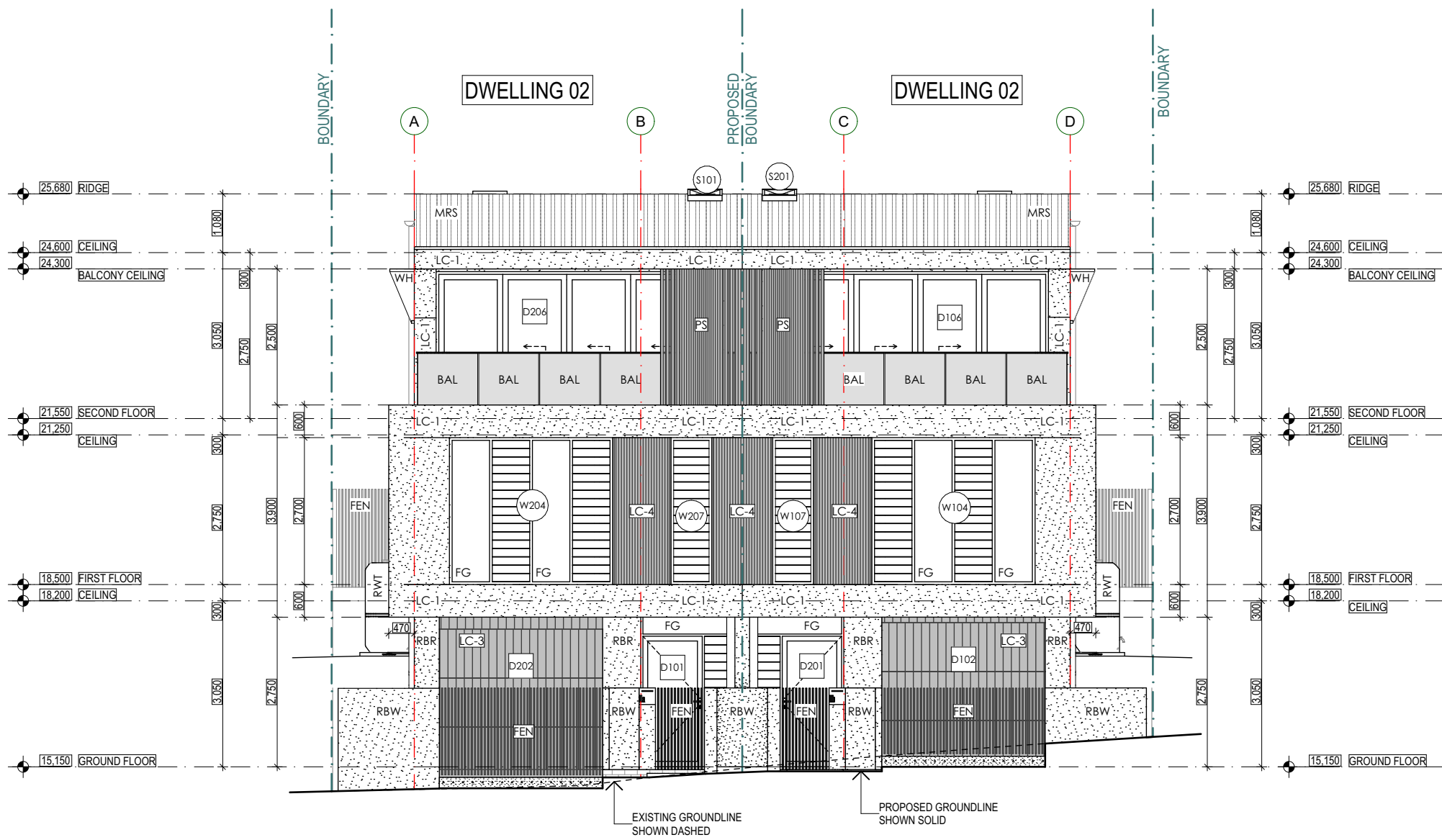
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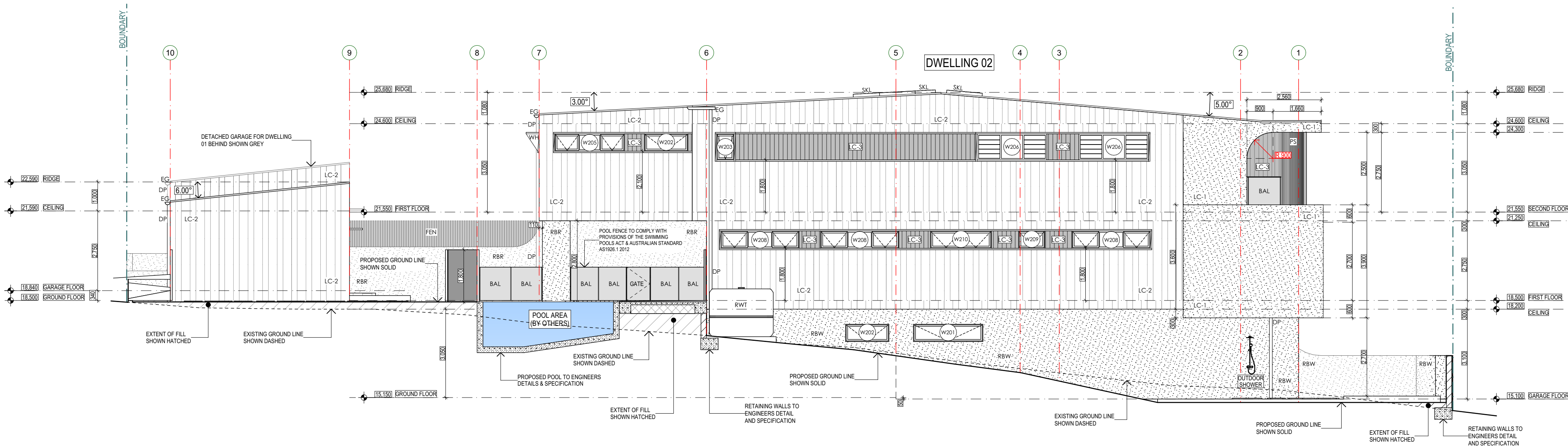
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E-01
1:100

SOUTH ELEVATION



E-02
1:100

WEST ELEVATION

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Elevations
Drawing No.
A-300

Project Number
2449
Scale
As Shown @ A2

Revision Description
A Construction Certificate
B Added BAL Notes
C Changed Stair Balustrade

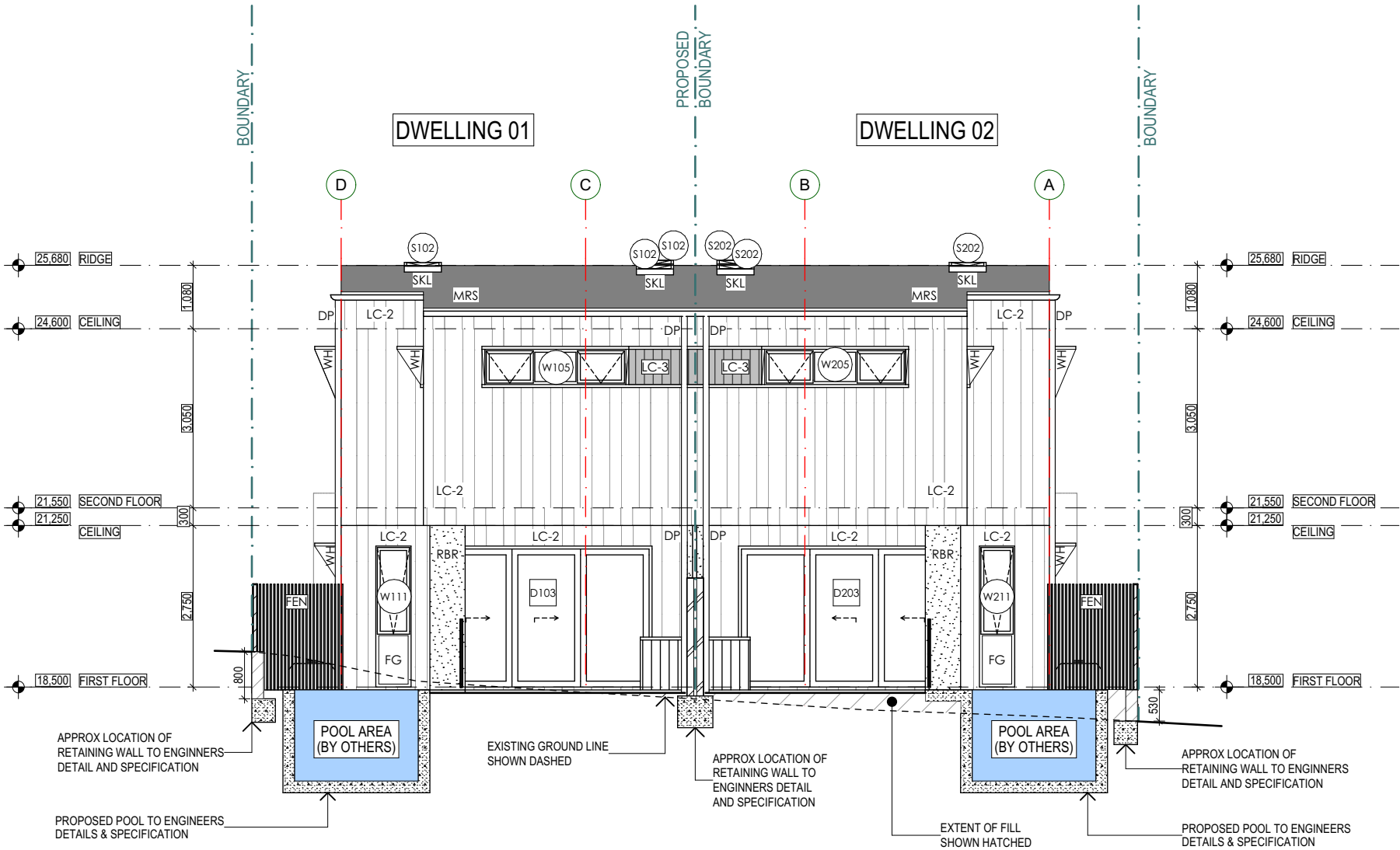
Date
20.02.26
26.02.26
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SHADE
ARCHITECTS

Nominated Architect - Timothy Graham
Registration Number: 12385
e : info@shadedesign.net.au
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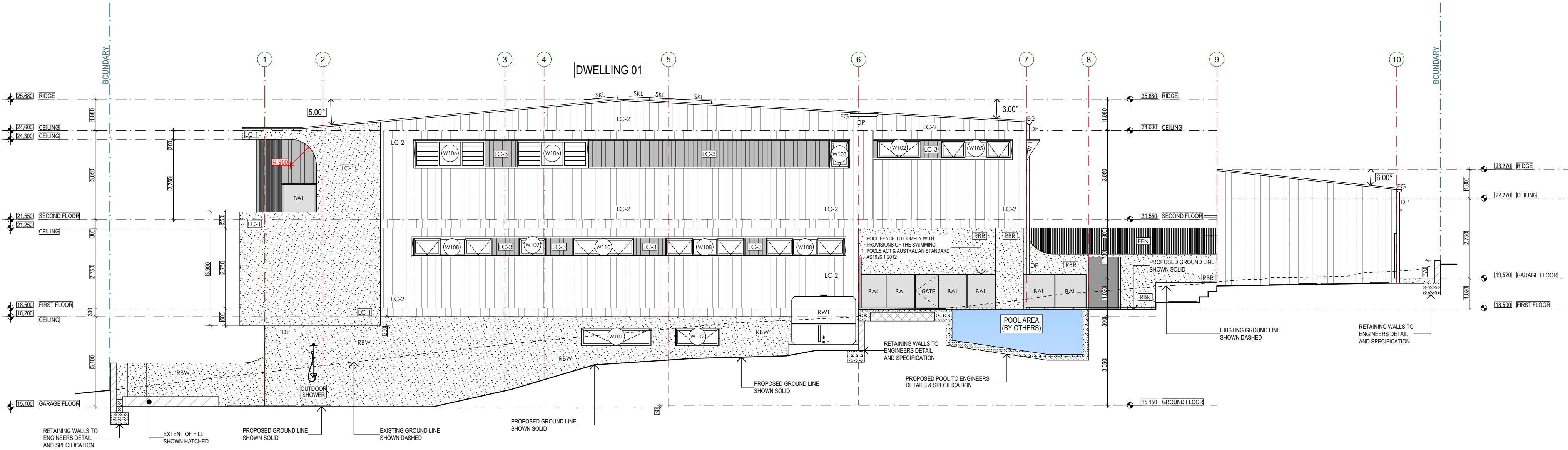
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E-03
1:100

NORTH ELEVATION



E-04
1:100

EAST ELEVATION

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PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Elevations
Drawing No.
A-301

Project Number
2449
Scale
As Shown @ A2

Revision	Description	Date
A	Construction Certificate	20.02.26
B	Added BAL Notes	26.02.26
C	Changed Stair Balustrade	23.03.26

