

- (b) If posted, on the expiration of two Business Days after the date of posting, or
- (c) if sent by facsimile, on the next following Business Day unless the receiving Party has requested retransmission before the end of that Business Day.

8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

- (a) The Parties agree that this Agreement will end:
 - (i) with respect to a Residential Lot, upon the issue of a Statement of Compliance relating to a subdivision which creates the Residential Lot, provided that the Agreement must remain registered on the balance of the Subject Land;
 - (ii) once the Owner has completed, to the satisfaction of Council, all of the obligations imposed upon it under this Agreement; or
 - (iii) otherwise in accordance with the Act.
- (b) Once this Agreement ends with respect to part or all of the Subject Land, Council will, within 28 days of the Agreement ending with respect to that part of all of the Subject Land, following a request from the Owner and at the cost of the Owner, complete and execute within 21 days all documents necessary to make application to the Registrar of Titles under s 183(2) of the Act to cancel the recording of this Agreement on the register in relation to the relevant land.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

Executed as a deed

Signed, sealed and delivered by

Julian Edwards
(name of delegate)

Manager Building & Planning

(title of delegate)
on behalf of the City of Whittlesea
pursuant to the power delegated to that
person by an Instrument of Delegation in
the presence of:



[Signature]
Signature of witness

Siobhan Short
Full name of witness (print)

[Signature]
Signature of delegate

Executed by Dahua Group Melbourne
Number 6 Pty Ltd ACN 615 975 347 in
accordance with section 127 of the
Corporations Act 2001 (Cth) by:

[Signature]
Signature of Director

Xuanke Chen

Full name (print)

[Signature]
Signature of Director/Company Secretary

Ye Fan

Full name (print)

Schedule 1

Mortgagee's Consent

Commonwealth Bank of Australia as Mortgagee of registered Mortgage No. AT698482U consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

DATED:


Executed for and on behalf of

COMMONWEALTH BANK OF AUSTRALIA



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

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Status	Registered	Dealing Number	AV565374Y
Date and Time Lodged	27/04/2022 10:56:04 AM		

Lodger Details

Lodger Code	17223H
Name	MADDOCKS
Address	
Lodger Box	
Phone	
Email	
Reference	TGM: 8684896

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

11908/515

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	WHITTLESEA CITY COUNCIL
Address	
Street Number	25
Street Name	FERRES
Street Type	BOULEVARD
Locality	SOUTH MORANG
State	VIC
Postcode	3752

Additional Details



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	WHITTLESEA CITY COUNCIL
Signer Name	REBEKAH PARIKH
Signer Organisation	PARTNERS OF MADDOCKS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	27 APRIL 2022

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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HWL
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LAWYERS

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EBSWORTH
LAWYERS

Deed of Agreement under s173 of the
Planning and Environment Act 1987

**Purpose: Implementation of Condition 13 on
Planning Permit No. 717910**

Conservation Management Plan

City of Whittlesea

and

**Dahua Group Melbourne Number 6 Pty Ltd
(ACN 615 975 347)**

Level 8, 447 Collins Street, Melbourne VIC 3000
Australia
PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3
9034 3257 (International)
hwlebsworth.com.au

Deed of Agreement
##

Printed 15 December 2021 (##)

Page 1

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Ref: JL:AG:1023494

Deed of Agreement

Date 5 APRIL 2022

Parties **City of Whittlesea**
of 25 Ferres Boulevard, South Morang VIC 3752
(Council)

Dahua Group Melbourne Number 6 Pty Ltd (ACN 615 975 347)
of Level 50, 360 Elizabeth Street, Melbourne VIC 3000
(Owner)

- Recitals
- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
 - B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
 - C. On 8 April 2020, Council issued Planning Permit No. 717910 (**Planning Permit**), which allows a multi-lot staged subdivision, creation of reserves and restrictions on title, and removal and alteration of dry stone walls in accordance with the endorsed plans at the Subject Land.

D. Condition 13 of the Planning Permit provides that:

13. Local Conservation Reserves - Conservation Management Plans

Prior to the certification of any plan of subdivision for any parcel of land containing a Local Conservation Reserve on Plan 2 - Future Urban Structure within the incorporated Wollert Precinct Structure Plan, June 2017, the owner must enter into an agreement with the responsible authority pursuant to section 173 of the Planning and Environment Act 1987 which requires the owner to prepare and implement a Conservation Management Plan for the land, unless otherwise agreed by the responsible authority.

The Conservation Management Plan must be prepared prior to the approval of any construction plans (engineering plan) for any part of the land and be consistent with the Local Conservation Reserve Treatment and Management Guidelines in the incorporated Wollert Precinct Structure Plan, June 2017 to the satisfaction of the Responsible Authority.

Specifically, the Conservation Management Plan must provide for:

- a. early securing and fencing of the conservation reserve and establishment of interpretive signage prior to the commencement of subdivision construction activity on any part of the land, and
- b. A 10-year action plan providing for the protection of all areas proposed for conservation rehabilitation, biodiversity improvement works and actions focussing on improvement to Grassy Eucalypt Woodland of the Victorian Volcanic Plain and other matters of national environmental significance, re-vegetation and landscaping, pest plant and animal control, soil stabilisation, and on-going maintenance and monitoring.

Where applicable, the Plan shall quantify the extent of offset gain to be achieved commensurate with the Permitted Clearing of Native Vegetation - Biodiversity Assessment Guidelines and defined by the Bush Broker Landowner Agreement and Quality Assurance Process.

The costs for preparation and execution of the Agreement shall be borne by the owner.

E. The Parties have agreed to enter into this Agreement:

- (a) to give effect to the requirements of Condition 13 of the Planning Permit; and
- (b) to achieve or advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the Parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act	means the <i>Planning and Environment Act 1987</i> (Vic).
Agreement	means this deed and any deed executed by the Parties expressed to be supplemental to this deed.
Balance Cost	means those costs which are detailed in Appendix 2 to the Conservation Management Plan which, at the time that a Statement of Compliance is issued for the last Stage, have not yet been incurred by the Owner.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Conservation Management Plan	means the Conservation Management Plan prepared by Ecology & Heritage Partners Pty Ltd for ADP Projects endorsed by Council on 9 November 2021 as amended from time to time. A copy of the cover sheet of the Conservation Management Plan is included in Annexure B to this Agreement to assist in identification of the document. ¹
Development	means the development of the Subject Land in accordance with the Planning Permit.
Local Conservation Reserve	means any local conservation reserve shown on Plan 2 - Future Urban Structure in the PSP, and which is on the Subject Land.

¹ A full copy of the Conservation Management Plan which is 53 pages long is held by Council on its file.
Deed of Agreement

Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Mortgagee	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as mortgagee of the Subject Land or any part of it.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. 717910, as amended from time to time and including any plans which may be endorsed under that permit.
Planning Scheme	means the Whittlesea Planning Scheme and any other planning scheme which applies to the Subject Land.
PSP	means the <i>Wollert Precinct Structure Plan, June 2017</i> , being an incorporated document in the Planning Scheme.
Residential Lot	means a lot created as a result of the subdivision of then Subject Land which in the opinion of Council is of a size and dimension that it is intended to be developed as a housing lot without further subdivision.
Schedule	means a schedule to this Agreement.
Stage	is a reference to a stage of subdivision of the Subject Land.
Statement of Compliance	means a statement of compliance issued by Council under the <i>Subdivision Act 1988</i> .
Subject Land	means the land comprised in certificate of title Volume 11908 Folio 515, formally described as Lot 2 on PS945830X and any

reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.

VCAT or Tribunal means the Victorian Civil and Administrative Tribunal.

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.
- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
- (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land are subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Conservation Management Plan

- 2.1 The Owner of the Subject Land covenants and agrees that:
- (a) it must implement the Conservation Management Plan in relation to the Local Conservation Reserves unless otherwise agreed in writing by the Council;
 - (b) its obligations under this Agreement will continue until the earlier of:
 - (i) 10 years from the commencement of the Development; or
 - (ii) the issue of a Statement of Compliance for the last Stage.
 - (c) if Clause 2.1(b)(ii) applies, prior to the issue of a Statement of Compliance for the last Stage, the Owner must pay to the Council the Balance Cost.
- 2.2 The Owner of the Subject Land acknowledges and accepts that the Council may refuse to issue the Statement of Compliance for the last Stage until the Balance Cost has been paid to the Council.

3. Vesting of the Local Conservation Reserves

The Owner of the Subject Land covenants and agrees that prior to the issue of a Statement of Compliance for the last Stage, it must:

- (a) transfer to or vest in the Council the Local Conservation Reserves; or
- (b) nominate the Local Conservation Reserves as a reserve in favour of Council on a plan of subdivision such that, upon registration of the plan of subdivision, the Local Conservation Reserves vest in Council, provided that the relevant plan(s) of subdivision must be registered prior to or contemporaneously with the plan of subdivision relating to the last Stage.

4. Further obligations

4.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

4.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

4.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

4.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the parties will be bound by any assessment, and the cost of any assessment will be paid equally by the parties.

5. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

6. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

7. Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

8. Notices

8.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending Party by hand delivery or prepaid post.

8.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the next following Business Day;
- (b) if posted, on the expiration of two Business Days after the date of posting, or
- (c) if sent by facsimile, on the next following Business Day unless the receiving Party has requested retransmission before the end of that Business Day.

9. Miscellaneous

9.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

9.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

9.3 Ending of Agreement

The Parties agree that this Agreement will end:

- (a) with respect to any part of the Subject Land that is not a Local Conservation Reserve, upon the issue of a Statement of Compliance which subdivides the Subject Land so as to differentiate between that part of the Subject Land which is and is not a Local Conservation Reserve, provided that the Agreement must remain registered on any part of the Subject Land which is a Local Conservation Reserve at all times;
- (b) with respect to a Residential Lot external to a Local Conservation Reserve, upon the issue of a Statement of Compliance relating to a subdivision which creates the Residential Lot, provided that the Agreement must remain registered on any part of the Subject Land which is a Local Conservation Reserve at all times; or
- (c) otherwise in accordance with the Act.

9.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

9.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

9.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

9.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 9.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

9.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

INFORMATION ONLY

Executed as a deed

The Common Seal of Whittlesea City Council is
affixed in the presence of:

.....

.....

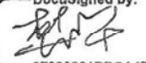
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Delegate



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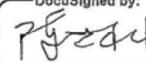
Executed by Dahua Group Melbourne
Number 6 Pty Ltd ACN 615 975 347 in
accordance with section 127 of the
Corporations Act 2001 (Cth) by:

DocuSigned by:


Signature of Director

Ken Fan

Full name (print)

DocuSigned by:


Signature of Director/Company Secretary

Foreman Chen

Full name (print)

Annexure A Mortgagee's Consent

Mortgagee's Consent

Commonwealth Bank of Australia as Mortgagee of registered Mortgage No. AT698482U consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

DATED: 15/2/2022

DocuSigned by:
Kevin Thio
B4BD997EE69347D...
Kevin Thio

Executed for and on behalf of

COMMONWEALTH BANK OF AUSTRALIA

Annexure B Conservation Management Plan (cover page only reproduced here)

PLANNING & ENVIRONMENT ACT 1967
WHITTLESEA PLANNING SCHEME
Planning Permit No: 717910
Endorsed to show compliance with Condition (s) 13
Sheet 1 of 53 Date: 9/11/2021

ecology & heritage
partners

Final Review

Conservation Management Plan for Local Conservation Reserve (LCR02) and Stony Knoll Conservation Reserve, Wollert Rise, Victoria

Prepared for
APD Projects

October 2021



Ecology and Heritage Partners Pty Ltd

MELBOURNE: 292 Mt Alexander Road, Ascot Vale VIC 3032 GEELONG: 330 Latrobe Terrace, Geelong West VIC 3118
BRISBANE: Level 22, 117 Creek Street, Brisbane QLD 4000 ADELAIDE: 78 Edmund Avenue, Unley SA 5061
CANBERRA: 19-23 Moor Street, Turner ACT 2612 SYDNEY: Level 3, 616 Harris Street, Ultimo NSW 2007
www.ehpartners.com.au | 1300 859 325