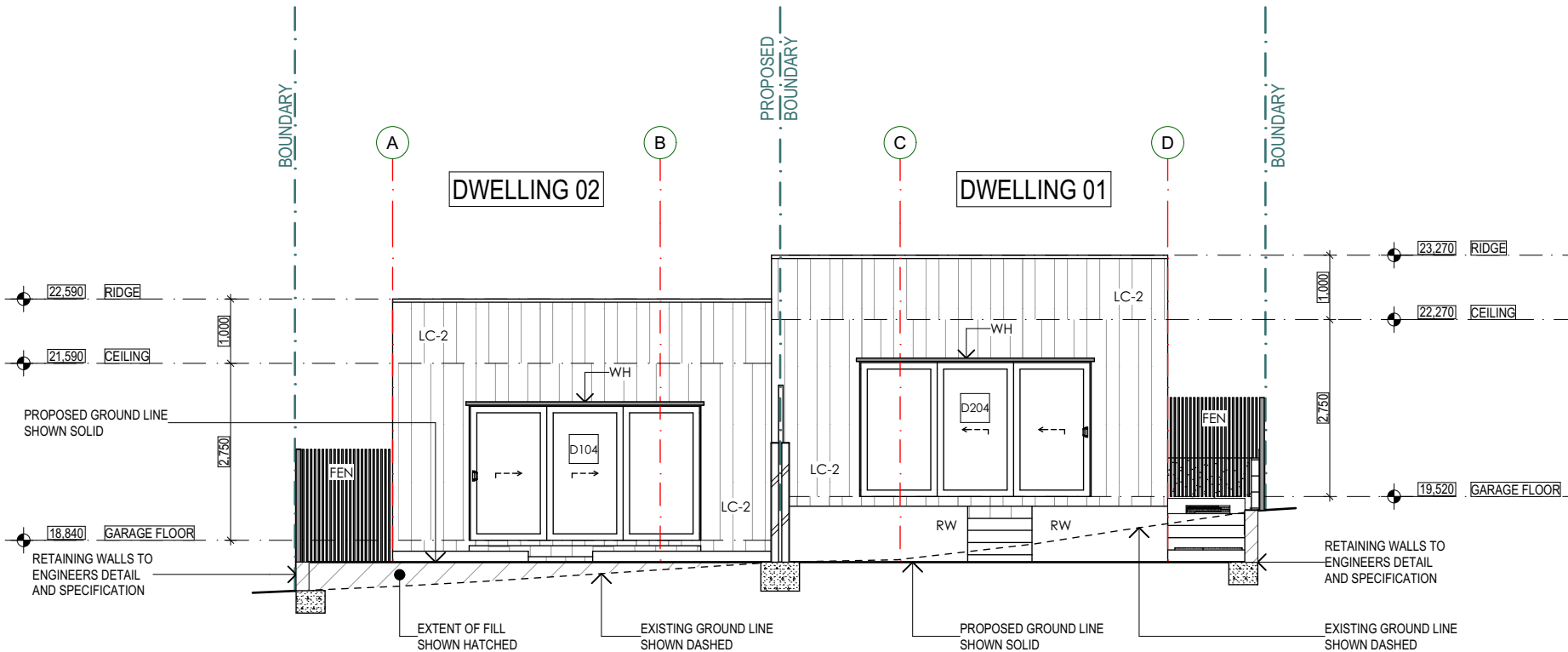
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Nominated Architect - Timothy Graham
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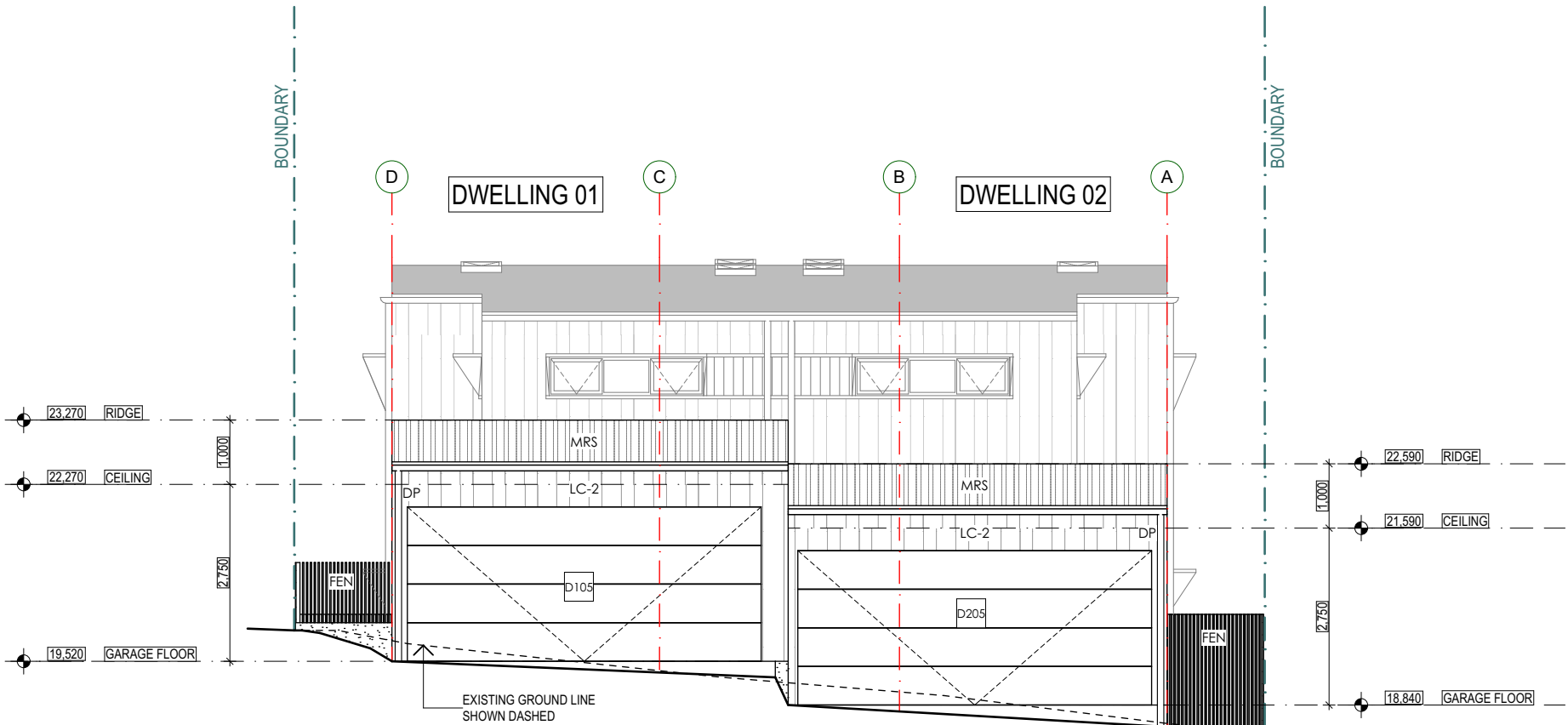
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E-05 SOUTH ELEVATION
1:100



E-06 NORTH ELEVATION
1:100

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Elevations
Drawing No.
A-302

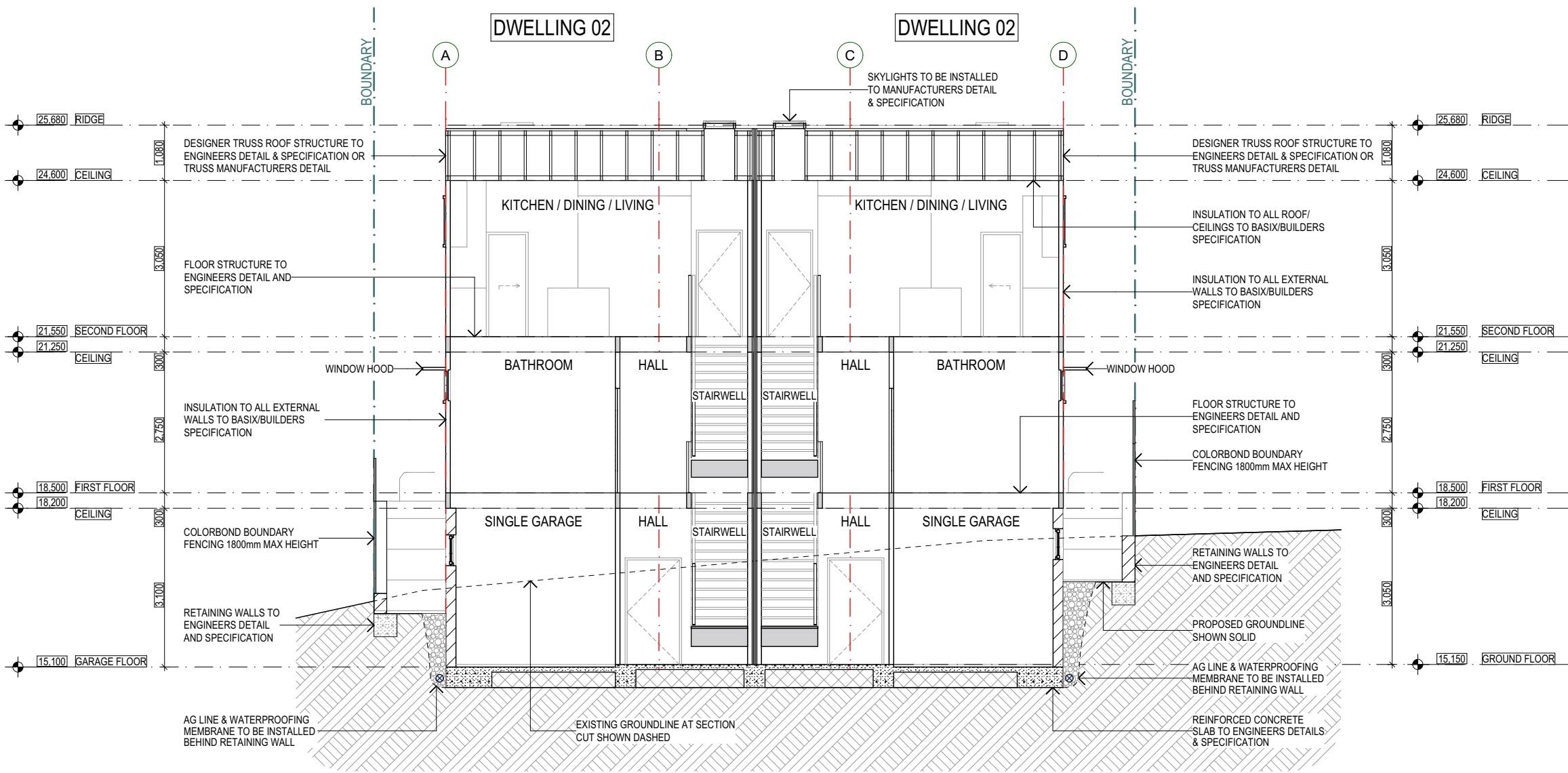
Project Number
2449
Scale
As Shown @ A2

Revision	Description	Date
A	Construction Certificate	20.02.26
B	Added BAL Notes	26.02.26
C	Changed Stair Balustrade	23.03.26

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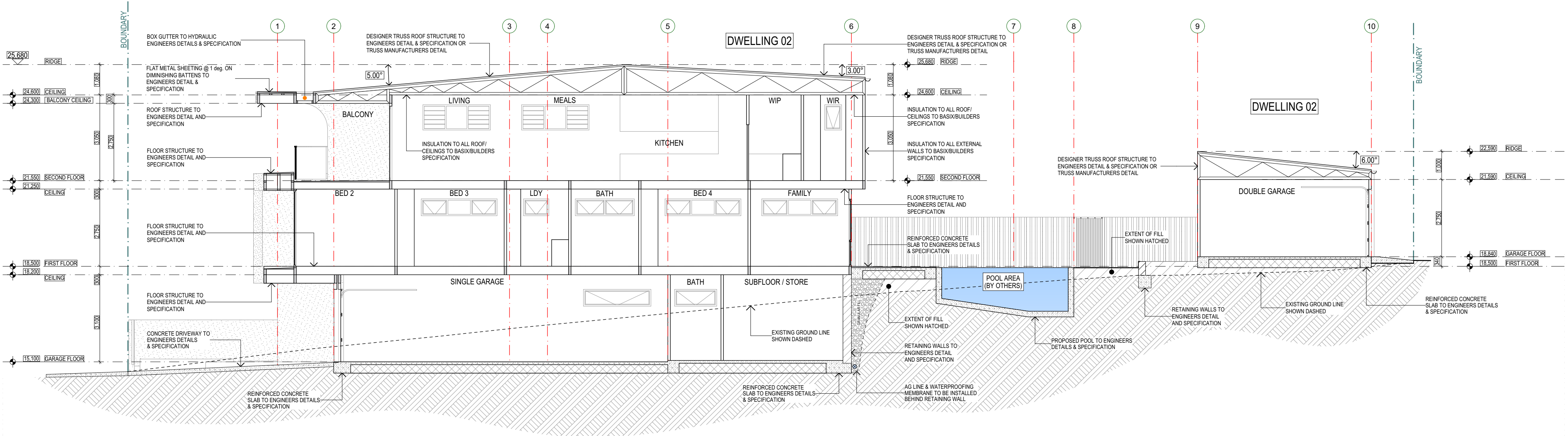
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Nominated Architect - Timothy Graham
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A
1:100

SECTION A-A



B
1:100

SECTION B-B

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 - DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER. ALL LOCATIONS AND POSITIONS TO COMPLY WITH BCA SECTION 3.5.3 TO BE CONFIRMED BY BUILDER & READ IN CONJUNCTION WITH HYDRAULIC ENGINEERS DETAILS & SPECIFICATION.
 - ALL STAIRWAYS & RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 11.2
 - ALL EXTERNAL WALLS <900mm FROM BOUNDARIES ARE TO BE FIRE RATED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 9.2

- SECTION NOTES:**
- ALL TIMBER BEAMS & POSTS EXPOSED TO OUTSIDE ELEMENTS ARE TO BE TREATED PINE OF APPROPRIATE GRADE OR SUITABILITY OF TIMBER WITH A HIGH RESISTANCE TO TERMITES, SEALED & FINISHED CORRECTLY. CHECK LOCAL AUTHORITIES STANDARD OF PRACTICE.
 - PRE-FABRICATED FRAME TO MANUFACTURERS SPECIFICATION AND IN ACCORDANCE WITH AS 1684 (NATIONAL TIMBER FRAMING CODE). ALSO BRACED TO CORRECT WIND RATING IN ACCORDANCE WITH AS 4055 (WIND LOADS FOR HOUSING). BUILDER TO DETERMINE WIND RATING.
 - INSTALLATION OF WET AREA WATERPROOFING WHERE MOISTURE/ WATER ARE CONCERNED INCLUDING ROOF/SHOWER/CONCRETE SLAB IN CONSTRUCTION OF THIS DWELLING ARE TO BE SUITABLY FLASHED AND TREATED IN ACCORDANCE WITH AS 3740 AND RELEVANT STANDARDS.
 - ALL TREATMENT IN ACCORDANCE WITH AS 3660.1 NEW BUILDING WORK.
 - ALL BEAMS TO PITCHING POINTS e.g BULKHEADS TO FRAMING MANUFACTURERS SPECIFICATION.