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PLAN OF SUBDIVISION		LUV USE ONLY EDITION 1	PLAN NUMBER PS841657C	
LOCATION OF LAND		Council Name: Whittlesea City Council Council Reference Number: 610465 Planning Permit Reference: P717910 SPEAR Reference Number: S186697J Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 07/12/2022 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Renee Kueffer for Whittlesea City Council on 25/09/2024 Statement of Compliance issued: 18/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance		
PARISH: KALKALLO TOWNSHIP: SECTION: CROWN ALLOTMENT: CROWN PORTION: 5 (PART) AND 8 (PART) TITLE REFERENCES: Vol.12558 Fol.212 LAST PLAN REFERENCE/S: PS837654H (LOT D) POSTAL ADDRESS: 115 BODYCDATS ROAD (At time of subdivision) WOLLERT, 3750 MGA2020 Co-ordinates E 324 730 (of approx centre of land in plan) N 5 838 940 ZONE 55				
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON	LOTS 1 TO 700 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOT J COMPRISES 2 PARTS ON THIS PLAN. LOTS ON THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS SEE SHEET 9 FOR FURTHER DETAILS. EASEMENTS E-5 & E-6 HAVE BEEN OMITTED FROM THIS PLAN. OTHER PURPOSE OF THE PLAN: REMOVAL OF THAT PART OF SEWERAGE EASEMENT E-7 ON P5837654H AS AFFECTS KILARNIE BOULEVARD ON THIS PLAN. GROUNDS FOR REMOVAL: BY AGREEMENT OF ALL INTERESTED PARTIES UPON REGISTRATION OF THIS PLAN PURSUANT TO SECTION 6(1)(k)(iv) OF THE SUBDIVISION ACT 1988. WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958		
ROAD R1	WHITTLESEA CITY COUNCIL			
RESERVE No.1	WHITTLESEA CITY COUNCIL			
RESERVE No.2	AUSNET ELECTRICITY SERVICES PTY LTD			
RESERVE No.3	WHITTLESEA CITY COUNCIL			
NOTATIONS				
DEPTH LIMITATION DOES NOT APPLY STAGING THIS IS NOT A STAGED SUBDIVISION, PLANNING PERMIT No. SURVEY. THIS PLAN IS BASED ON SURVEY. THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s): 10, 13, 43, 92, 99, 107, 108, 109, 113 AND MMBW4173 (PARISH OF KALKALLO) PROCLAIMED SURVEY AREA: 74 WOLLERT RISE 7 2.974ha		43 LOTS		
EASEMENT INFORMATION				
LEGEND A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE	SEE PLAN	PS837651P	WHITTLESEA CITY COUNCIL
	SEWERAGE	SEE PLAN	PS837651P	YARRA VALLEY WATER CORPORATION
E-2	DRAINAGE	SEE PLAN	PS837652M	WHITTLESEA CITY COUNCIL
E-3	DRAINAGE	SEE PLAN	PS837652M	WHITTLESEA CITY COUNCIL
	SEWERAGE	SEE PLAN	PS837652M	YARRA VALLEY WATER CORPORATION
E-4	DRAINAGE	SEE PLAN	PS837652M	WHITTLESEA CITY COUNCIL
	SEWERAGE	SEE PLAN	PS837652M	YARRA VALLEY WATER CORPORATION
	WATER SUPPLY (THROUGH UNDERGROUND PIPES)	SEE PLAN	PS837652M	YARRA VALLEY WATER CORPORATION
	DISTRIBUTION AND/OR TRANSMISSION OF GAS	SEE PLAN	PS837652M (SECTION 146 GAS INDUSTRY ACT 2001)	AUSTRALIAN GAS NETWORKS (VIC) PTY LTD
SEE SHEET 2 FOR CONTINUATION				2459S-07 VER H.DWG (B/C)
 an sm company ©SMEC AUSTRALIA PTY LTD (ABN 47 065 475 149) TOWER 4, LEVEL 20, 727 COLLINS STREET DOCKLANDS VIC 3008		SURVEYOR REF: 2459s-07	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 9
		Digitally signed by: Bruce Tallon, Licensed Surveyor, Surveyor's Plan Version (H), 02/09/2024, SPEAR Ref: S186697J		Land Use Victoria Plan Registered 09:01 AM 30/10/2024 Assistant Registrar of Titles

PLAN OF SUBDIVISION

PLAN NUMBER
PS841657C

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-7	DRAINAGE	SEE PLAN	THIS PLAN	WHITTLESEA CITY COUNCIL
E-8	SEWERAGE	SEE PLAN	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-9	DRAINAGE	SEE PLAN	THIS PLAN	WHITTLESEA CITY COUNCIL
	SEWERAGE	SEE PLAN	THIS PLAN	YARRA VALLEY WATER CORPORATION
E-10	WATER SUPPLY (THROUGH UNDERGROUND PIPES) DISTRIBUTION AND/OR TRANSMISSION OF GAS	SEE PLAN	THIS PLAN	YARRA VALLEY WATER CORPORATION
		SEE PLAN	THIS PLAN (SECTION 146 GAS INDUSTRY ACT 2001)	AUSTRALIAN GAS NETWORKS (VIC) PTY LTD

24599-07 VER H:DW6 BC/BC



an company

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TOWER 4, LEVEL 20, 727 COLLINS STREET
DOCKLANDS VIC 3008

REF:24599-07

Digitally signed by: Bruce Tallon, Licensed Surveyor,
Surveyor's Plan Version (H),
02/09/2024, SPEAR Ref: S166697J

ORIGINAL SHEET
SIZE: A3

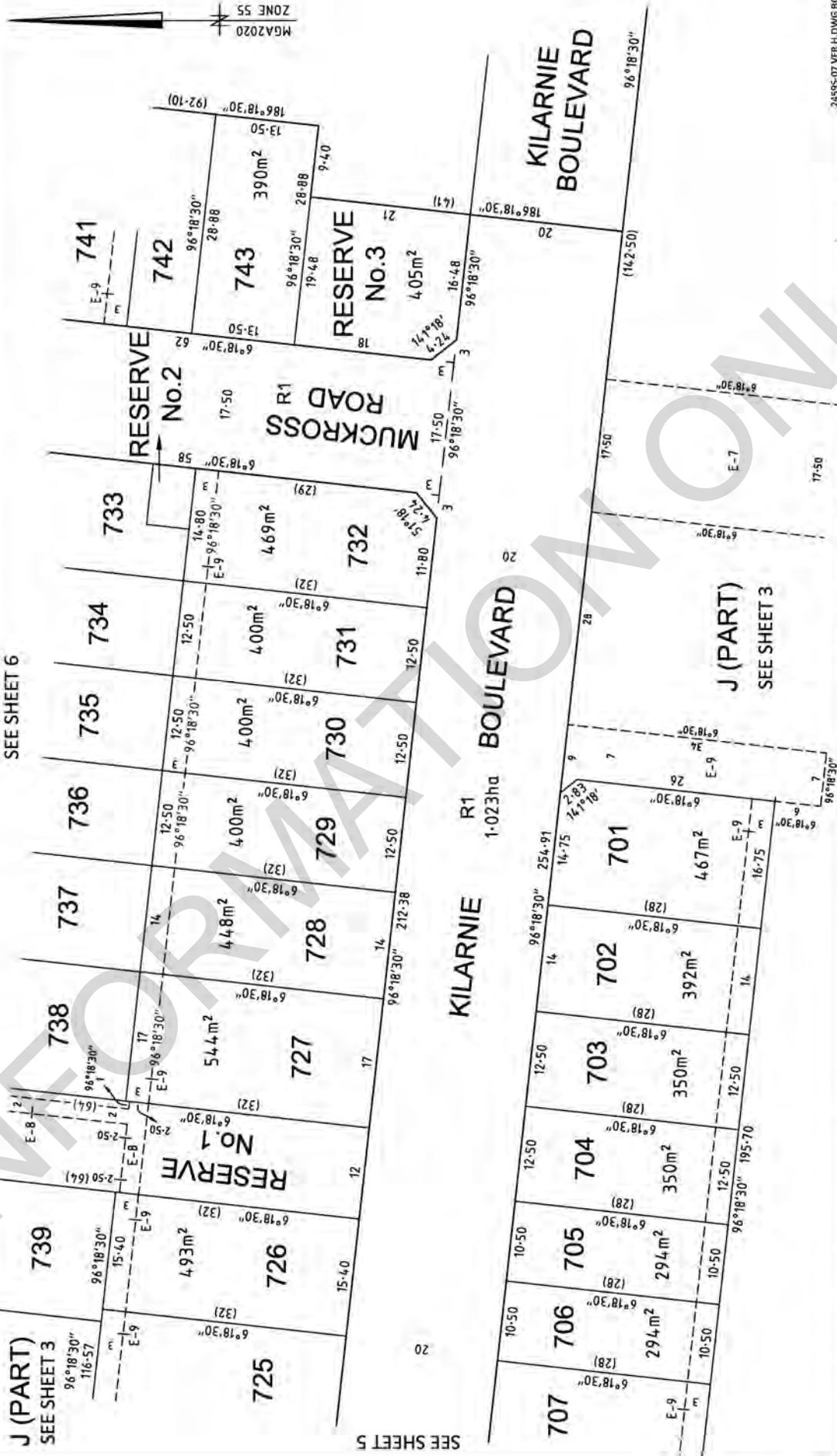
SHEET 2

Digitally signed by:
Whittlesea City Council
25/09/2024,
SPEAR Ref: S166697J

PLAN NUMBER
PS841657C

PLAN OF SUBDIVISION

SEE SHEET 6



24595-07 VER.H.DWG BC/BC

SCALE 1:500	ORIGINAL SHEET SIZE A3	SHEET 4
Digitally signed by: Bruce Tallon, Licensed Surveyor, Surveyor's Plan Version (H), 02/09/2024, SPEAR Ref: S166697J		
Digitally signed by: Whittlesea City Council, 25/09/2024, SPEAR Ref: S166697J		

asmec
an smc company

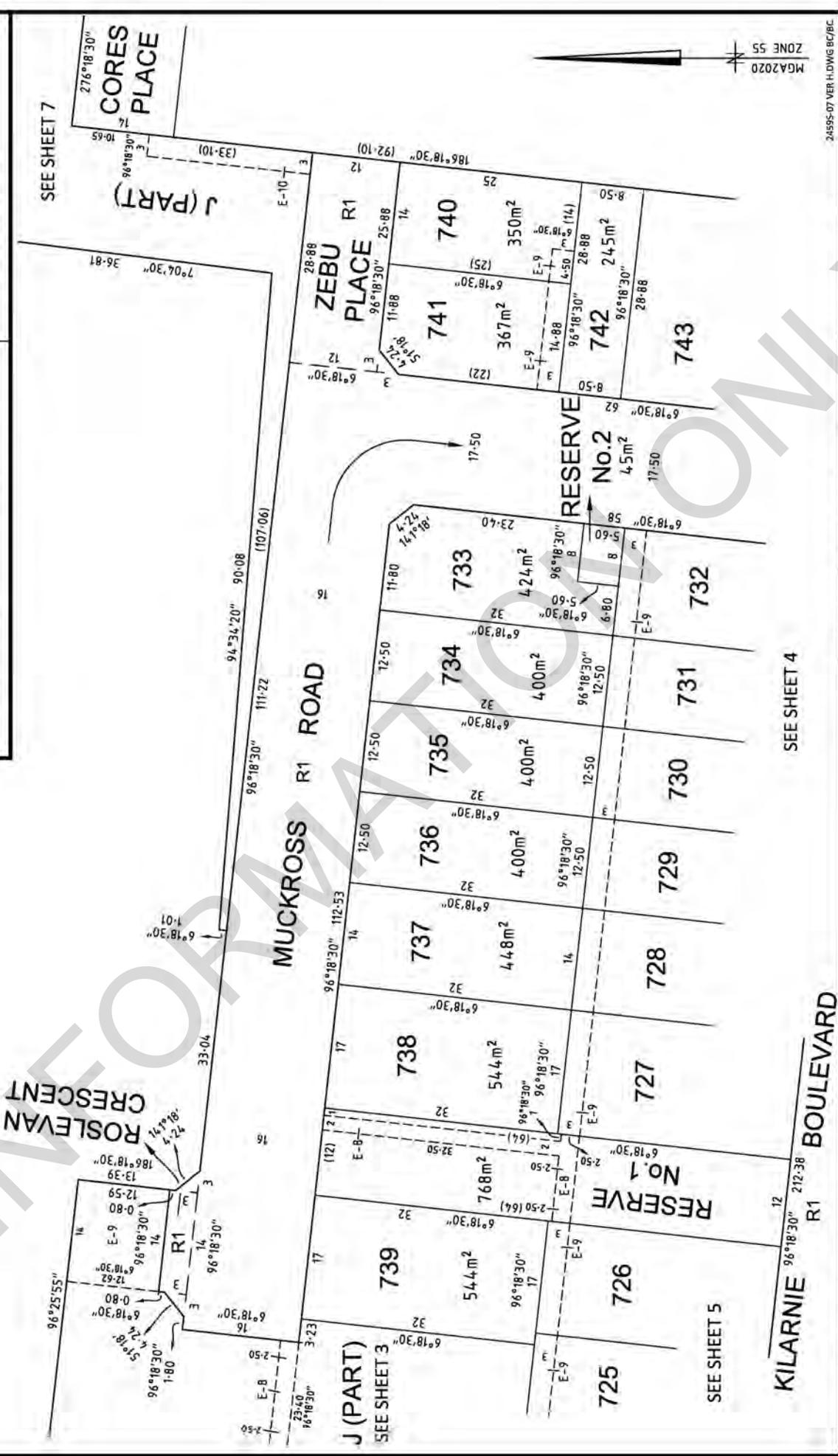
©SMEC AUSTRALIA PTY LTD (ABN 47 085 475 148)
TOWER 4, LEVEL 20, 727 COLLINS STREET
DOCKLANDS VIC 3008