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Sections
Drawing No.
A-400

Project Number
2449
Scale
As Shown @ A2

Revision	Description
A	Construction Certificate
B	Added BAL Notes
C	Changed Stair Balustrade

Date
20.02.26
26.02.26
23.03.26

SHADE
ARCHITECTS
Nominated Architect - Timothy Graham
Registration Number: 12385
e : info@shadedesign.net.au
m : 0412 879 643

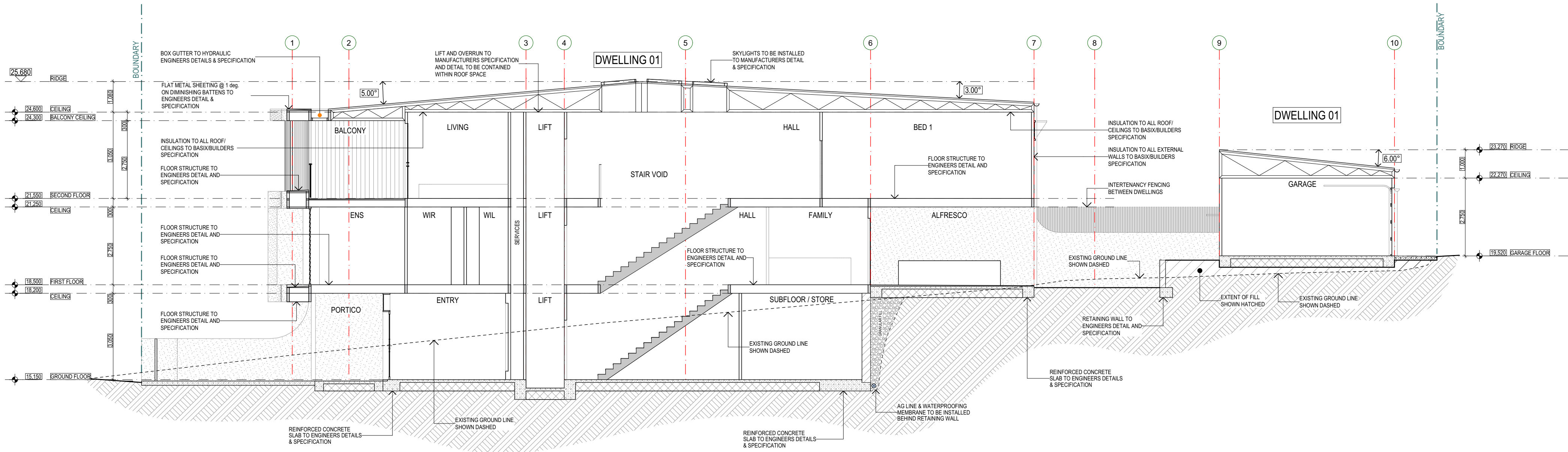
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Nominated Architect - Timothy Graham | Registration Number - 12385

(ISSUED FOR CONSTRUCTION CERTIFICATE)

CONFIRM BUILDING DIMENSIONS PRIOR
TO & DURING CONSTRUCTION

- NOTES:**
- BUILDER TO CONFIRM LEVELS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE BUILDING DESIGNER BEFORE CONSTRUCTION.
 - USE FIGURED DIMENSIONS ONLY. **DO NOT** SCALE FROM DRAWINGS
 - BOUNDARY INFORMATION SUPPLIED BY BUILDER/SURVEYOR. BUILDER TO CONFIRM ALL BOUNDARY INFORMATION PRIOR TO CONTRACTS AND/OR COMMENCEMENT OF WORK.
 - ALL SETBACKS TO COMPLY WITH LOCAL REQUIREMENTS UNLESS NOTED ON THIS SHEET. IN WHICH CASE A SEPARATE APPLICATION FOR RELAXATION IS TO BE APPLIED FOR AS PART OF BUILDING APPROVAL.
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 - ALL STAIRWAYS & RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 11.2
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- SECTION NOTES:**
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C	SECTION C-C
1:100	

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Sections
Drawing No.
A-401

Project Number
2449
Scale
As Shown @ A2

Revision	Description	Date
A	Construction Certificate	20.02.26
B	Added BAL Notes	26.02.26
C	Changed Stair Balustrade	23.03.26

(ISSUED FOR CONSTRUCTION CERTIFICATE)

**SHADE
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BASIX Notes

11 Dodds Street Redhead				
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT				
<i>This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au</i>				
WATER COMMITMENTS				
Fixtures				
4 Star Shower Heads	Yes (> 6 but <= 7.5 L/min)			
4 Star Kitchen / Basin Taps	Yes	4 Star Toilet	Yes	
Alternative Water				
Minimum Tank Size (L)	1500	Collected from Roof Area (m2)	60	
Tank Connected To:				
All Toilets	Yes	Laundry W/M Cold Tap	Yes	
One Outdoor Tap	Yes			
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water	Heat Pump 15 to 20 STCs			
Cooling System	Living	1 Phase A/C Ducted		EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Ducted		EER 3.0 - 3.5
Heating System	Living	1 Phase A/C Ducted		EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Ducted		EER 3.0 - 3.5
Ventilation	1 x Bathroom	Fan ducted to exterior		Manual on/off
	Kitchen	Fan ducted to exterior		Manual on/off
	Laundry	Fan ducted to exterior		Manual on/off
Natural Lighting	Window/Skylight in Kitchen			Yes
	Window/Skylight in Bathrooms/Toilets			Yes to 3
OTHER COMMITMENTS				
Outdoor clothes line	Yes			
Stove/Oven	Induction cooktop & electric oven			
Alternative Energy	Photovoltaic System: 1.1 kW to each unit			
Pool	Max Vol: 15 KL, no heating, pump with timer, pool cover			

REFER TO BASIX DOCUMENT FOR COMPLETE DETAILS

PROJECT
Dodds Street
Dual Occupancy

11 Dodds Street Redhead 2290

CLIENT
Redhead 24 Pty Ltd

Drawing

BASIX Notes

Drawing No.
A-700

Project Number

2449

Scale
As Shown @ A2

Revision	Description	Date
A	Construction Certificate	20.02.26
B	Added BAL Notes	26.02.26
C	Changed Stair Balustrade	23.03.26
(ISSUED FOR CONSTRUCTION CERTIFICATE)		

SHADE
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Nominated Architect - Timothy Graham
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June 2025	BSA Reference: 21192
Building Sustainability Assessments	Ph: (02) 4962 3439
enquiries@buildingsustainability.net.au	www. buildingsustainability.net.au
Important Note	
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. Be aware that BASIX does not over-ride the BCA and the NSW variations must be complied with.	
Thermal Performance Specifications (does not apply to garage)	
External Wall Construction	
Added Insulation	
190 Core Filled Blockwork & Lightweight	
R2.7	
Internal Wall Construction	
Added Insulation	
Plasterboard on studs R2.5 to walls adjacent to garage, baths & laundry (ensuites excluded)	
Plasterboard + studs + shaft liner + studs + Plasterboard (party walls)	
R2.0 + R2.0	
Ceiling Construction	
Added Insulation	
Plasterboard	
R7.0 to ceilings adjacent to roof space & decks above	
Roof Construction	
Colour (Solar Absorptance)	
Added Insulation	
Metal	
Dover White (SA 0.28)	
Foil + R1.3 blanket	
Floor Construction	
Covering (if not noted default values used)	
Added Insulation	
Concrete (225mm Waffle pod)	
As drawn	
None	
Lightweight 35mm Concrete Panel	
As drawn	
R5.0 to floors adjacent to garage	
Lightweight 35mm Concrete Panel	
As drawn	
R5.0 to floors where open below	
Windows	
Glass and frame type	
U value	
SHGC Range	
Area sq m	
Performance glazing Type B	
4.50	
0.58 - 0.64	
to louvres	
Performance glazing Type A	
2.91	
0.42 - 0.46	
to all other UNO	
Performance glazing Type B	
2.90	
0.48 - 0.54	
to all other UNO	
Type A windows are awning windows, bifolds, casements, tilt 'n 'turn' windows, entry doors, french doors	
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres	
Skylights	
Glass and frame type	
U	
SHGC	
Area sq m	
Detail	
Double glazed clear	
As drawn	
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified	
Shade elements	
(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn	
Ceiling Penetrations	
(downlights, exhaust fans, flues etc)	
Downlights are modelled as IC rated with insulation fitted over the fixtures	
All exhaust fans are modelled as sealed	
Ceiling Fans used in the Modelling and to be installed in the following areas:	
1x 1200mm to each bedroom; 3x 1400mm to living areas (family, meals & living).	

NATHERS HOUSE

Certificate No. #HR-90LXBQ-01

Scan QR code or follow website link for rating details.

Assessor name

Krzysztof Kwiatkowski

Accreditation No.

DMN/24/2214

Property Address

11 Dodds Street , Redhead, NSW, 2290

http://www.hero-software.com.au/pdf/HR-90LXBQ-01

NOTES:

1. BUILDER TO CONFIRM WITH SELECTED WINDOW/DOOR MANUFACTURER ALL WINDOW/DOOR DIMENSIONS, OPENING DIRECTIONS & HINGE LOCATIONS.

2. PLEASE REFER TO CURRENT BASIX REPORT FOR ENERGY. PERFORMANCE REQUIREMENTS & SPECIFICATIONS.

3. BUILDER TO CONFIRM LEVELS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE BUILDING DESIGNER BEFORE CONSTRUCTION.

4. USE FIGURED DIMENSIONS ONLY. **DO NOT** SCALE FROM DRAWINGS.

5. ALL UPPER FLOOR OPERABLE WINDOWS ABOVE 800AFL ARE PERMANENTLY RESTRICTED TO 125mm OR FITTED WITH A NON REMOVEABLE ROBUST SCREEN AS PER ABCB HOUSING PROVISIONS PART 11.3.

Typical Intertenancy Wall Detail

NOTE:
BUILDER TO CONFIRM ALL SIZES AND CONSTRUCTION DIMENSIONS OF
SELECTED MANUFACTURERS INTERTENANCY WALL

PLEASE REFER TO CURRENT SELECTED MANUFACTURERS INTERTENANCY
WALL DETAILS FOR SPECIFIC DETAILING

COURTESY OF KNAUF®

PARTIWALL®

PWT60.1

FIRE RESISTANCE LEVEL
LB 60/60/60
FROM BOTH SIDES

FRL Basis: FCO-3359



SYSTEM DESCRIPTION
Side 1:
- Non-fire resistant lining (refer to table)
- Timber framing
- 20mm min gap between timber frame and fire barrier
- Insulation (refer to table)
Fire Barrier:
- 1x25mm SHAFTLINER MOULDSTOP between 25mm H-studs @ 600mm ctrs
Side 2:
- Non-fire resistant lining (refer to table)
- Timber framing
- 20mm min gap between timber frame and fire barrier
- Insulation (refer to table).

ACOUSTIC RATINGS BASIS: RT&A TE405-20S06				DISCONTINUOUS CONSTRUCTION		
SYSTEM	LINING SIDE 1	LINING SIDE 2	NOM WIDTH mm	STUD SIZE (GAP) mm	70(20)	90(20)
				INSULATION*	R _w (R _w +C _{tr})	
PWT60.1A	1x10mm SOUNDSTOP	1x10mm SOUNDSTOP	265	KI 90G11 (both cavities)	NA	63(50)
PWT60.1B	1x13mm SOUNDSTOP	1x13mm SOUNDSTOP	231	KI 90G11 (both cavities)	62(52)	NA
			271	KI 90G11 (both cavities)	NA	64(55)
				KI 90G11 (one cavity only)	NA	58(50)
PWT60.1C	1x13mm WETSTOP	1x13mm WETSTOP	271	KI 90G11 (both cavities)	NA	62(50)
PWT60.1D	1x10mm SOUNDSTOP	1x10mm WETSTOP	265	KI 90G11 (both cavities)	NA	62(50)
PWT60.1E	1x13mm SOUNDSTOP	1x10mm WETSTOP	228	KI 90G24 (both cavities)	60(50)	NA
			268	KI 90G11 (both cavities)	NA	62(53)
PWT60.1M	2x10mm WETSTOP	2x10mm WETSTOP	245	KI 90G11 (both cavities)	66(54)	NA
			285	KI 90G11 (one cavity only)	NA	62(52)
PWT60.1X	2x10mm SHEETROCK ONE	2x10mm SHEETROCK ONE	245	KI 90G11 (both cavities)	62(51)	NA
			285	KI 90G11 (both cavities)	NA	64(54)

* KI 90G11 - 90mm glasswool insulation 11kg/m³ density
KI 90G24 - 90mm glasswool insulation 24kg/m³ density

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Typical Intertenancy Wall Details
Drawing No.
A-701
Project Number
2449
Scale
As Shown @ A2

Revision	Description	Date
A	Construction Certificate	20.02.26
B	Added BAL Notes	26.02.26
C	Changed Stair Balustrade	23.03.26
(ISSUED FOR CONSTRUCTION CERTIFICATE)		

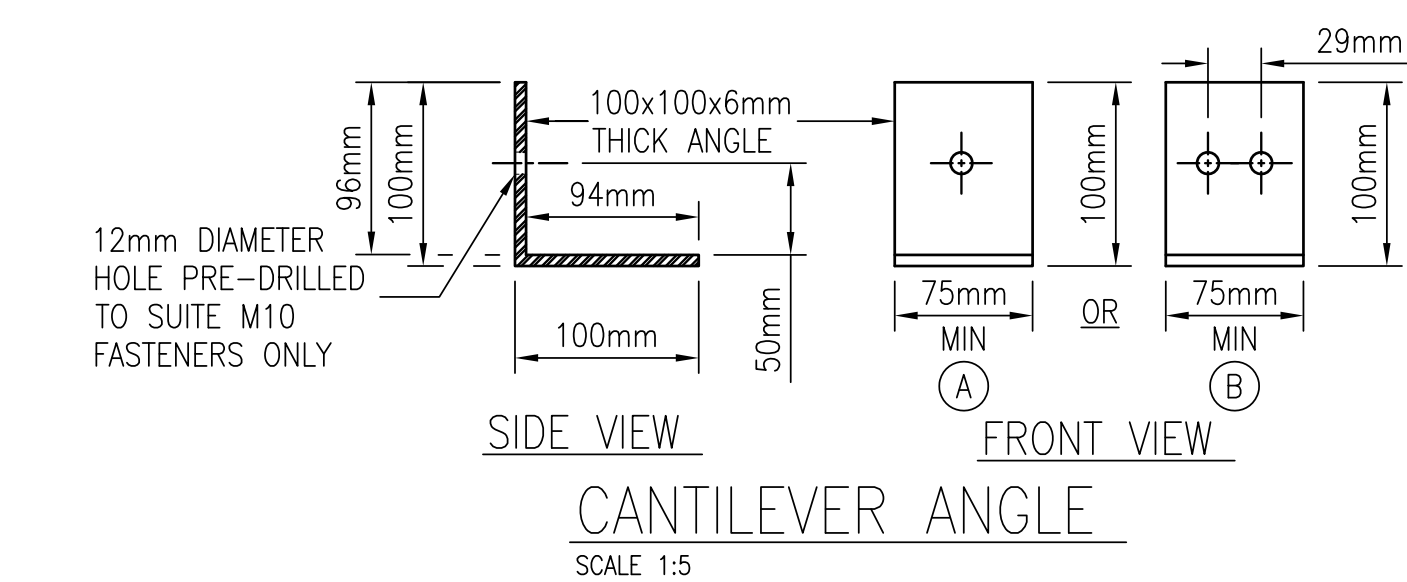
SHADE
ARCHITECTS

Nominated Architect - Timothy Graham
Registration Number: 12385
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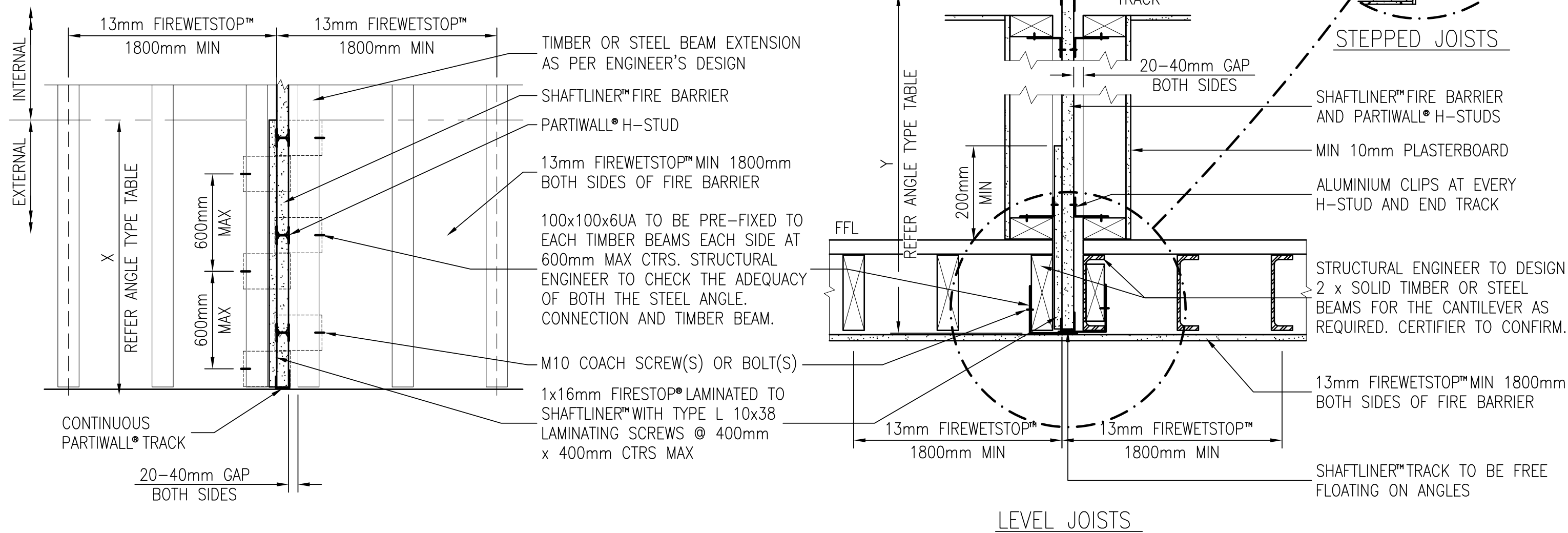
Intertenancy Wall Cantilever Detail

COURTESY OF KNAUF®



ANGLE TYPE TABLE		
CANTILEVER [X](mm)	WALL HT [Y](mm)	ANGLE
<1500	<6000	(A)
<1500	<9000	(B)
1501-2000	<6000	(B)
1501-2000	<9000	(B)
2001-2500	<6000	(B)

NOTE:
EXTERNAL CEILINGS SHOULD BE PAINTED WITH A THREE COAT EXTERIOR PAINT SYSTEM INCLUDING A SEALER UNDERCOAT AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS



PARTIWALL® CANTILEVER PLAN
SCALE 1:10 FRL 60/60/60 SHOWN [FCO-3359]

PARTIWALL® CANTILEVER DETAIL
SCALE 1:10 FRL 60/60/60 SHOWN [FCO-3359]

NOTE:
BUILDER TO CONFIRM ALL SIZES AND CONSTRUCTION DIMENSIONS OF SELECTED MANUFACTURERS INTERTENANCY WALL

PLEASE REFER TO CURRENT SELECTED MANUFACTURERS INTERTENANCY WALL DETAILS FOR SPECIFIC DETAILING

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Typical Intertenancy Wall
Cantilever Details
Drawing No.
A-702