REF: 24595-07

Amended by: Bruce Tallon, Licensed Surveyor 23/10/2024.

PLAN OF SUBDIVISION

PLAN NUMBER
PS841657C

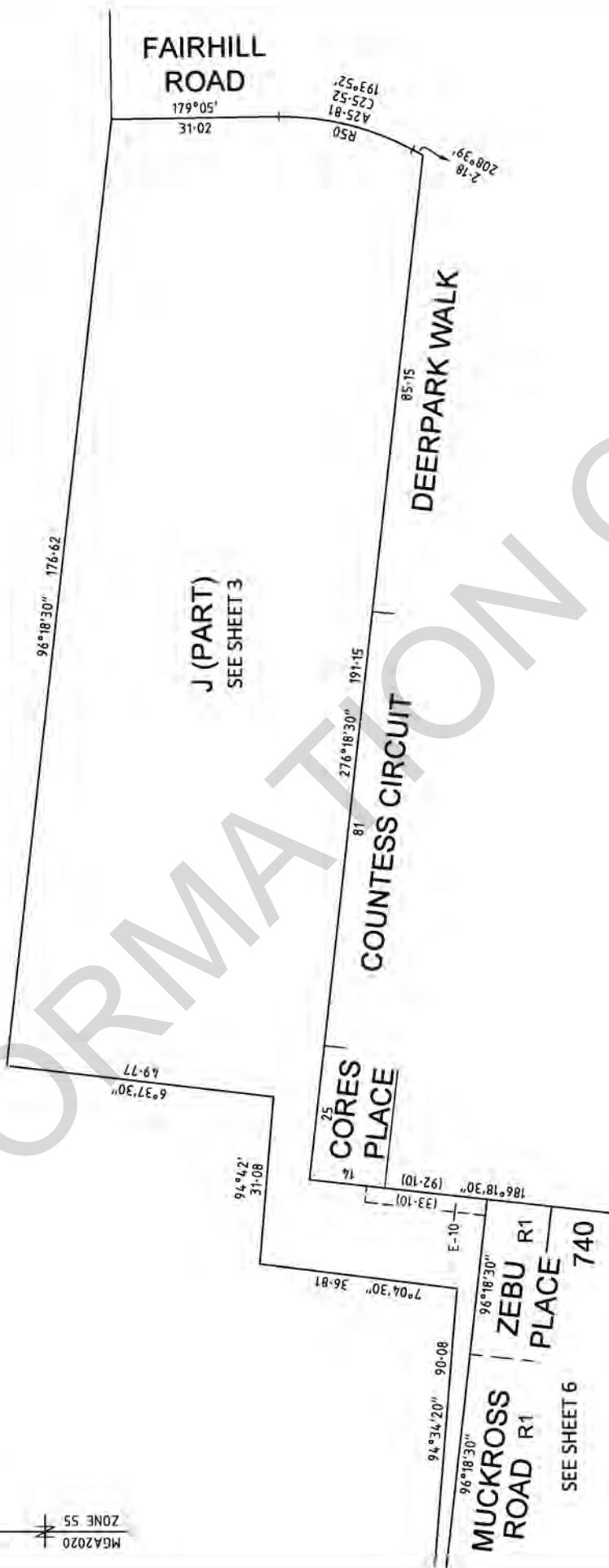


<p>osmec an company ©SMIEC AUSTRALIA PTY LTD (ABN 47 086 475 148) TOWER 4, LEVEL 20, 727 COLLINS STREET DOCKLANDS VIC 3008</p>	<p>Amended by: Bruce Tallon, Licensed Surveyor 23/10/2024.</p>	<p>Digitally signed by: Bruce Tallon, Licensed Surveyor, Surveyor's Plan Version (H), 02/09/2024, SPEAR Ref: S166697J</p>	<p>Digitally signed by: Whitlessa City Council, 25/09/2024, SPEAR Ref: S166697J</p>
	<p>SCALE 1:500</p>	<p>ORIGINAL SHEET SIZE A3</p>	<p>SHEET 6</p>

24595-07 VER.H.DWIG BC/BC

PLAN OF SUBDIVISION

PLAN NUMBER
PS841657C



24595-07 VER.H.DWG BC/BC

<p>SCALE 1:750</p>	<p>7.5 0 7.5 15 22.5 30 LENGTHS ARE IN METRES</p>	<p>ORIGINAL SHEET SIZE A3</p>	<p>SHEET 7</p>
<p>Digitally signed by: Bruce Tallon, Licensed Surveyor, Surveyor's Plan Version (H), 02/09/2024, SPEAR Ref: S166697J</p>		<p>Digitally signed by: Whitlessa City Council, 25/09/2024, SPEAR Ref: S166697J</p>	
<p>asmec an company ©SMIEC AUSTRALIA PTY LTD (ABN 47 086 475 148) TOWER 4, LEVEL 20, 727 COLLINS STREET DOCKLANDS VIC 3008</p>		<p>Amended by: Bruce Tallon, Licensed Surveyor 23/10/2024. REF:24595-07</p>	

PLAN OF SUBDIVISIONPLAN NUMBER
PS841657C

Upon registration of this plan the following restrictions are created:

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

CREATION OF RESTRICTION A

Land to Benefit: Lots 701 to 743 (All Inclusive)

Land to be Burdened: Lots 701 to 743 (All Inclusive)

Description of Restriction

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restrictions apply must not build or cause to be built or allow to be built or allow to remain a dwelling, commercial building or any other improvements, or carry out cause to be carried out or allow to be carried out any building or construction works on the Lot unless:

Design Guidelines

1. Copies of the site plan, floor plan, elevations (incorporating setback from all boundaries, existing contour, proposed finished floor levels and site levels, all proposed driveways and paths, details of fences and outbuildings and landscaping) and schedule of external colours and materials ("plans") have been submitted to the Design Review Panel care of Urtech Pty Ltd, 1304/20 Rakaia Way, Docklands Vic 3008 or such other entity as may be nominated by the Design Review Panel from time to time;
2. The plans comply with the Wollert Rise Design Guidelines, a copy of which can be obtained from the website at www.wollertise.com.au;
3. The Design Review Panel or such other entity as may be nominated by the Design Review Panel from time to time has given its written approval to the plans prior to the commencement of works;

Dual Plumbing

4. The dwelling or commercial building incorporates a dual plumbing system for the use of recycled water for toilet flushing and garden watering;

Garages

5. A garage other than a garage that is constructed at least 5 metres from the road alignment at the front of the lot;
6. For a lot with a width of 10 metres or less at the lot frontage a garage other than a single garage where access is proposed from the lot frontage;

Corner Lots

7. The side wall of the first level of any dwelling is constructed at least 900mm from the ground level wall that faces a side street; or with less than 30% glazing for the area of the wall and the remainder of the wall being constructed in contrasting material finishes.

Expiry The restriction shall cease to burden any Lot on the Plan of Subdivision with effect from the earlier of the issue of the occupancy permit for the whole of a dwelling on that Lot or from 10 years from the date of registration of this Plan of Subdivision.

CREATION OF RESTRICTION B**Description of Restriction**

Table of burdened and land benefited:

BURDENED LOT No.	BENEFITING LOTS
705	704, 706
706	705, 707
742	740, 741, 743

The registered proprietor or proprietors for the time being for any burdened lot on the Plan of Subdivision in the above table as a lot subject to the "Small Lot Housing Code" must not build or permit to be built or remain on the lot any building or structure that has not been constructed in accordance with the "Small Lot Housing Code (Type A)" unless such construction is in accordance with a planning permit granted to construct a dwelling on the lot.

This restriction shall cease to have effect on the burdened lot after the issue of a certificate of occupancy for the whole of a dwelling on the burdened lot provided that the whole of the dwelling complies with the Small Lot Housing Code for Type A allotments.

CREATION OF RESTRICTION C

Land to Benefit: Lots 701 to 743 (All Inclusive)

Land to be Burdened: Lots 702 to 704, 707 to 713, 717 to 725, 728 to 731 and 740 (All Inclusive)

Description of Restriction

Except with the written consent of the Transferor or Yarra Valley Water Corporation and in all other instances with the written consent of each and every registered proprietor of a benefiting Lot on the Plan of Subdivision the registered proprietor or proprietors for the time being of any burdened Lot on the Plan of Subdivision shall not build or allow to be built on the Lot any dwelling, construction or landscaping which does not provide a 1.0m clear horizontal access corridor along the full length of a minimum one side boundary of the Lot for the purposes of access for Yarra Valley Water Corporation to Sewer Assets located along the rear boundary of the lot.

Expiry Not applicable.

CREATION OF RESTRICTION D

Land to Benefit: Lots 702, 707, 711, 720, 723, 726, 728, 729 and 732.

Land to be Burdened: Lots 702, 707, 711, 720, 723, 726, 728, 729 and 732.

Description of Restriction

The registered proprietor or proprietors for the time being of any lot forming part of the land described in this plan must not use the land, permit the use of the land, construct upon the land or allow construction upon the land other than in accordance with the memorandum of common provisions registered in dealing No. AA010326 and which memorandum of common provisions is incorporated in this plan.

2459S-07 VER H.DWG BC/BC



an company
© SMEC AUSTRALIA PTY LTD (ABN 47 065 475 149)
TOWER 4, LEVEL 20, 727 COLLINS STREET
DOCKLANDS VIC 3008

REF:2459S-07

Digitally signed by: Bruce Tallon, Licensed Surveyor,
Surveyor's Plan Version (H),
02/09/2024, SPEAR Ref: S166697J

ORIGINAL SHEET
SIZE: A3

SHEET 9

Digitally signed by:
Whittlesea City Council,
25/09/2024,
SPEAR Ref: S166697J

Contact Name Paul Smith
Telephone 13 21 61
Facsimile 03 9628 6853
Your Ref: 76947759-018-5

03 June 2025

Namisha Sharma
c/- Landata
GPO Box 527
MELBOURNE VIC 3001

Dear Sir/Madam,

Growth Areas Infrastructure Contribution (GAIC)

87 Kilarnie Boulevard, Wollert (Volume 12579 Folio 918) - (the land)

Thank you for your Application for a Growth Areas Infrastructure Contribution (GAIC) Certificate dated 30 May 2025 in respect of the land.