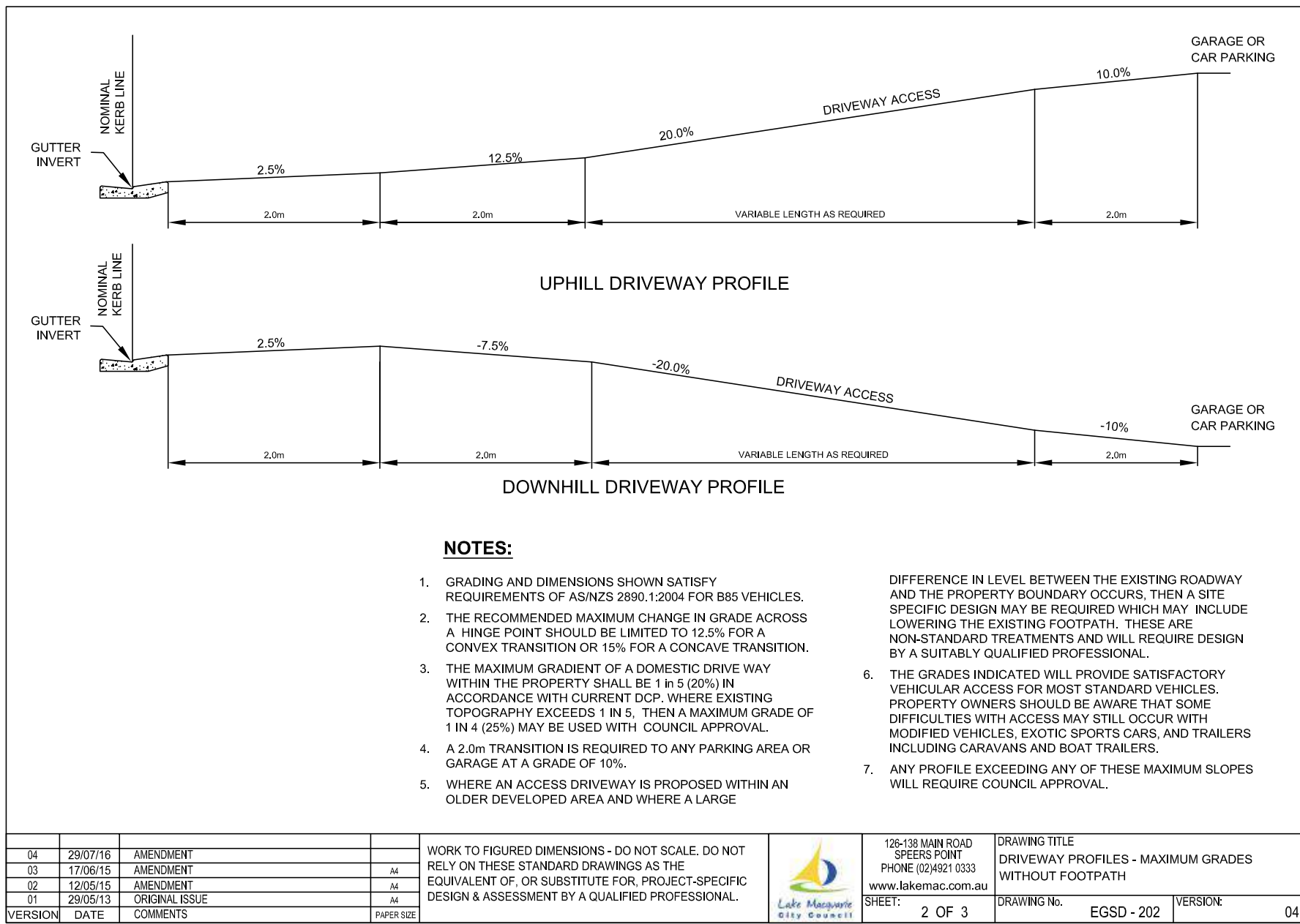
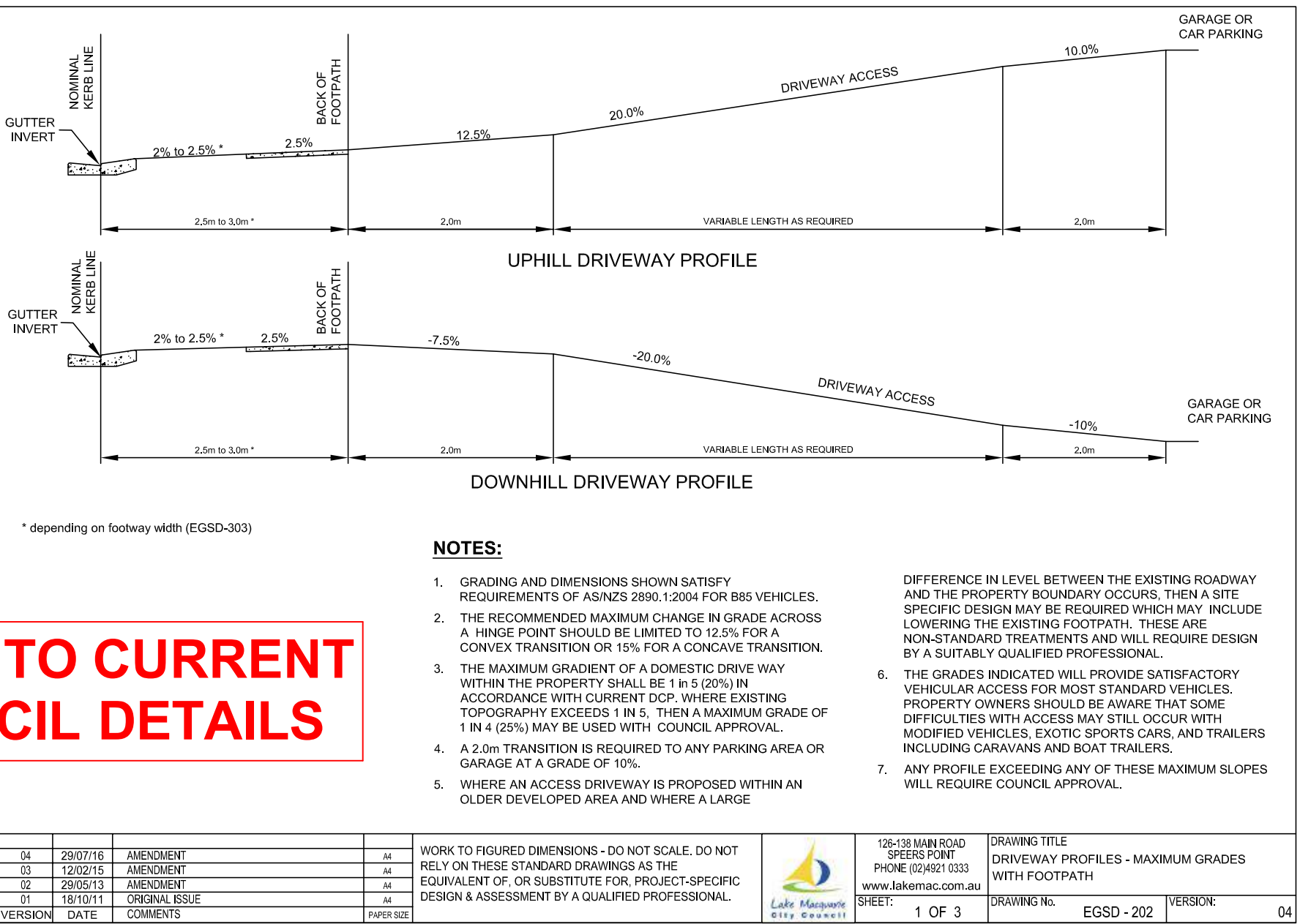
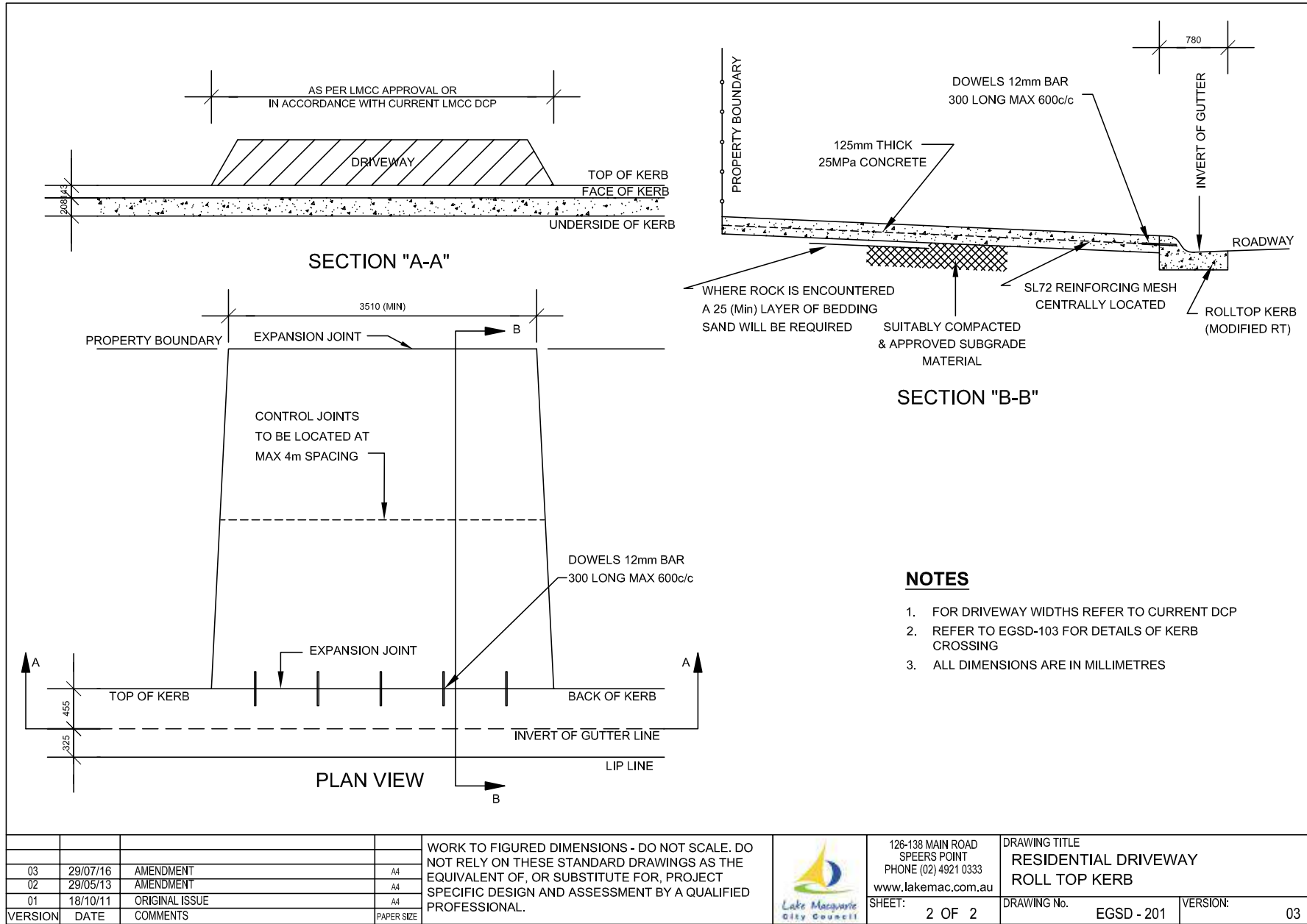
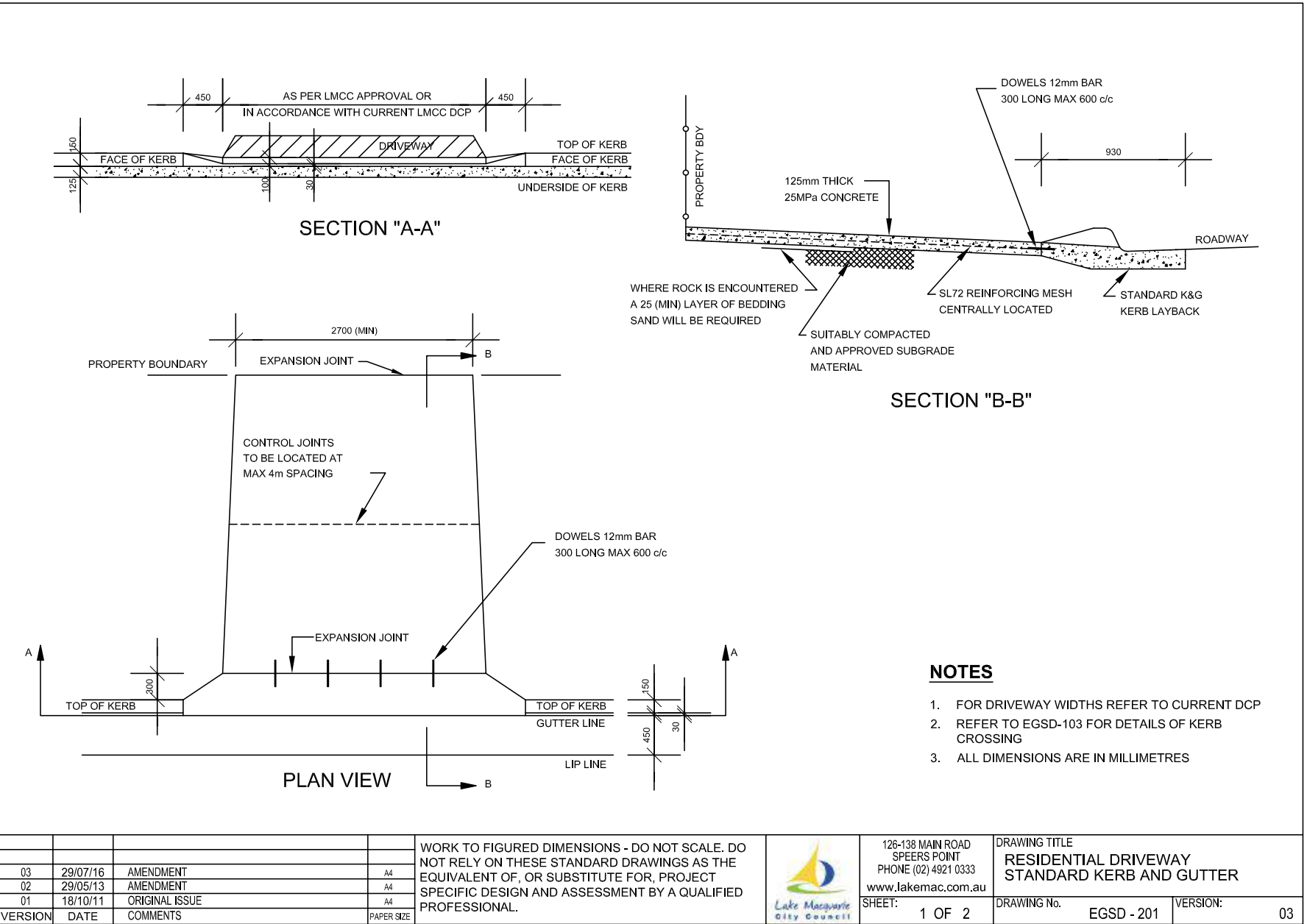
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REFER TO CURRENT COUNCIL DETAILS

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Driveway Details
Drawing No.
A-703

Project Number
2449
Scale
As Shown @ A2

Revision Description Date
A Construction Certificate 20.02.26
B Added BAL Notes 26.02.26
C Changed Stair Balustrade 23.03.26
(ISSUED FOR CONSTRUCTION CERTIFICATE)

SHADE ARCHITECTS
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ARTIST IMPRESSION

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Perspectives

Drawing No.
A-704

Project Number
2449

Scale
As Shown @ A2

Revision	Description	Date
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BUSHFIRE ATTACK LEVEL REQUIREMENTS BAL 12.5 AS PER AS3959 - 2018 & PLANNING FOR BUSHFIRE PROTECTION 2019.

Unless otherwise required in Clause 3.6.1 and Sections 5 to 9, combustible external mouldings, jointing strips, trims and sealants may be used for decorative purposes or to cover joints between sheathing materials.

3.4 HIGHER LEVELS OF CONSTRUCTION
The construction requirements specified for a particular Bushfire Attack Level (BAL) shall be acceptable for a lower level.

NOTE: For example, if the site has been assessed at BAL 12.5, BAL 12.5 construction is required; however, any element or combination of elements contained BAL 19, BAL 29, BAL 40 and BAL 47 levels of construction may be used to satisfy this Standard.

3.5 REDUCTION IN CONSTRUCTION REQUIREMENTS DUE TO SHIELDING
Where an elevation is not exposed to the source of bushfire attack, then the construction requirements for that elevation can reduce to the next lower BAL. However it shall not reduce to below BAL 12.5, as elevation is deemed to be not exposed to the source of bushfire attack if all of the straight lines between that elevation and the source of bushfire attack are obstructed by another part of the building (see Figure 3.1). However, it shall not reduce to below BAL 12.5.

The shielding of an elevation shall apply to all the elements of the wall, including openings, but shall not apply to soffits or roofs.

3.6 VENTS, WEEPHOLES AND GAPS

3.6.1 Vents, weepholes, joints and the like
All gaps including vents, weepholes and the like shall be screened, except for weepholes to the sills of windows and doors.

All joints shall be suitably backed with a breathable sarking or mesh, except as permitted by Clause 3.3.

The maximum allowable aperture of any mesh or perforated material used as a screen shall be 2mm.

Windows conformant with AS2047 will satisfy the requirements for gap protection. Screens fitted to window openings shall have a maximum aperture of 2.0mm and these shall be tight fitting to the frame.

3.6.2 Gaps to doors and window openings
Where screens are fitted to the door openings for ember protection, they shall have a maximum aperture of 2.0mm and be tight fitting to the frame in the closed position. Gaps between doors including jambs, heads or sills (thresholds) shall be protected using draught seals and excluders or the like (see Figure 3.2).

Windows conformant with AS2047 will satisfy the requirements for gap protection. Screens fitted to window openings shall have a maximum aperture of 2.0mm and these shall be tight fitting to the frame.

3.6.3 Vents, weepholes, joints and the like
All joints shall be suitably backed with a breathable sarking or mesh, except as permitted by Clause 3.3.

The maximum allowable aperture of any mesh or perforated material used as a screen shall be 2mm.

C.S.1: Weepholes from the frames of windows and glazed doors and those gaps between doors and door jambs, heads or sills (thresholds) that may exceed 3mm (see Figure 3.2) are covered by the requirements of this Standard.

3.7 BUSHFIRE SHUTTERS
Bushfire shutters shall:

(a) Protect the entire window assembly including framing, glazing, sash and sill;

(b) Protect the entire door assembly including framing, glazing, sill and hardware;

(c) consist of materials specified in Clauses 5.5.1, 6.5.1, 7.5.1, 8.5.1 and 9.5.1 for the relevant BAL;

(d) be fitted to the building and be non-removable;

(e) be capable of being closed manually from either inside or outside of motorised shutter systems, where they are not reliant on mains power to close;

NOTE: If power assisted shutter systems are used then that system is powered with continuous back-up energy such as a battery system.