Although the land is currently within the urban growth boundary and a Growth Area, the GAIC liability in respect of the land has been fully discharged and the GAIC notification on the land has been removed.

For further details regarding GAIC, please visit the State Revenue Office website or telephone 13 21 61.

If you have any queries in relation to this matter please contact me.

Yours sincerely

Paul Smith

Paul Smith
Senior Customer Service Officer
Land Revenue Administration

ROADS PROPERTY CERTIFICATE

The search results are as follows:

Namisha Sharma
244 Newbury Boulevard
CRAIGIEBURN 3064

Client Reference:

NO PROPOSALS. As at the 30th May 2025, VicRoads has no approved proposals requiring any part of the property described in your application. You are advised to check your local Council planning scheme regarding land use zoning of the property and surrounding area.

This certificate was prepared solely on the basis of the Applicant-supplied address described below, and electronically delivered by LANDATA®.

87 KILARNIE BOULEVARD, WOLLERT 3750
CITY OF WHITTLESEA

This certificate is issued in respect of a property identified above. VicRoads expressly disclaim liability for any loss or damage incurred by any person as a result of the Applicant incorrectly identifying the property concerned.

Date of issue: 30th May 2025

Telephone enquiries regarding content of certificate: 13 11 71

NOTES:
 1. CONTRACT NO. 170539902346
 2. PERMIT NO. 17022023
 3. SOIL CLASSIFICATION TO BE CONFIRMED ON SITE.
 4. SCRAPE SITE TO BE COVERED WITH VEGETATION
 AND PROVIDE A DRAINAGE PLATFORM.
 5. SITE CLEARING
 6. IT IS THE RESPONSIBILITY OF THE CLIENT TO UNDERTAKE REMOVAL OF ANY
 SITE SPOIL/STOCK PILES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 7. DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING.
 8. VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 9. CONDENSATION MANAGEMENT PART 10.8 IS ACHIEVED.
 10. BCA 2022 PART 10.8.2 TO BE ACHIEVED. ALL EXHAUST SYSTEM TO BE
 DISCHARGED DIRECTLY TO OUTSIDE.

TERMITE PROTECTION

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.
 STORM WATER DRAIN LAYOUT WILL BE LAID TO THE DRAINERS DISCRETION.
SOLAR WATER SYSTEM
 SOLAR HOT WATER SYSTEM IN ACCORDANCE WITH PLUMBING REGULATIONS
 AND AS 4234-1998

RELOCATION OF SERVICE PITS OR ANY OBSTRUCTIONS TO ALLOW VEHICLE
 ACCESS TO GARAGE REMAINS THE RESPONSIBILITY OF THE OWNER
 A SOIL INVESTIGATION REPORT AND FEATURE SURVEY WILL BE REQUIRED.

FLASHINGS TO WALL OPENINGS ARE ACCORDANCE WITH PART 5.7 OF BCA 2022.
 ALL MASONRY VENEER WALLS TO COMPLY WITH PART 5.2 OF BCA 2022.

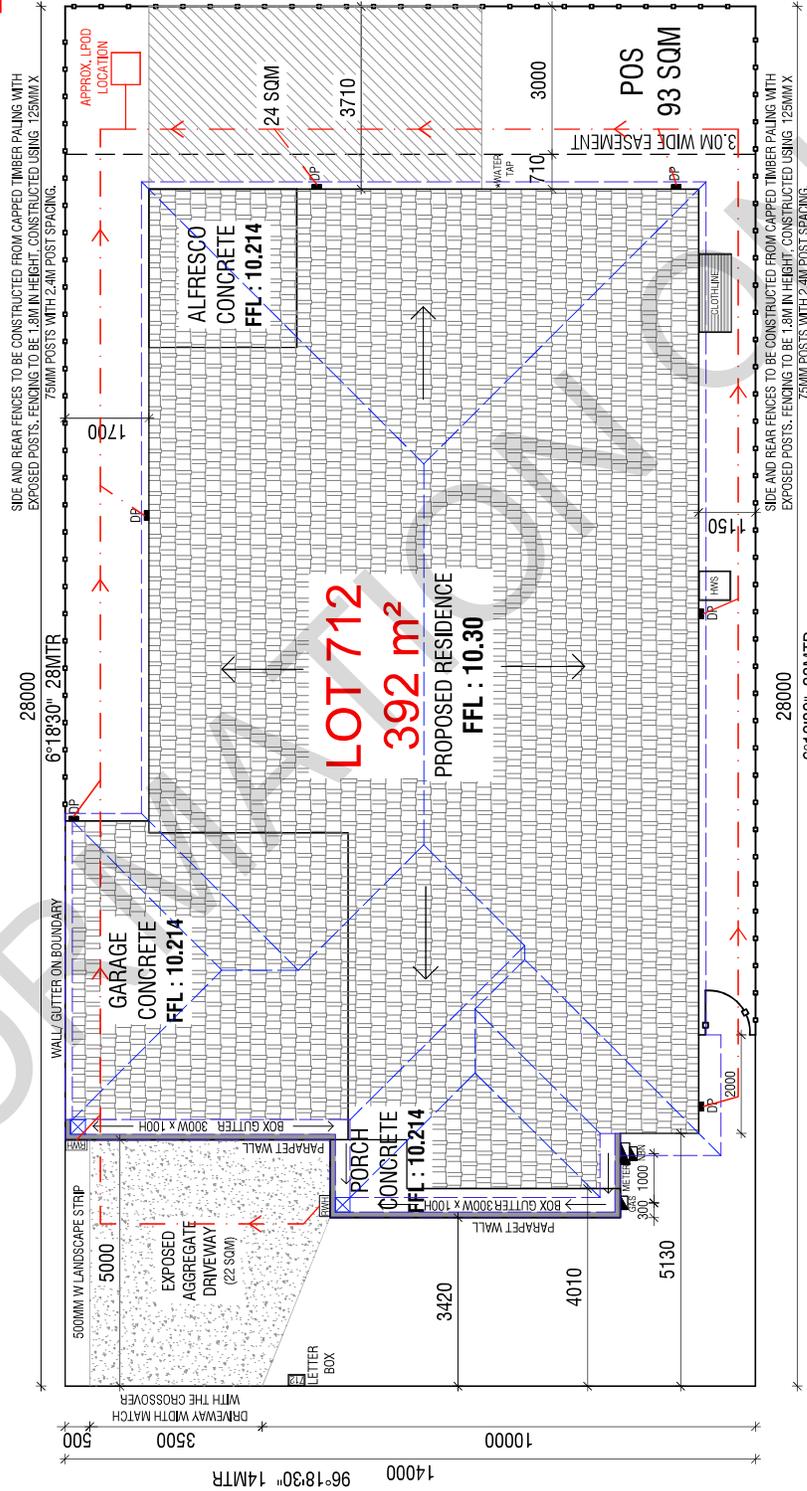
DESIGN OF ANTI-PONDING DEVICE/BOARD IN ACCORDANCE WITH 7.3.5
 FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS – AS PER BCA 2022 - AN EXHAUST SYSTEM INSTALLED
 IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF—
 1) 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT; AND
 2) 40 L/S FOR A KITCHEN OR LAUNDRY.

AREA ANALYSIS

LAND AREA	392.00	sqm
LIVING AREA	184.40	sqm
GARAGE	36.16	sqm
PORCH/ALFRESCO	5.01/9.63	sqm
TOTAL	235.20	sqm

LAND COVERAGE	60.00 %
SITE PERMEABILITY	33.93 %
SITE IMPERMEABILITY	6.07 %
POS	93 sqm

BRICK HOUSE



RECYCLE WATER AVAILABLE

BUILDER / CONTRACTOR SHALL VERIFY JOB
 REVISIONS:

NO.	DATE	DESCRIPTION
01	15/09/2024	CONCEPT PLAN
02	13/09/2024	DEVELOPER DRAWING
03	04/12/2024	SURVEY AND LEVELS
04	22/01/2025	LPOD

LOT 712, KILARNIE BOULEVARD

SMART VISION HOMES

CLIENT: PARVEEN KUMAR
JOB NO: 024-0028
SCALE: 1:100

ASA
 DESIGN CONSULTANTS

HANNA ARCHITECTS
HEBA HANNA
Hanna Architects

ARCHITECT DETAILS:

SMART VISION HOMES

LOT 712, KILARNIE BOULEVARD

SMART VISION HOMES

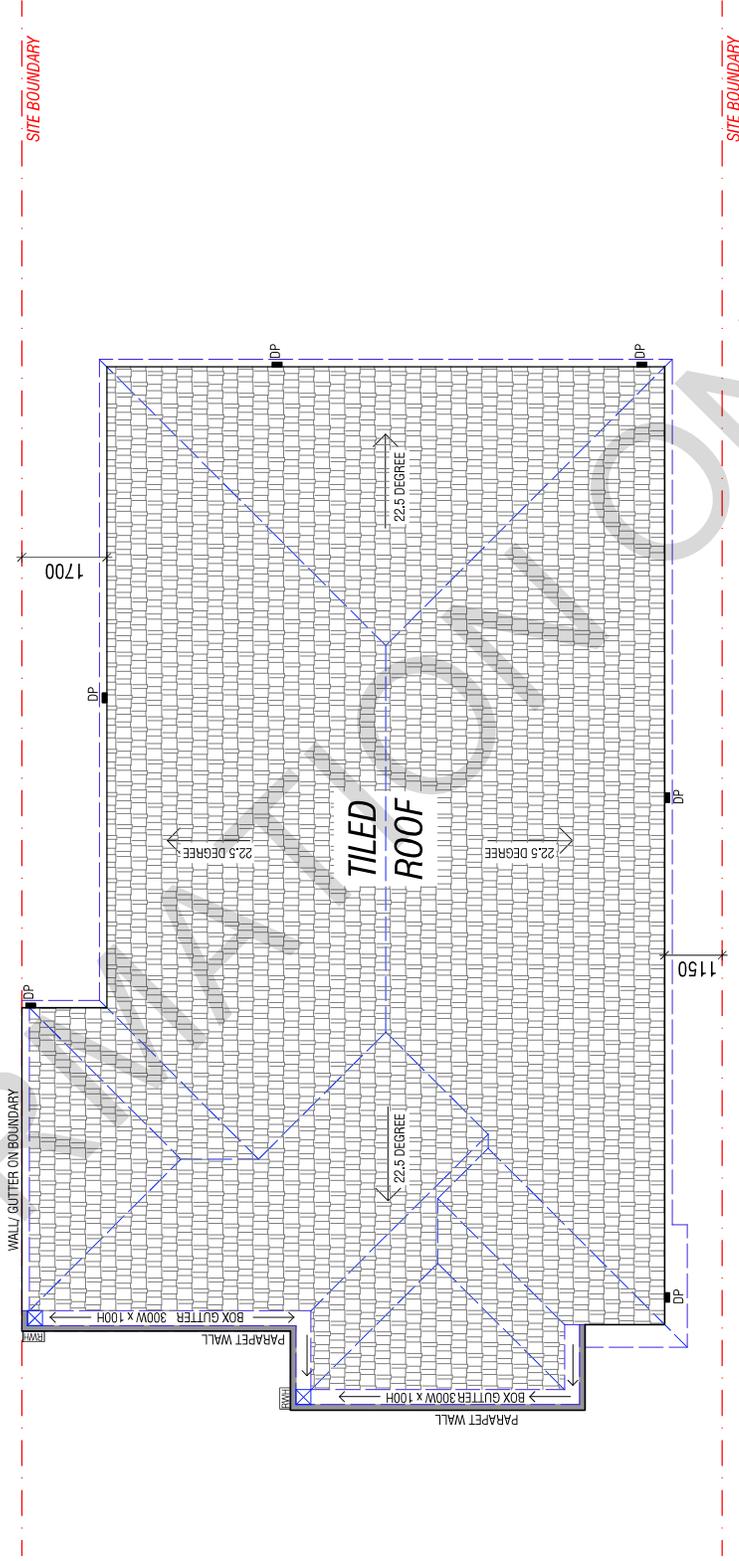
CLIENT: PARVEEN KUMAR
JOB NO: 024-0028
SCALE: 1:100

ASA
 DESIGN CONSULTANTS

HANNA ARCHITECTS
HEBA HANNA
Hanna Architects

ARCHITECT DETAILS:

APPROVED
 20240223
 Permit No. 9970539902385
 Issue Date: 07/02/2025
 Mohammed Alsaad S.S.L. 79872

BUILDER / CONTRACTOR SHALL VERIFY JOB
 DIMENSIONS AND SHALL BE RESPONSIBLE FOR
 REVISIONS. DIMENSIONS TAKE PRECEDENCE OVER
 SCALED WORK. WORK SHALL CONFORM THE
 SPECIFICATION. OTHER DRAWINGS AND JOB
 DIMENSIONS. ALL SHOP DRAWINGS SHALL BE
 SUBMITTED TO THE DRAFTSPERSON, AND
 MANUFACTURE SHALL NOT COMMENCE PRIOR
 TO THE RETURN OF INSPECTED SHOP
 DRAWINGS SIGNED BY DRAFTSPERSON.