(f) When in the closed position, have no gap greater than 2mm between the shutter and the wall, frame or sill, and

(g) when perforated, have a uniformly distributed perforations with a maximum aperture of 2mm and a perforated area no greater than 20% of the shutter.

If bushfire shutters are fitted to all external doors, then at least one of these shutters shall be operable from the inside to facilitate safe egress from the building.

3.8 TESTING TO AS 1538.8
Unless otherwise specified, elements of construction and system satisfy this Standard when tested in accordance with the AS1538.8 series for the relevant BAL level and Crib Class in Table 3.2.

Elements of construction or system satisfies the test criteria in the AS1538.3:2007 with Crib Class A prior to the issue of this Standard are acceptable.

Where any element of construction or system satisfies the test criteria in the AS1538.3 series without screening for ember protection, the requirements of this standard for screening of operable parts of windows shall still apply.

Where a window protected with a shutter satisfies the test criteria of the AS1538.3 series, the additional requirements of this Standard for screening of operable parts of windows do not apply.

NOTE: The ember protection function of tested shutter has been verified by the testing.

3.9 GLAZING
Glazing requirements shall be in accordance with Sections 5 to 9 of this Standard.

NOTE:

1. Where double-glazed units are used, the glazing requirements provided in this Standard apply to the external face of the window assembly only.

2. Refer to AS1288 for an explanation of the terminology used to describe various types of glass in this Standard.

3.10 SARKING
NSW variation PRP 2018
Any sarking used to BAL 12.5, BAL 19, BAL 29 OR BAL 40 shall be:

(a) non-combustible; or

(b) breathe-type sarking complying and comply with AS/NZS 4200.1, and with a flammability index of not more than 5 (see AS1530.2.2) and sarked on the outside of the frame; or

(c) an insulation material conforming to the appropriate AS for that material.

3.11 TIMBER LOG WALLS
Where the thickness of a timber log wall is specified in Sections 5, 6 and 7, two criteria are nominated, as follows:

(a) The nominal overall thickness is the overall thickness of the wall.

(b) The minimum thickness is the thickness of the log at the interface of two logs in the wall.

For most log profiles, the thickness of the log at the interface with an adjacent log is less than the overall thickness of the wall.

BUSHFIRE ATTACK LEVEL REQUIREMENTS BAL 12.5 AS PER AS3959 - 2018 & PLANNING FOR BUSHFIRE PROTECTION 2019.

5.1 GENERAL:
A building assessed in Section 2 as being BAL 12.5 shall comply with Section 3 and Clauses 5.2 to 5.8.

Any element of construction or system that satisfies the test criteria of AS 1538.1 may be used in lieu of the applicable requirements contained in Clauses 5.2 to 5.8 (see Clause 3.8).

NOTE: BAL 12.5 is primarily concerned with protection from ember attack and radiant heat up to and including 12.5 kW/m² where the site is less than 100 m from the source of bushfire attack.

5.2 SUB FLOOR:
5.2.1 Subfloor supports (NSW Variation - via PRP 2019)
AS 3959 does not provide construction requirements for subfloor supports where the subfloor space is enclosed with:

(a) a wall that complies with AS 3959 Clause 5.4 as appropriate; or

(b) a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium; or

(c) a combination of items (a) and (b) above.

Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be:

(i) of non-combustible material; or

(ii) of bush fire-resisting timber (see Appendix F of AS 3959); or

(iii) a combination of items (i) and (ii) above.

5.3 FLOORS:
5.3.1 Concrete slabs on ground
This Standard does not provide construction requirements for concrete slabs on the ground.

5.3.2 Elevated floors (NSW Variation - via PRP 2019)
5.3.2.1 Enclosed subfloor space
This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with:

(a) a wall that complies with AS3959 Clause 5.4 or

(b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or

(c) a combination of items (a) and (b) above.

5.3.2.2 Unenclosed subfloor space
Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

(a) Materials that comply with the following:

(i) Bearers and joists shall be:

(A) non-combustible; or

(B) bushfire-resisting timber (see Appendix F of AS 3959); or

(C) a combination of items (A) and (B) above.

(ii) Flooring shall be:

(A) non-combustible; or

(B) bushfire-resisting timber (see Appendix F of AS 3959); or

(C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or

(D) a combination of any of items (i), (B) or (C) above.

(iii) System complying with AS 1330.1.1.

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

5.4 EXTERNAL WALLS:
5.4.1 General
The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the wall (see Figure D3, Appendix D) shall be one of the following:

(a) Full masonry or masonry veneer with an isal head of clay, concrete, calcium silicate or natural stone;

(b) Precast or in situ walls of concrete or aerated concrete;

(c) Timber logs of a species with a density of 680 kg/m³ or greater at a 12% moisture content, of a minimum nominal overall thickness of 90mm and a minimum thickness of 70mm (see Clause 3.11); and gauge plated; or

(d) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is:

(i) non-combustible material; or

(ii) bushfire-resisting timber (see Appendix F); or

(iii) a timber species as specified in Paragraph E1, Appendix E; or

(iv) a combination of any of items (i), (ii), (iii) or (iv); or

(v) a combination of any of items (a), (b) or (c) above.

5.4.2 Bushfire shutters
Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from -

(a) non-combustible material; or

(b) a timber species as specified in Paragraph E1, Appendix E; or

(c) bushfire-resisting timber (see Appendix F); or

(d) a combination of any of items (a), (b) or (c) above.

5.4.3 Bushfire shutters
Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium.

The frame supporting the mesh or perforated sheet shall be made from -

(a) metal; or

(b) bushfire-resisting timber (see Appendix F); or

(c) a timber species as specified in Paragraph E2, Appendix E.

5.4.4 Windows and sidelights
Window assemblies shall:

(a) be completely protected by a bushfire shutter that complies with Clause 3.7 and Clause 5.5.1, or

(b) be completely protected externally by screens that comply with Clause 3.6 and Clause 5.5.2, (for this Clause 5.5.3b), the screening needs to be applied to cover the entire assembly, that is including framing, glazing, sash, sill and hardware); or

(c) Conform with the following:

(i) Frame material - For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame (see Figure D3, Appendix D), window frames and window sashes shall be made from one of the following:

(A) Bushfire-resisting timber (see Appendix F); or

(B) A timber species as specified in Paragraph E2, Appendix E; or

(C) Metal; or

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel. There are no specific restrictions on frame material for all other windows.

(ii) Hardware - There are no specific restrictions on hardware for windows.

(iii) Glazing - Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame (see Figure D3, Appendix D), this glazing shall be Grade A safety glass a minimum 4 mm in thickness, or glass blocks with no restriction on glazing methods.

NOTE: Where double glazed assemblies are used above the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.

(iv) Seals and weather strips - There are no specific requirements for seals and weather strips at this BAL level.

(v) Screens - The operable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 5.5.2.

C.S.4.3 For Clause 5.5.3 (c), screening of operable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open.

For Clause 5.5.3 (c)(ii), screening of the operable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on annealed glass and has to be externally fixed. If the screening is required only to the entry of embers, the screening may be fixed externally or internally.

5.4.4 Doors - Side-hung external doors (including French doors, panel fold and to fold doors)
Side-hung external doors, including French doors, panel fold and to fold doors, shall:

(a) be completely protected by bushfire shutters that conform with Clause 3.7 and clause 5.5.1, or

(b) be completely protected externally by screens that conform with Clause 3.7 and Clause 5.5.1, or

(c) Conform with the following:

BUSHFIRE ATTACK LEVEL REQUIREMENTS BAL 12.5 AS PER AS3959 - 2018 & PLANNING FOR BUSHFIRE PROTECTION 2019.

(i) Door panel material - Materials shall be:

(A) non-combustible; or

(B) solid timber, laminated timber or reconstituted timber, having a minimum thickness of 35 mm for the first 400mm above the threshold; or

(C) hollow core, solid timber, laminated timber or reconstituted timber with a non-combustible kickplate on the outside for the first 400mm above the threshold; or

(D) hollow core, solid timber, laminated timber or reconstituted timber protected externally by a screen that conforms with Clause 5.5.2, or

(E) for fully framed glazed door panels, the framing shall be made from metal or bushfire-resisting timber (see Appendix F) or a timber species as specified in Paragraph E2, Appendix E or uPVC.

(ii) Door frame material - Door frame materials shall be -

(A) bushfire-resisting timber (see Appendix F); or

(B) a timber species as specified in Paragraph E2 of Appendix E; or

(C) Metal.

(iii) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(iv) Glazing - The glazing shall be Grade A safety glass a minimum of 4mm in thickness, or glass blocks with no restriction on glazing methods.

NOTE: Where double glazed units are used the above requirements apply to the external pane of the window assembly only.

(v) Seals and Weather strips - Weather strips, draft excluders or draught seals shall be installed.

(vi) Screens - There are no requirements to screen the operable part of the door at this BAL level.

(vii) Doors shall be tight fitting to the door frame and to an abutting door, if applicable.

5.5.5 Doors -Sliding doors
Sliding doors shall:

(a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and 5.5.1, or

(b) be completely protected externally by screens that comply with Clause 3.6 and Clause 5.5.2, or

(c) conform with the following:

(i) Frame material - The material for door frames, including fully framed glazed doors, shall be -

(A) bushfire-resisting timber (see Appendix F) or

(B) a timber species as specified in Paragraph E2, Appendix E; or

(C) Metal or

(D) Metal-reinforced uPVC and the reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.

(ii) Hardware - There are no requirements for hardware at this BAL level.

(iii) Glazing - Where doors incorporate glazing, the glazing shall be Grade A safety glass a minimum of 4mm in thickness.

(iv) Seals and weather strips - There are no requirements for seals and weather strips at this BAL level.

(v) Screens - There is no requirement to screen the operable part of the sliding door at this BAL level.

(vi) Sliding panels - Sliding panels shall be tight fitting in the frames.

5.5.6 Doors -Vehicle access doors (garage doors)
The following apply to vehicle access doors:

(a) The level portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from:

(i) non-combustible material; or

(ii) bushfire-resisting timber (see Appendix F); or

(iii) fire-current sheet, a minimum of 6 mm in thickness; or

(iv) a timber species as specified in Paragraph E1, Appendix E; or

(v) a combination of any of items (i), (ii), (iii) or (iv).

(b) All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.

1. Refer to AS/NZS 4505 for door types.

2. Gaps of door edges or building elements should be protected as per Section 3.

C.S.5.4(b) These guide tracks do not provide a direct passage for embers into the building.

(Vehicle access doors with ventilation slots shall be protected in accordance with Clause 6).

5.6 ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIAS & GABLES, AND GUTTER & DOWNPIPES)

5.6.1 General
The following apply to all types of roofs and roofing systems:

(a) Roof tiles, roof sheets and roof covering accessories shall be non-combustible.

(b) The roofwall and rooftop junction shall be sealed or otherwise protected in accordance with Clause 3.6.

(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and, made of corrosion-resistant steel, bronze or aluminium.

(d) Only evaporative coolers manufactured in accordance with AS/NZS 6039.2.8 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need to be screened externally.

5.6.2 Tied roofs
Tied roofs shall be fully sarked. The sarking shall:

(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;

(b) cover the entire roof area including ridges and hips; and

(c) extend into gutters and valleys.

5.6.3 Sheet roofs
Sheet roofs shall:

(a) be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be installed over the battens; or

(b) have any gaps sealed at the fascia or wall line, hips and ridges; or

(c) be a mesh or perforated sheet with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or

(d) mineral wool; or

(e) other non-combustible material; or

(f) a combination of any of items (b), (c) or (d).

C.S.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

5.6.4 Verandas, carport and awning roofs
The following apply to verandas, carport and awning roofs:

(a) A veranda, carport or awning roof forming part of the main roof space (see Figure D1(a), Appendix D) shall meet all the requirements for the main roof, as specified in Clauses 5.6.1 to 5.6.6.

(b) A veranda, carport or awning roof separated from the main roof space by an external wall (see Figures D1(b) and D1(c), Appendix D) conforming with Clause 5.4 shall have a non-combustible roof covering, except where the roof covering is transparent or transparent material.

NOTE: There is no requirement to be the underside of a veranda, carport or awning roof that is separated from the main roof space.

5.6.5 Roof penetrations
The following apply to roof penetrations:

(a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, arials, vent pipes and supports for solar collectors or the like, shall be adequately sealed.

The material used to seal the penetration shall be non-combustible.

(b) Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and be made of corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to a room sealed gas appliance.

NOTE: A gas appliance designed such that air for combustion does not enter into the room in which it is located.

In the case of gas appliance flues, ember guards shall not be fitted.

NOTE: AS/NZS 5961 contains requirements for gas appliance flue systems and codes. Advice can be obtained from manufacturers and State and Territory gas technical regulators.

(c) All overhead glazing shall be Grade A safety glass complying with AS 1288.

(d) Glazed elements in roof lights and skylights may be of polycarbonate provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4mm thickness, shall be used in the outer pane of the IGU.

(e) Fixing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index not exceeding 5.

(f) Evaporative cooling units shall be fitted with non-combustible butterfly covers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium.

(g) Vent pipes made from PVC are permitted.

(h) Eave lighting shall be adequately sealed and not compromise the performance of the element.

5.6.6 Eaves linings, fascias and gables
The following apply to eaves linings, fascias and gables:

(a) Gables shall comply with Clause 3.4.