REVISIONS:

NO.	DATE	REASON
01	05/09/2024	CONCEPT PLAN
02	13/09/2024	DEVELOPER DRAWING
03	04/12/2024	SURVEY AND LEVELS
04	22/01/2025	UPD

PROJECT DETAILS :

LOT 712, KILARNIE BOULEVARD

TITLE:
ROOF PLAN

BUILDER:
SMART VISION HOMES

DRG NO.:
02-A

DRAWN BY:
 AB

CHECKED BY:
 SB

DATE:
 23/01/2025

CLIENT:
PARVEEN KUMAR

JOB NO.: 028-0028

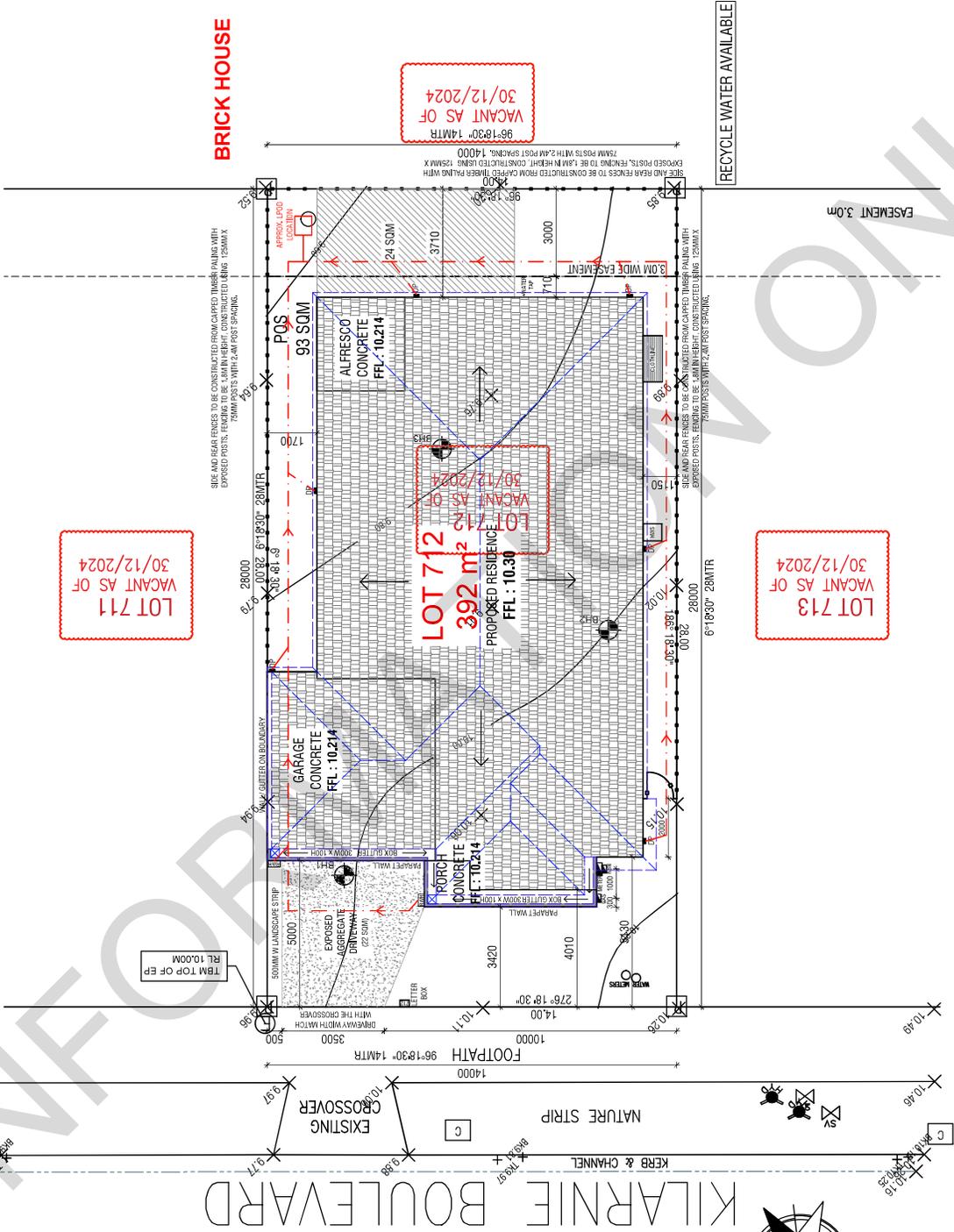
SCALE: 1:150

ARCHITECT DETAILS:
HANNA ARCHITECTS
HEBA HANNA

 DESIGN CONSULTANTS

Hanna Architects

APPROVED
 20240223
 Permit No. 9970539902386
 Issue Date: 07/02/2023
 Mohammed Alsaad S.S.L. 79872



REVISIONS:

NO.	DATE	DESCRIPTION
01	05/09/2024	CONCEPT PLAN
02	13/09/2024	DEVELOPER DRAWING
03	04/12/2024	SURVEY AND LEVELS
04	22/01/2025	LP02

BUILDER / CONTRACTOR SHALL VERIFY JOB
 DIMENSIONS AND CONFORM TO THE
 REVISIONS TIME PERIODS OFFER
 SCALED WORK. WORK SHALL CONFORM THE
 SPECIFICATION. OTHER DRAWINGS AND JOB
 DIMENSIONS. ALL SHOP DRAWINGS SHALL BE
 SUBMITTED TO THE DRAFTSPERSON, AND
 MANUFACTURE SHALL NOT COMMENCE PRIOR
 TO THE RETURN OF INSPECTED SHOP
 DRAWINGS SIGNED BY DRAFTSPERSON.

PROJECT DETAILS:

TITLE: SURVEY PLAN

DRG NO.: 02-B

CLIENT: PARVEEN KUMAR

JOB NO.: 024-0028

SCALE: 1:150

DATE: 23/01/2025

CHECKED BY: SB

DRAWN BY: AB

SMART VISION HOMES

LOT 712, KILARNIE BOULEVARD

ARCHITECT DETAILS:

HANNA ARCHITECTS
HEBA HANNA

ASA
 DESIGN CONSULTANTS

APPROVED
 20240223
 Permit No. 9970539902386
 Issue Date: 07/02/2023
 Mohammed Alsaad S.S.L. 79872

APPROVED

ABBREVIATIONS

- ARTICULATION UNITS
- HARDWIRED SMOKE ALARM WITH BATTERY BACKUP AS PER B.C. REQUIREMENTS
- DOWNPIPE TO LPD VIA 90MM DIA' REQUIREMENTS
- JPVC PIPE AS PER LOCAL AUTHORITIES REQUIREMENTS
- MANHOLE TO CEILING ACCESS (LOCATION MAY VARY SLIGHTLY)
- WINDOWS TO BE CENTERED TO THE ROOM UNLESS DIMENSIONED
- HOT WATER SYSTEM
- ELECTRICAL RANGEHOOD OVERHEAD CABINET

ARTIFICIAL LIGHTING NOT TO EXCEED:

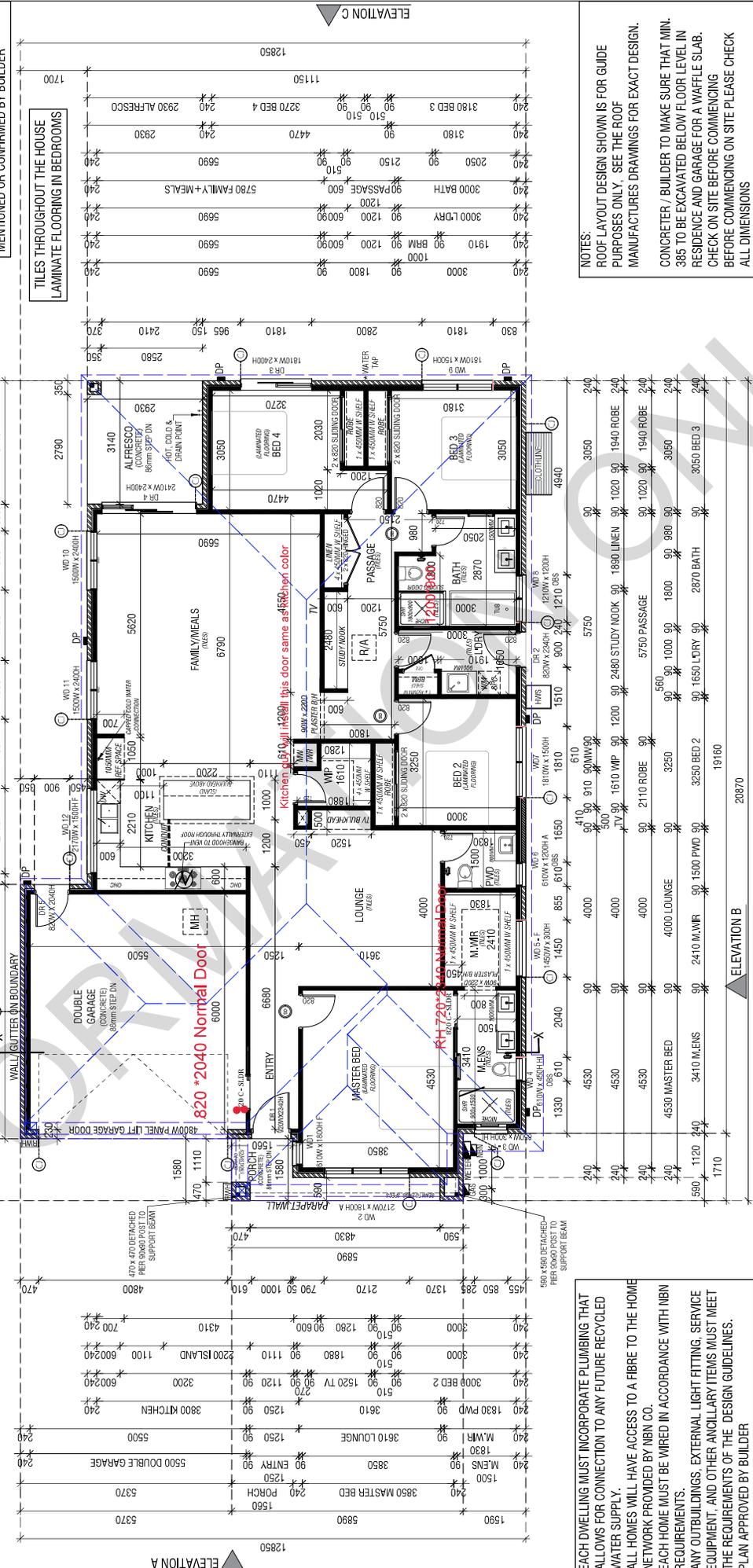
- 5W/M² FOR DWELLING
- 4W/M² FOR VERANDAH, BALCONY
- 3W/M² FOR GARAGE

ENERGY RATING

INSULATION

- WALL :R.0.0
- ROOF :R.0.0

ALL BULKHEADS OPENING TO BE 220MM HIGH ALL INTERNAL DOORS TO BE 2340 HIGH UNLESS MENTIONED OR CONFIRMED BY BUILDER ALL ROBE AND LINEN DOORS 2040 UNLESS MENTIONED OR CONFIRMED BY BUILDER