(b) Eaves penetrations shall be protected in the same as for roof penetrations, as specified in Clause 5.6.5.

(c) Eaves ventilation openings shall be fitted with ember guards in accordance with 3.6 and made of corrosion-resistant steel, bronze or aluminium.

Joists in eaves linings, fascias and gables may be sealed with plastic jointing strips or timber door moulds.

This Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

5.6.7 Gutters and downpipes
This Standard does not provide material requirements for:

(a) gutters, with the exception of box gutters; and

(b) downpipes.

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If installed, gutter and valley leaf guards shall be non-combustible.

Box gutters shall be non-combustible and fastened at the junction with the roof and be non-combustible.

5.7 VERANDAS, DECKS, STEPS AND LANDINGS:

5.7.1 General
Decking may be spaced.

5.7.2 Materials to enclose a subfloor space
This Standard does not require to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

5.7.2.1 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings
(NSW Variation - via PRP 2019)
The subfloor spaces of verandas, decks, steps, ramps and landings are deemed to be 'enclosed' when -

(a) the material used to enclose the subfloor space conforms with Clause 5.4, except that sarking is not required where specified in Clause 5.4.1(c); and

(b) all openings are protected in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.

5.7.2.2 Supports
This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

The Standard does not provide construction requirements for the hanging of verandas, pergolas, decks, ramps or landings (i.e., bearers and joists).

5.7.2.3 Decking, stair treads and the trafficable surfaces of ramps and landings
(NSW Variation - via PRP 2019)
Decking, stair treads and the trafficable surfaces of ramps and landings shall be -

(a) of non-combustible material; or

(b) of bushfire-resisting timber (see Appendix F of AS3959); or

(c) a combination of items (a) and (b) above.

5.7.3 Support
Support posts, columns, stumps, stringers, piers and poles shall be -

(a) of non-combustible material; or

(b) of bushfire-resisting timber (see Appendix F of AS3959); or

(c) a combination of items (a) and (b) above.

5.7.3.2 Framing
Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall be -

(a) of non-combustible material; or

(b) of bushfire-resisting timber (see Appendix F of AS3959); or

(c) a combination of items (a) and (b) above.

5.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings
Decking, stair treads and the trafficable surfaces of ramps and landings shall be -

(a) of non-combustible material; or

(b) of bushfire-resisting timber (see Appendix F of AS3959); or

(c) a combination of items (a) and (b) above.

5.7.4 Balustrades, handrails or other barriers
Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be -

(a) non-combustible material; or

(b) bushfire-resisting timber (see Appendix F of AS3959); or

(c) a combination of items (a) and (b) above.

Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements.

Timber supports, posts and beams shall be made from -

(a) a timber species identified in Paragraph E1, Appendix E of AS3959; or

(b) bushfire-resisting timber identified in Appendix F of AS3959; or

(c) timber logs of a species with a density of 680kg/m³ or greater at a 12% moisture content, of a minimum nominal thickness of 90mm and a minimum thickness of 90mm and thickness of 70mm and gauge plated; or

(d) a combination of (a), (b), (c), or (d).

5.8 WATER AND GAS SUPPLIES
Above-ground, exposed water and gas supply pipes shall be metal.

External gas pipes and fittings above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulations or 0.9mm whichever is the greater.

The metal pipe shall extend a maximum of 400mm within the building and 100mm below ground.

3.2.1 Attached structures:
Where any part of a garage, carport, veranda, balcony, studio, storage area or similar roofed structure is attached to, or shares a common roof space with, a building required to conform with this Standard, the entire garage, carport, veranda or similar roofed structure shall conform with the construction requirements of this Standard, as applicable to the subject building. Alternatively, the structure shall be separated from the subject building by a wall that extends to the underside of a non-combustible roof covering, and that complies with one of the following:

a) The wall shall have an FRL of not less than G060/G0 for loadbearing walls and -G050/G0 for non-loadbearing walls when tested from the attached structure side and shall have openings protected as follows:

(i) Downways - by self-closing doors with an FRL -G030, conforming with AS1905.1 and tested in accordance with AS1530.4

(ii) Windows - by fire windows with an FRL -G01 -when tested in accordance with AS1530.4 and permanently fixed in the closed position.

(iii) Other openings - by construction with an FRL not less than -G01 -when tested in accordance with AS1530.4

NOTE: Control and construction joints, subfloor vents, weepholes and penetrators for pipes and conduits need not comply with the above item (ii).

3.2.2 Garages and carports below the subject building
Where a garage or carport is beneath a building required to comply with this Standard, a shall conform with the construction requirements of this Standard, as applicable to the subject building. Alternatively, any construction separating the garage or carport (including walls and flooring systems) from the remainder of the building shall comply with one of the following:

(a) The separating construction shall have an FRL of not less than G060/G0 for loadbearing construction and -G050/G0 for non-loadbearing construction when tested from the garage or carport side and shall have openings protected in accordance with the following:

(i) Downways - by -G030 self-closing fire doors with an FRL -G030, conforming with AS1905.1 and tested in accordance with AS1530.4

(ii) Windows - by fire windows with an FRL -G01 -when tested in accordance with AS1530.4 and permanently fixed in the closed position.

(iii) Other openings - by construction with an FRL -G01 -when tested in accordance with AS1530.4

NOTE: Control and construction joints, subfloor vents, weepholes and penetrators for pipes and conduits need not comply with the above item (ii).

(d) Other openings - by construction with an FRL not less than -G01 -when tested in accordance with AS1530.4

NOTE: Control and construction joints, subfloor vents, weepholes and penetrators for pipes and conduits need not comply with the above item (ii).

3.2.3 Adjacent structures on the subject allotment
Where any garage, carport, or similar roofed structure on the subject allotment is not attached to a building required to conform with this Standard, that structure shall comply with the construction requirements of this Standard.

Alternatively, the adjacent structure shall be separated from the subject building by one of the following:

(a) A distance of not less than 6 m from the building required to conform with this Standard. This distance is measured as any of the horizontal straight lines from the adjacent structure to the subject building; or

(b) A wall of the building or required to conform that extends to the underside of a non-combustible roof covering and has an FRL of not less than G060/G0 for loadbearing walls and -G0100 for non-loadbearing walls when tested from the outside. Any openings in the wall shall be protected in accordance with the following:

(i) Downways-by self-closing doors with an FRL -G030, conforming with AS1905.1 and tested in accordance with AS1530.4

(ii) Windows-by fire windows with an FRL -G01 -when tested in accordance with AS1530.4 and permanently fixed in the closed position.

(iii) Other openings-by construction with an FRL not less than -G01 -when tested in accordance with AS1530.4

NOTE: Control and construction joints, subfloor vents, weepholes and penetrators for pipes and conduits need not comply with the above item (ii).

(d) Windows-by fire windows with an FRL -G01 -when tested in accordance with AS1530.4 and permanently fixed in the closed position.

(e) Other openings-by construction with an FRL not less than -G01 -when tested in accordance with AS1530.4

NOTE: Control and construction joints, subfloor vents, weepholes and penetrators for pipes and conduits need not comply with the above item (ii).

3.3 EXTERNAL MOULDINGS

PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290

CLIENT
Redhead 24 Pty Ltd

Drawing
BAL Notes

Drawing No.
A-705

Project Number
2449

Scale
As Shown @ A2

Revision	Description	Date
A	Construction Certificate	20.02.26
B	Added BAL Notes	26.02.26
C	Changed Stair Balustrade	23.03.26

(ISSUED FOR CONSTRUCTION CERTIFICATE)

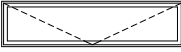
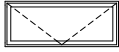
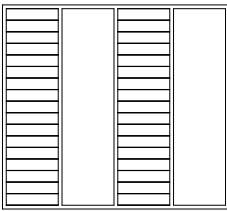
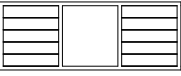
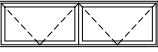
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ARCHITECTS

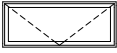
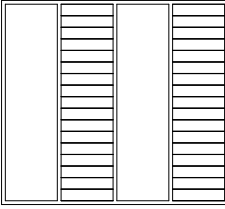
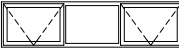
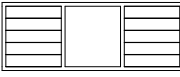
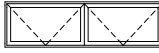
Nominated Architect - Timothy Graham
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CONFIRM OPENING DIRECTIONS ON SITE

CONFIRM FINAL SIZING ON SITE

Window Schedule															
ID	S101	S102	S201	S202	W101	W102	W103	W104	W105	W106	W107	W108	W109	W110	W111
Quantity	1	3	1	3	1	2	1	1	2	2	1	3	1	1	1
Height	---	---	---	---	600	600	900	2,700	600	900	2,700	600	600	600	2,400
Width	---	---	---	---	2,400	1,500	600	3,000	2,400	2,400	750	2,700	900	2,100	600
Type	Skylight	Skylight	Skylight	Skylight	Awning	Awning	Awning	Louvre/Fixed/Louvre/Fixed	Awning/Fixed/Awning	Louvre/Fixed/Louvre	Louvre	Awning/Fixed/Awning	Awning	Awning/Awning	Awning/Fixed Transom
Elevation															

Window Schedule											
ID	W201	W202	W203	W204	W205	W206	W207	W208	W209	W210	W211
Quantity	1	2	1	1	2	2	1	3	1	1	1
Height	600	600	900	2,700	600	900	2,700	600	600	600	2,400
Width	2,400	1,500	600	3,000	2,400	2,400	750	2,700	900	2,100	600
Type	Awning	Awning	Awning	Louvre/Fixed/Louvre/Fixed	Awning/Fixed/Awning	Louvre/Fixed/Louvre	Louvre	Awning/Fixed/Awning	Awning	Awning/Awning	Awning/Fixed Transom
Elevation											

NOTES:

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PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Window Schedule
Drawing No.
A-800

Project Number
2449
Scale
As Shown @ A2

Revision	Description
A	Construction Certificate
B	Added BAL Notes
C	Changed Stair Balustrade

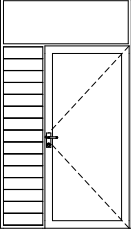
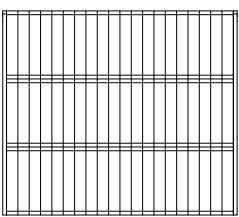
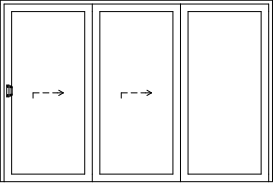
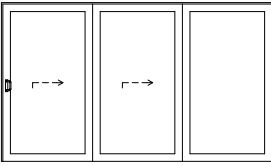
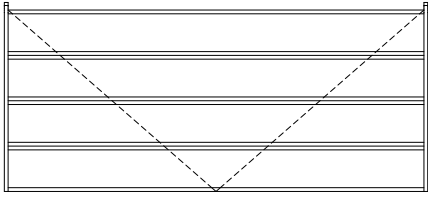
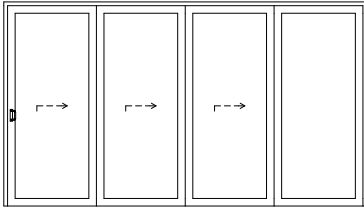
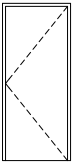
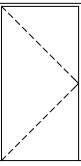
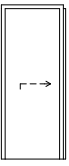
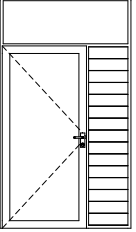
Date
20.02.26
26.02.26
23.03.26

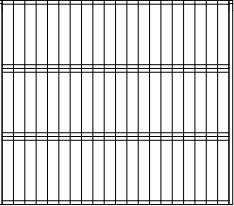
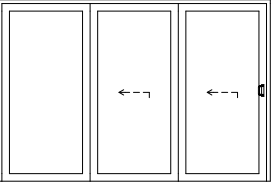
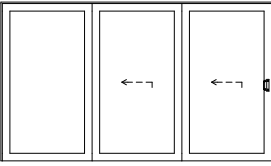
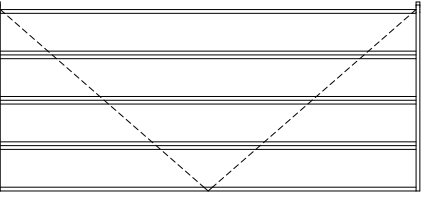
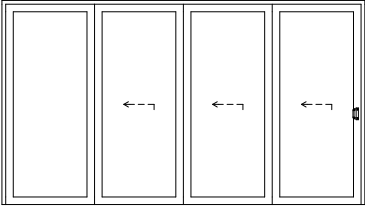
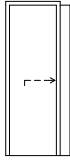
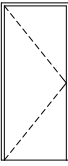
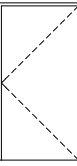
SHADE
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Nominated Architect - Timothy Graham
Registration Number: 12385
e : info@shadedesign.net.au
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CONFIRM OPENING DIRECTIONS ON SITE

CONFIRM FINAL SIZING ON SITE

Door Schedule													
ID	D101	D102	D103	D104	D105	D106	D107	D108	D109	D110	D111	D112	D201
Quantity	1	1	1	1	1	1	2	7	1	2	2	1	1
Height	3,050	2,700	2,400	2,100	2,400	2,700	2,040	2,040	2,040	2,040	2,040	2,040	3,050
Width	1,730	3,000	3,600	3,600	5,500	4,800	720	820	1,020	720	820	920	1,730
Type	Entry Door - Unit 1	Garage Door - Unit 1	External Stacker Sliding Door	External Stacker Sliding Door	Garage Door - Unit 1	External Stacker Sliding Door	Internal Hinged Door	Internal Hinged Door	Internal Hinged Door		Cavity Slider	Cavity Slider	Entry Door - Unit 2
Elevation													

Door Schedule											
ID	D202	D203	D204	D205	D206	D207	D208	D209	D210	D211	D212
Quantity	1	1	1	1	1	2	4	1	2	7	1
Height	2,700	2,400	2,100	2,400	2,700	2,040	2,040	2,040	2,040	2,040	2,040
Width	3,000	3,600	3,600	5,500	4,800	720	820	920	720	820	1,020
Type	Garage Door - Unit 2	External Stacker Sliding Door	External Stacker Sliding Door	Garage Door - Unit 2	External Stacker Sliding Door	Cavity Slider	Cavity Slider	Cavity Slider	Internal Hinged Door	Internal Hinged Door	Internal Hinged Door
Elevation											

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PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Door Schedule

Drawing No.
A-801

Project Number
2449

Scale
As Shown @ A2

Revision	Description	Date
A	Construction Certificate	20.02.26
B	Added BAL Notes	26.02.26
C	Changed Stair Balustrade	23.03.26
(ISSUED FOR CONSTRUCTION CERTIFICATE)		

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Sediment and erosion control

All erosion and sediment control measures to be installed prior to site disturbance.