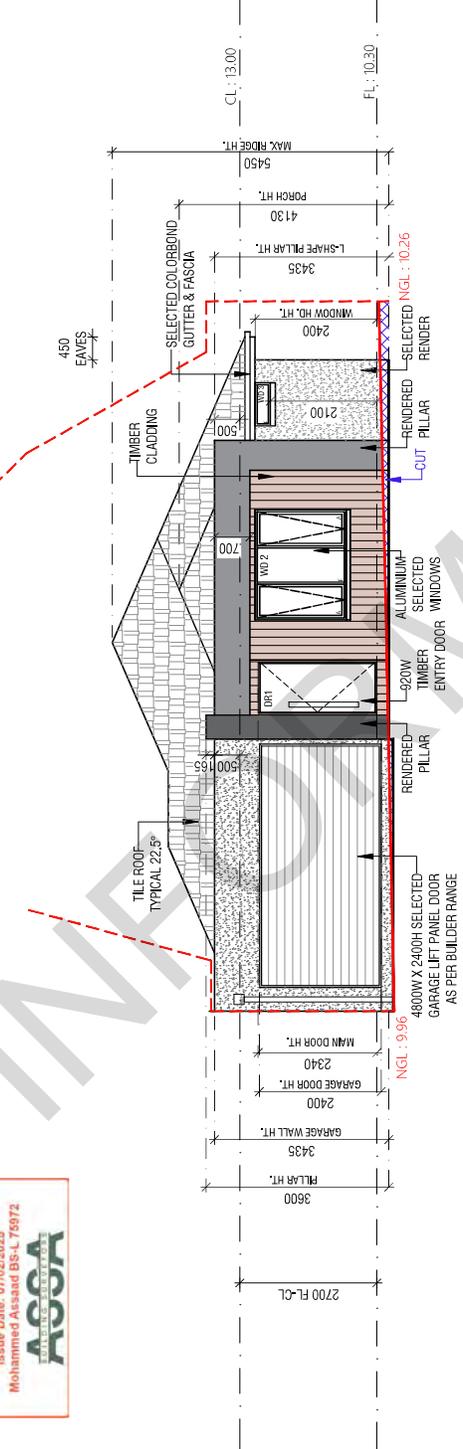
<p>PROJECT DETAILS :</p> <p>TITLE: FLOOR PLAN</p> <p>DRG NO.: 03</p> <p>CLIENT: PARVEEN KUMAR</p> <p>BUILDER: SMART VISION HOMES</p> <p>DATE: 23/01/2025</p> <p>SCALE: 1:100</p>																
<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REASON</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>15/09/2024</td> <td>CONTRACT PLAN</td> </tr> <tr> <td>02</td> <td>13/09/2024</td> <td>REVISIONS TAKE PRECEDENCE OVER SCALED WORK. WORK SHALL CONFORM THE SPECIFICATION, OTHER DRAWINGS AND JOB SURVEY AND LEVELS</td> </tr> <tr> <td>03</td> <td>04/12/2024</td> <td>LPD</td> </tr> <tr> <td>04</td> <td>22/01/2025</td> <td></td> </tr> </tbody> </table>		NO.	DATE	REASON	01	15/09/2024	CONTRACT PLAN	02	13/09/2024	REVISIONS TAKE PRECEDENCE OVER SCALED WORK. WORK SHALL CONFORM THE SPECIFICATION, OTHER DRAWINGS AND JOB SURVEY AND LEVELS	03	04/12/2024	LPD	04	22/01/2025	
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<p>ARCHITECT DETAILS:</p> <p>HANNA ARCHITECTS</p> <p>HEBA HANNA</p> <p>ASAD</p> <p>DESIGN CONSULTANTS</p>																
<p>NOTES:</p> <p>ROOF LAYOUT DESIGN SHOWN IS FOR GUIDE PURPOSES ONLY. SEE THE ROOF MANUFACTURE DRAWINGS FOR EXACT DESIGN.</p> <p>CONCRETE / BUILDER TO MAKE SURE THAT MIN. 385 TO BE EXCAVATED BELOW FLOOR LEVEL IN RESIDENCE AND GARAGE FOR A WAFFLE SLAB. CHECK ON SITE BEFORE COMMENCING BEFORE COMMENCING ON SITE PLEASE CHECK ALL DIMENSIONS</p>																
<p>PLANNING APPROVED BY BUILDER</p> <p>EACH DWELLING MUST INCORPORATE PLUMBING THAT ALLOWS FOR CONNECTION TO ANY FUTURE RECYCLED WATER SUPPLY.</p> <p>ALL HOMES WILL HAVE ACCESS TO A FIBRE TO THE HOME NETWORK PROVIDED BY NBN CO.</p> <p>EACH HOME MUST BE WIRED IN ACCORDANCE WITH NBN REQUIREMENTS.</p> <p>ANY OUTBUILDINGS, EXTERNAL LIGHT FITTING, SERVICE EQUIPMENT, AND OTHER ANCILLARY ITEMS MUST MEET THE REQUIREMENTS OF THE DESIGN GUIDELINES.</p>																

APPROVED
 20240223
 Permit No. 3970539902345
 Issue Date: 07/02/2023
 Mohammed Alsaad B.S.L. 79972
ASQA

Brick - Industrial Iron same as Banford

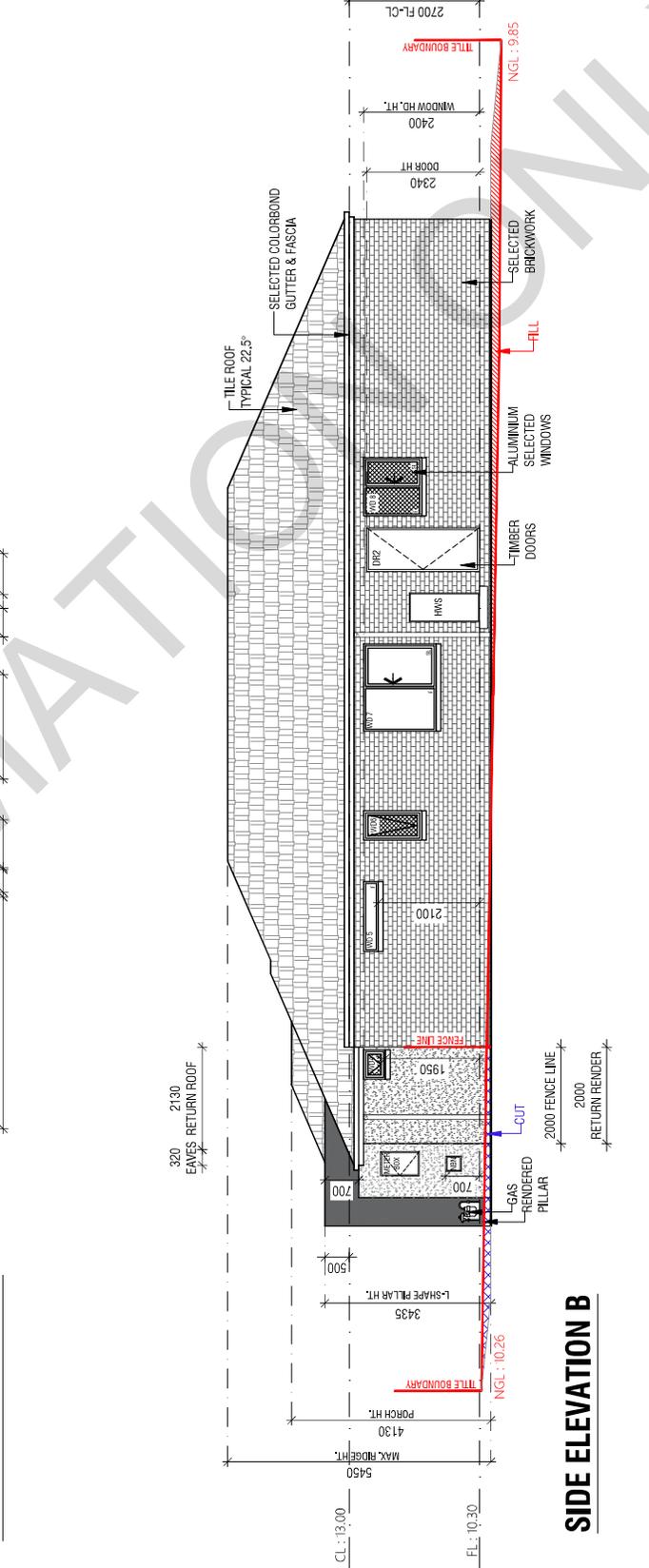
COLOUR SCHEDULE

EXTERNAL FINISHES	EXTERNAL FINISHES
ROOF TILES MONUMENT	ENTRY FACED CORNER PANEL DOOR HARDWARE WALNUT
BRICKS TO THE WALLS HARVE BRICKS AND PAVERS INDUSTRIAL ALLOY	POST AND RAIL TIMBER CLADDING CLASSIC CEDAR
MORTAR TO THE BRICKS GREY	FR GARAGE DOOR CLASSIC CEDAR
RENDER TO THE FACADE DALIX Terrazzo White	TERACE SPREAD AGGREGATE
RENDER TO BOTH THE PILLARS DALIX AEROSOL	LEFT BRICK (AS PER DEVELOPER ALIGNMENT) MONUMENT
GUTTER/FASCIA/CORNER SUPPORT	METALWORK AND FINISHES TERACE WHITE GRAB AS PER DEVELOPER
ALUMINUM WINDOWS WINDOWS PAW SUBMIT	



FRONT ELEVATION A

STRUCTURAL ENGINEERING DISCLAIMER:
 ALL STRUCTURAL METHODS SET OUT IN THIS ARCHITECTURAL DOCUMENTATION PACKAGE, EITHER DIAGRAMMATICAL OR ANNOTATED ARE NEITHER EXHAUSTIVE OR EXHAUSTIVE, AND ARE IN ALL CASES SUPERSEDED BY THE RELEVANT STRUCTURAL ENGINEERING DOCUMENTATION. REFER TO STRUCTURAL ENGINEERS DOCUMENTATION AND COMPUTATIONS FOR ALL ENGINEERING METHODS.
 C.I. : DENOTES CONTROL JOINT TO FULL HEIGHT OF BRICKWORK @5M MAX. CENTRES. ALL JOINTS TO CONFORM TO NOTE C09 OF THE BRICKWORK AND CONCRETE ASSOCIATION. INFORMATION CONTAINED IN THE SOIL REPORT REGARDING CONTROL JOINTS TAKES PRECEDENCE.
 WEEP HOLES - WEEP HOLES AT 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE AS TO BCA 2022 PART 5.7.5
 NOTE: PROVIDE WEEP HOLES AT 960MM MAXIMUM CENTRES WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE OPENINGS
 WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS
 ALL ROOF PENETRATIONS AND FLASHINGS AS PER THE BCA 2022
 WET AREA COMPLIANCE WITH AS3740 BCA PART 10.2.1 THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING
 WINDOW SIZES CAN BE VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS IF NOT CLEAR PLEASE CONFIRM DIMENSIONS BEFORE COMMENCE WORK ON SITE
 MECHANICAL VENTILATION TO BE DUCTED TO THE OUTER AIR.



SIDE ELEVATION B

ARCHITECT DETAILS:
HANNA ARCHITECTS
HEBA HANNA
Hanna Architects

ASA
 DESIGN CONSULTANTS

CLIENT: PARVEEN KUMAR
JOB NO.: 028-0028
SCALE: 1:100

DRG NO.: 04
CHECKED BY: SB
DATE: 23/01/2025

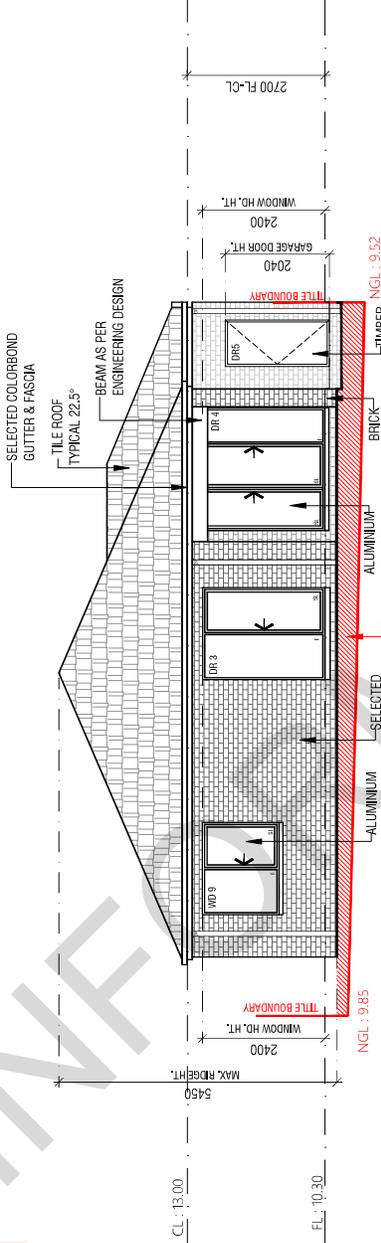
TITLE: ELEVATION A & B
BUILDER: SMART VISION HOMES

PROJECT DETAILS:
LOT 712, KILARNIE BOULEVARD

REVISIONS:	DATE:	REV:	REVISION
CONTRACT PLAN	15/09/2024	01	
DEVELOPER DRAWING	13/09/2024	02	
SURVEY AND LEVELS	04/12/2024	03	
UPD	22/01/2025	04	

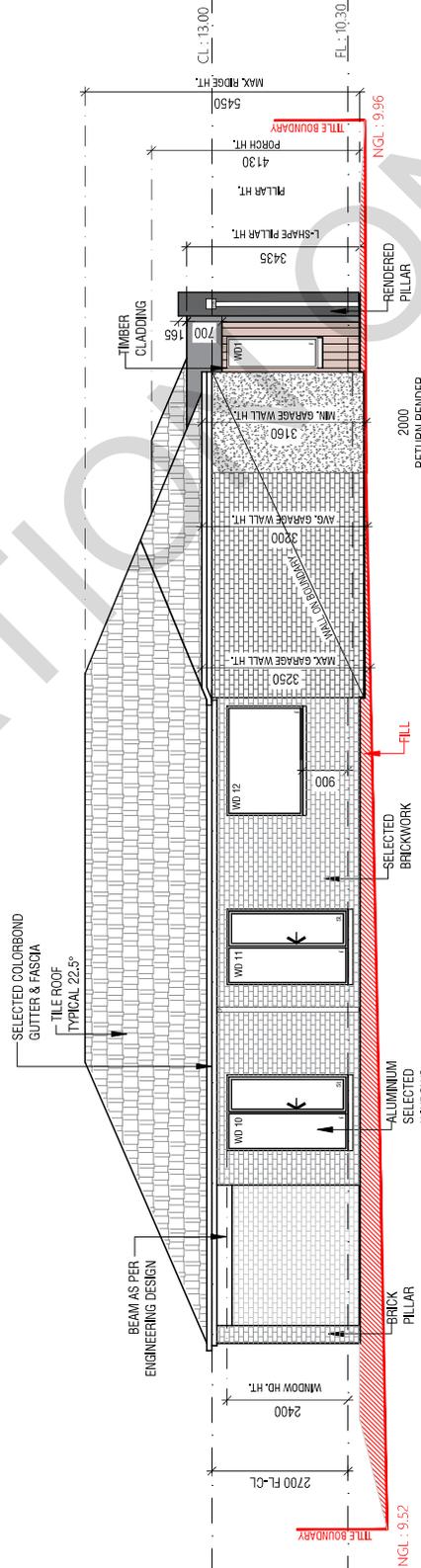
BUILDER / CONTRACTOR SHALL VERIFY JOB DIMENSIONS AND TAKE PRECEDENCE OVER SCALED WORK. WORK SHALL CONFORM THE SPECIFICATION. OTHER DRAWINGS SHALL BE SUBMITTED TO THE DRAFTSPERSON, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF INSPECTED SHOP DRAWINGS SIGNED BY DRAFTSPERSON.

APPROVED
 20240223
 Permit No. 9970539902385
 Issue Date: 07/02/2025
 Mohammed Alsaad B.S.L.79872

REAR ELEVATION C

STRUCTURAL ENGINEERING DISCLAIMER:
 ALL STRUCTURAL METHODS SET OUT IN THIS ARCHITECTURAL DOCUMENTATION PACKAGE EITHER DIAGRAMMATICAL OR ANNOTATED ARE NEITHER EXCLUSIVE OR EXHAUSTIVE, AND ARE IN ALL CASES SUPERSEDED BY THE RELEVANT STRUCTURAL ENGINEERING DOCUMENTATION; REFER TO COMPUTATIONS FOR ALL ENGINEERING METHODS.
 C.J. : DENOTES CONTROL JOINT TO FULL HEIGHT OF BRICKWORK @5M MAX. CENTRES. ALL JOINTS TO CONFORM TO NOTE CN9 OF THE BRICKWORK AND CONCRETE ASSOCIATION. INFORMATION CONTAINED IN THE SOIL REPORT REGARDING CONTROL JOINTS TAKES PRECEDENCE.
 WEEPHOLES -
 WEEP HOLES AT 1.2 METRE SPACING AND ABOVE WINDOWS MORE THAN 1.0 METRE WIDE AS TO BCA 2022 PART 5.7.5
 NOTE: PROVIDE WEEPHOLES AT 960MM MAXIMUM CENTRES WITH CONTINUOUS FLASHING WHERE THE BRICKWORK EXTENDS OVER THE OPENINGS
 WINDOW SIZES CAN VARY DEPENDING ON MANUFACTURER SPECIFICATIONS, AND ENERGY RATING REQUIREMENTS
 ALL ROOF PENETRATIONS AND FLASHINGS AS PER THE BCA 2022
 WET AREA COMPLIANCE WITH AS3740 BCA PART 10.2.1 THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING
 WINDOW SIZES CAN VARY DEPENDING ON MANUFACTURER SPECIFICATIONS AND ENERGY RATING REQUIREMENTS IF NOT CLEAR PLEASE CONFIRM DIMENSIONS BEFORE COMMENCE WORK ON SITE
 MECHANICAL VENTILATION TO BE DUCTED TO THE OUTER AIR.



SIDE ELEVATION D

ARCHITECT DETAILS:
HANNA ARCHITECTS
HEBA HANNA



ASA
 DESIGN CONSULTANTS

CLIENT:
PARVEEN KUMAR
JOB NO: 026-0028
SCALE: 1:100

DRG NO.: 05
CHECKED BY: SB
DRAWN BY: AB

DATE: 23/01/2025
DATE: 23/01/2025

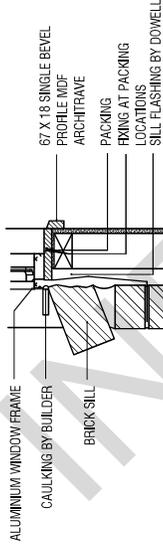
TITLE: ELEVATION C & D
BUILDER: SMART VISION HOMES

REVISIONS:

NO.	DATE	REV	REASON
01	05/09/2024	--	CONCEPT PLAN
02	13/09/2024	--	DEVELOPER DRAWING
03	04/12/2024	--	SURVEY AND LEVELS
04	22/01/2025	--	TP02

BUILDER / CONTRACTOR SHALL VERIFY JOB DIMENSIONS AND CONFORM TO THE SCALED WORK. WORK SHALL CONFORM THE SPECIFICATION. OTHER DRAWINGS AND JOB DIMENSIONS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DRAFTSPERSON, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF INSPECTED SHOP DRAWINGS SIGNED BY DRAFTSPERSON.

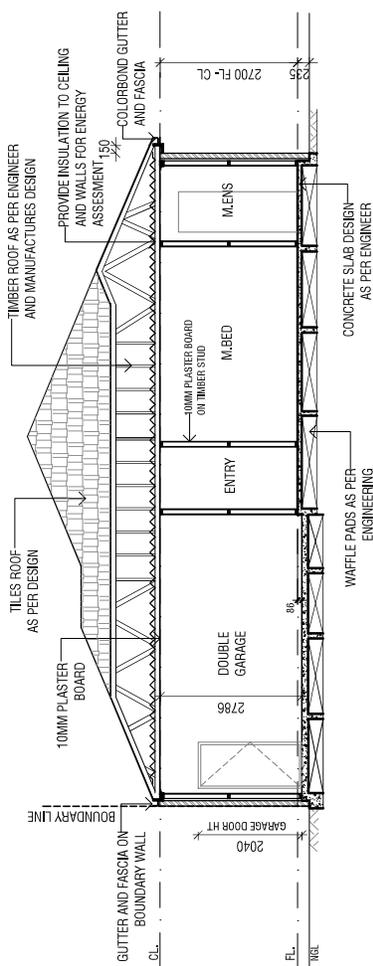
APPROVED
20240223
Permit No. 997053902385
Issue Date: 07/02/2023
Mohammed Alsaad S.S.L.79872

WINDOW INSULATION RECOMMENDATION WINDOW FLASHING DETAIL
SCALE : NOT TO SCALE

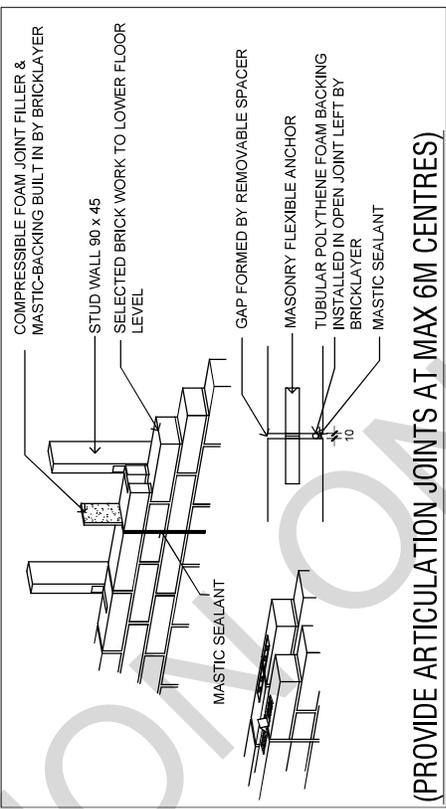
DOOR AND WINDOW SCHEDULE
PLEASE REFER ENERGY RATING FOR SG/DG WINDOWS

NO.	SIZES	WINDOW TYPE	WALL TYPE
WD 1	610W X 1800H	ALUMINIUM FIXED WINDOW	BRICK VENEER
WD 2	2170W X 1800H	ALUMINIUM AWNING WINDOW	BRICK VENEER
WD 3	850W X 300H	ALUMINIUM FIXED WINDOW HL	BRICK VENEER
WD 4	610W X 450H	ALUMINIUM AWNING OBSCURED WINDOW HL	BRICK VENEER
WD 5	1450W X 300H	ALUMINIUM FIXED WINDOW	BRICK VENEER
WD 6	610W X 1200H	ALUMINIUM AWNING OBSCURED WINDOW	BRICK VENEER
WD 7	1810W X 1500H	ALUMINIUM SLIDING WINDOW	BRICK VENEER
WD 8	1210W X 1200H	ALUMINIUM SLIDING OBSCURED WINDOW	BRICK VENEER
WD 9	1810W X 1500H	ALUMINIUM SLIDING WINDOW	BRICK VENEER
WD 10	1500W X 2400H	ALUMINIUM SLIDING WINDOW	BRICK VENEER
WD 11	1500W X 2400H	ALUMINIUM SLIDING WINDOW	BRICK VENEER
WD 12	2170W X 1500H	ALUMINIUM FIXED WINDOW	BRICK VENEER
DR 1	920W X 2340H	TIMBER DOOR	BRICK VENEER
DR 2	820W X 2340H	TIMBER DOOR	BRICK VENEER
DR 3	1810W X 2400H	ALUMINIUM SLIDING DOOR	BRICK VENEER
DR 4	2410W X 2400H	ALUMINIUM SLIDING DOOR	BRICK VENEER
DR 5	820W X 2040H	TIMBER DOOR	BRICK VENEER



TYPICAL SECTION DETAIL X-X
SCALE 1:100

VERTICAL ARTICULATION JOINT DETAIL



BUILDER / CONTRACTOR SHALL VERIFY JOB PERFORMED TO THE DIMENSIONS AND SPECIFICATIONS OF THE DRAWINGS AND JOB SCHEDULED WORK. WORK SHALL CONFORM TO THE SPECIFICATION, OTHER DRAWINGS AND JOB DIMENSIONS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DRAFTSPERSON, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF INSPECTED SHOP DRAWINGS SIGNED BY DRAFTSPERSON.