The project manager to inform all contractors and sub-contractors of their obligations under the erosion and sediment control plan.

Topsoil from all areas that will be disturbed to be stripped and stockpiled at the nominated site.

All sediment control structures to be inspected by site supervisor after each rainfall event for structural damage and all trapped sediment to be removed to a nominated stockpile site.

Sediment and erosion control shall be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the superintendent's satisfaction.

A single all weather access way will be provided at the front of the property consisting of 50-75 aggregate or similar material at a minimum thickness of 150 laid over needle-punched geotextile fabric and constructed prior to commencement of works.

The contractor shall ensure that no spoil or fill encroaches upon adjacent areas for the duration of works.

The contractor shall ensure that kerb inlets and drains receiving stormwater shall be protected at all times during development. Kerb inlet sediment traps shall be installed along the immediate vicinity along the street frontage.

Sediment fencing shall be secured by post (where metal star pickets are used plastic safety caps shall be used) at 3000 intervals with geotextile fabric embedded 200 in soil.

All topsoil stripped from the site and stockpiled does not interfere with drainage lines and stormwater inlets and will be suitably covered with an impervious membrane material and screened by sediment fencing.

Soil conservation

Prior to commencement of construction provide 'sediment fence,' 'sediment trap' and washout area to ensure the capture of water borne material generated from the site.

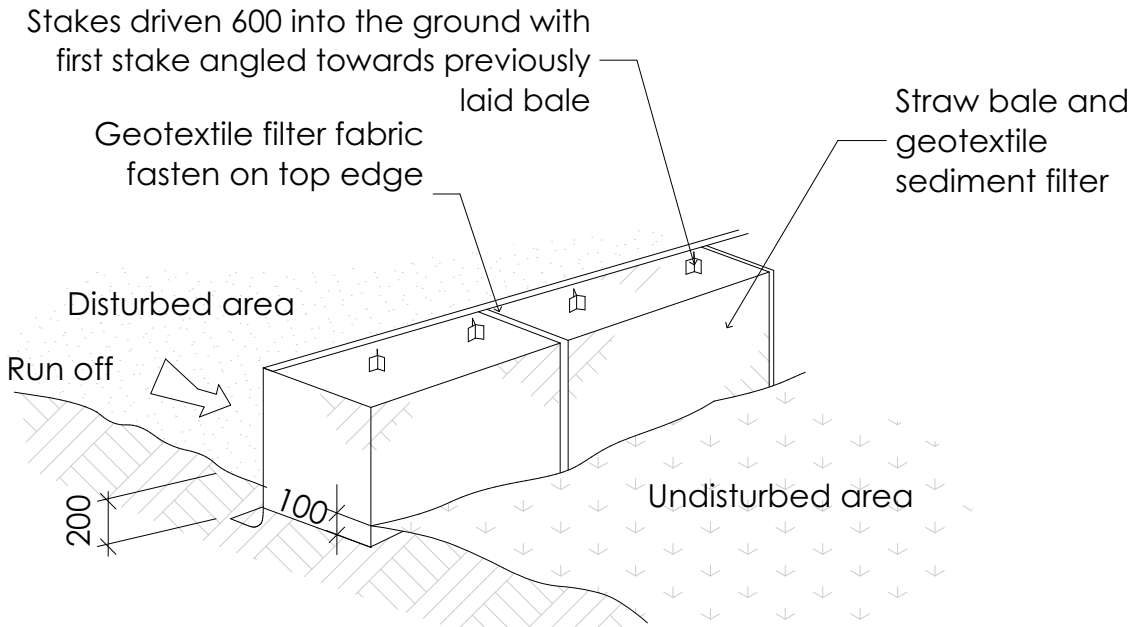
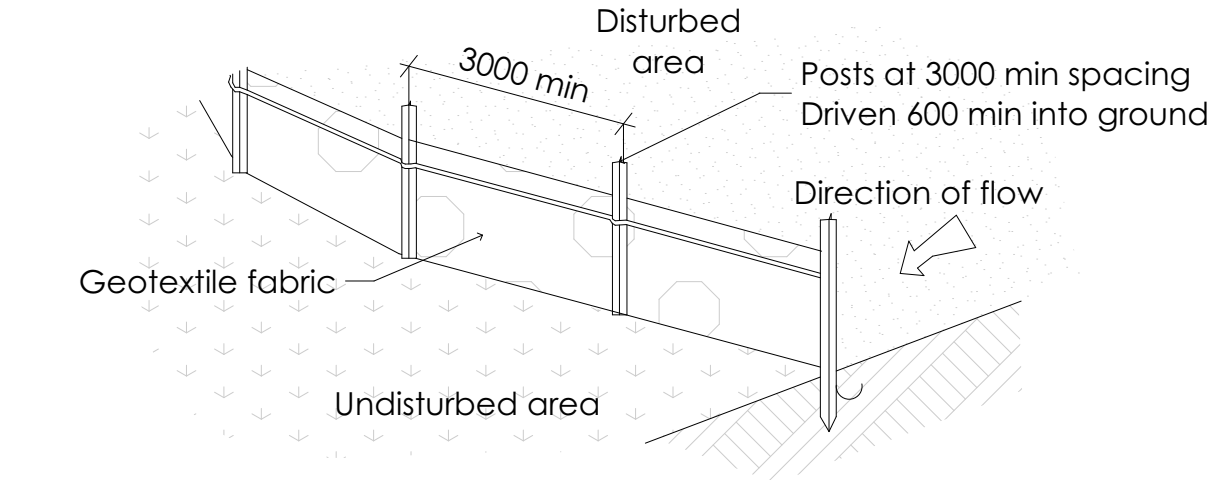
Maintain the above during the course of construction, and clear the 'sediment trap after each storm.

Sediment trap

1000 x 1000 wide 500 deep pit, located at the lowest point to the trap sediment.

Sediment fence

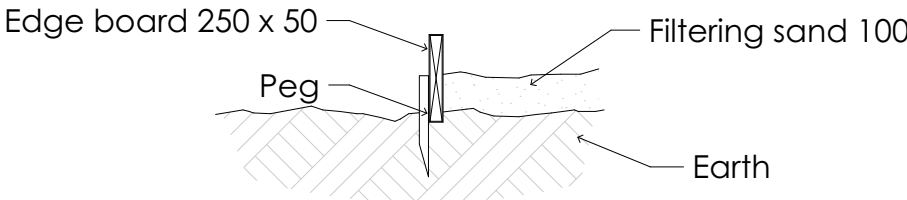
Provide sediment fence on down slope boundary as shown on plan. Fabric to be buried below ground at lower edge.



Drainage area 0.5 ha. max. slope gradient 1:2
max. slope length 50m.

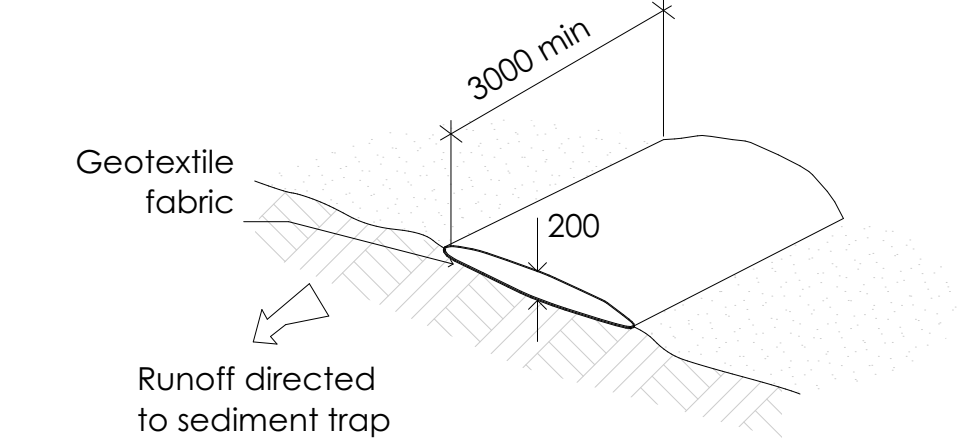
Washout area

to be 1800 x 1800 allocated for the washing of tool and equipment



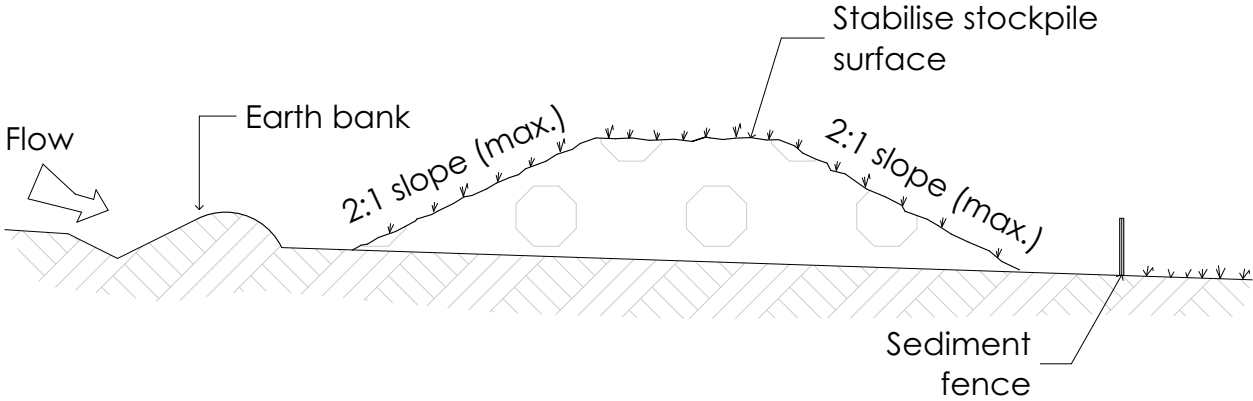
Vehicle access to site

Vehicle access to the building site should be restricted to a single point so as to reduce the amount of soil deposited on the street pavement.



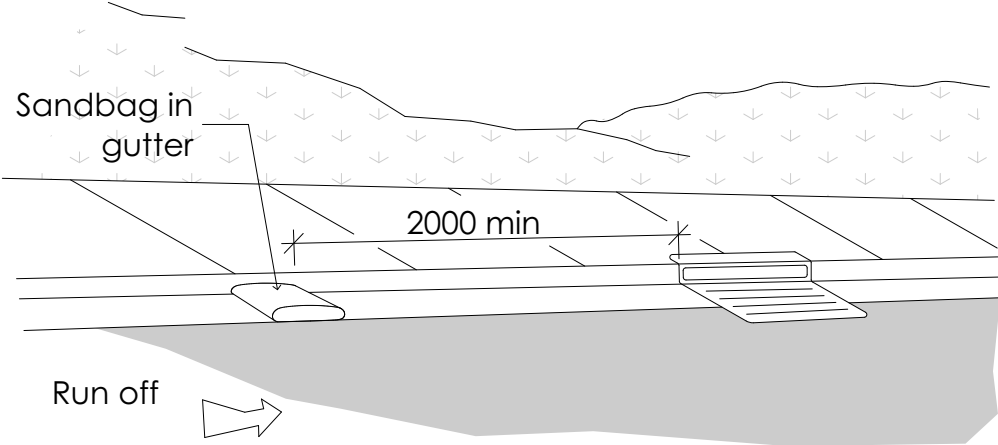
Building material stockpiles

All stockpiles of building material such as sand and soil must be protected to prevent scour and erosion.they should never be placed in the street gutter where they will wash away with the first rainstorm.



Sandbag kerb sediment trap

In certain circumstances extra sediment trapping may be needed in the street gutter.



PROJECT
Dodds Street
Dual Occupancy
11 Dodds Street Redhead 2290
CLIENT
Redhead 24 Pty Ltd

Drawing
Sediment Control

Drawing No.
A-900

Project Number
2449

Scale
As Shown @ A2

Revision	Description
A	Construction Certificate
B	Added BAL Notes
C	Changed Stair Balustrade

Date
20.02.26
26.02.26
23.03.26

(ISSUED FOR CONSTRUCTION CERTIFICATE)

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