REVISIONS:

NO.	DATE	BY	REASON
01	05/09/2024	--	01
02	13/09/2024	--	02
03	04/12/2024	--	03
04	22/01/2025	--	04

PROJECT DETAILS :
LOT 712, KILARNIE BOULEVARD

TITLE:
DOORS & WINDOWS SCHEDULE
BUILDER:
SMART VISION HOMES

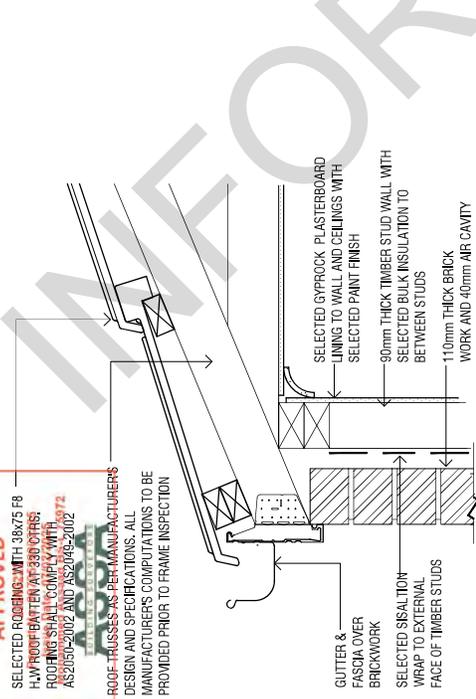
DRG NO.: **06**
CLIENT: **PARVEEN KUMAR**
JOB NO.: 026-0028
CHECKED BY: **SB**
DRAWN BY: **AB**
DATE: 23/01/2025
SCALE: 1:100

ARCHITECT DETAILS:
HANNA ARCHITECTS
HEBA HANNA
DESIGN CONSULTANTS

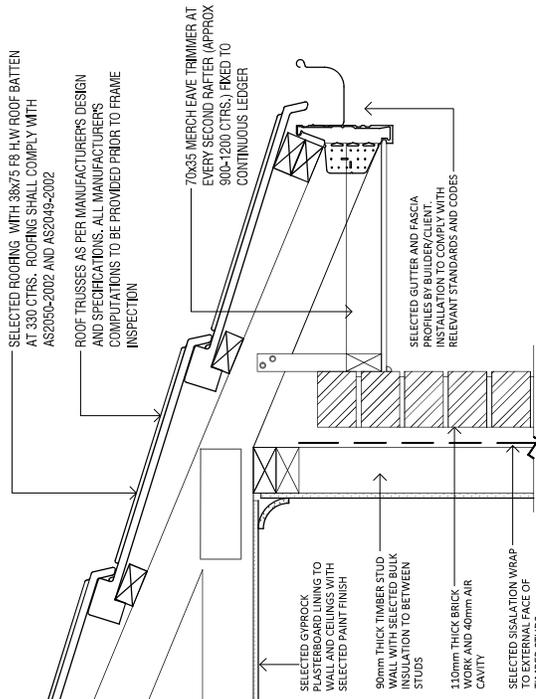
Hanna Architects

APPROVED
 SELECTED ROOFINGS WITH 38x75 F8 H/W ROOF BATTEN AT 330 CTRS. ROOFING SHALL COMPLY WITH AS2054-2002 AND AS2046-2002

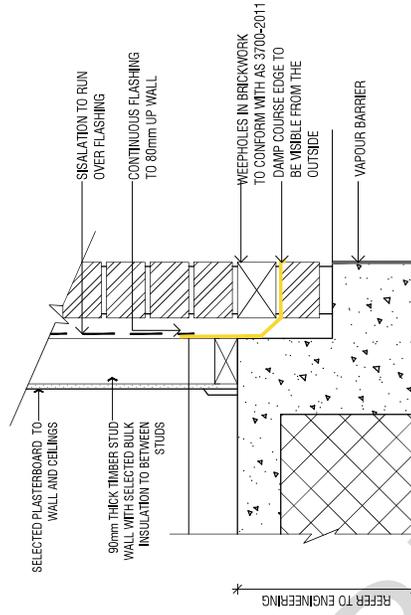
ROOF TRUSSES AS PER MANUFACTURERS DESIGN AND SPECIFICATIONS. ALL MANUFACTURERS COMPUTATIONS TO BE PROVIDED PRIOR TO FRAME INSPECTION



**GUTTER DETAIL (TYP.)
 SCALE 1:10**

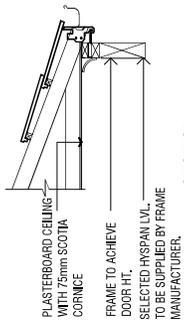
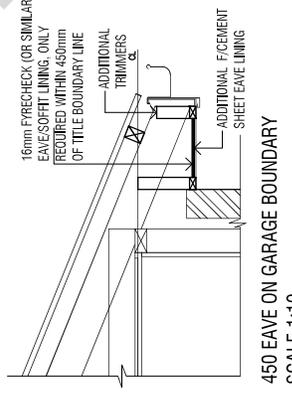
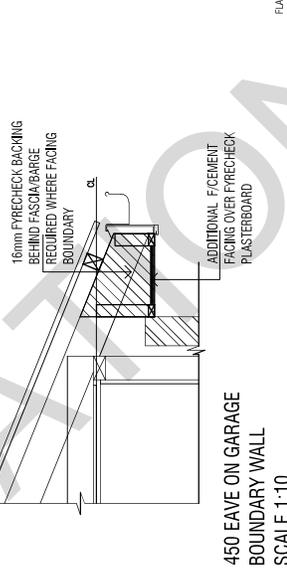


**TYPICAL EAVE CONSTRUCTION
 SCALE 1:10**



**SLAB EDGE DETAIL
 SCALE 1:10**

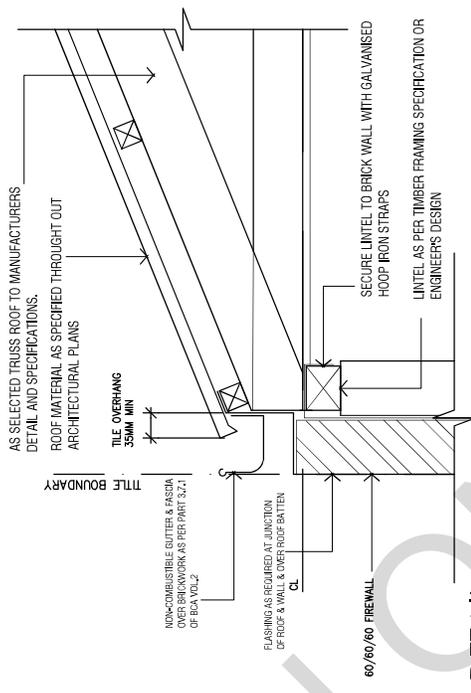
**FIRE RATED EAVE DETAIL WITHIN 450MM OF BOUNDARY
 SCALE 1:10**



SECTION

GARAGE DOOR OPENING

HEAD (WALL ABOVE)



**DETAIL
 GARAGE BOUNDARY WALL
 SCALE 1:10**

NOTE: ALL FLASHING TO STAY WITHIN THE TITLE BOUNDARY

REVISIONS:

NO.	DATE	REV	REASON
1	15/09/2024	01	CONTRACT PLAN
2	13/09/2024	02	DEVELOPER DRAWING
3	04/12/2024	03	SURVEY AND LEVELS
4	22/01/2025	04	TP02

PROJECT DETAILS:

DRG NO.:	07-A
CLIENT:	PARVEEN KUMAR
JOB NO.:	024-0028
SCALE:	NTS
DATE:	23/01/2025
CHECKED BY:	SB
DRAWN BY:	AB

LOT 712, KILARNIE BOULEVARD

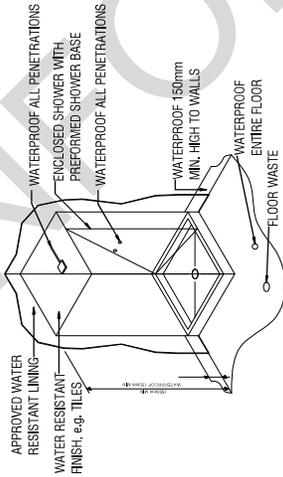
SMART VISION HOMES

DETAILS

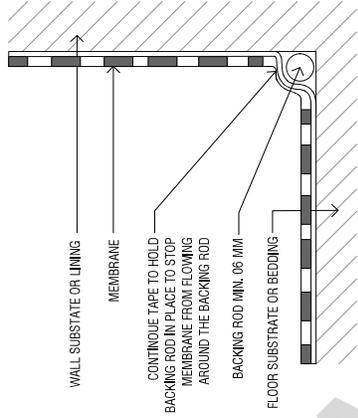
ASA
 DESIGN CONSULTANTS

ARCHITECT DETAILS:
HANNA ARCHITECTS
HEBA HANNA
Hanna Architects

APPROVED
 20240223
 Permit No. 9970539902385
 Issue Date: 07/02/2025
 Mohammed Alstaid B.S.L. 79872

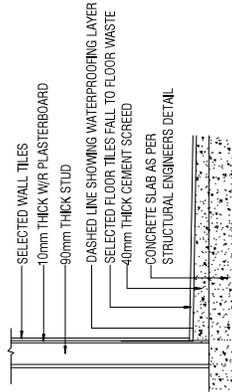
WATER PROOFING REQUIREMENTS



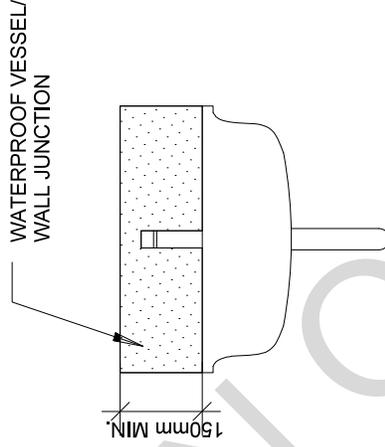
WATERPROOFING DETAIL AT NICHE

- WATERPROOFING DETAILS OF FLOORS, WALL/FLOOR JUNCTIONS AND PENETRATIONS IN SHOWER AREAS.
- WATERPROOFING DETAILS OF WALL/FLOOR JUNCTIONS OUTSIDE SHOWER AREAS.
- WATERPROOFING DETAILS OF SHELF AREAS, WALLS, WALL JUNCTIONS AND PENETRATIONS ADJACENT TO INSERTED BATHS.
- WATER RESISTANT DETAILS WALL/FLOOR JUNCTIONS TO WCS AND WATERPROOF PENETRATIONS ABOVE BASINS AND LAUNDRY TUBS

THE MINIMUM CONTINUOUS FALL OF A FLOOR PLANE TO THE WASTE MUST BE 1:80



TYPICAL WET AREA DETAIL



WATERPROOFING DETAIL

REVISIONS:

NO.	DATE	REV	REASON
01	05/09/2024	--	01
02	13/09/2024	--	02
03	04/12/2024	--	03
04	22/01/2025	--	04

BUILDER / CONTRACTOR SHALL VERIFY JOB IS IN ACCORDANCE WITH THE SPECIFIED DIMENSIONS AND CONFIRM TO THE ARCHITECT BY SIGNING THE SCALED WORK. WORK SHALL CONFORM THE SPECIFICATION, OTHER DRAWINGS AND JOB DIMENSIONS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DRAFTSPERSON, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF INSPECTED SHOP DRAWINGS SIGNED BY DRAFTSPERSON.

PROJECT DETAILS :

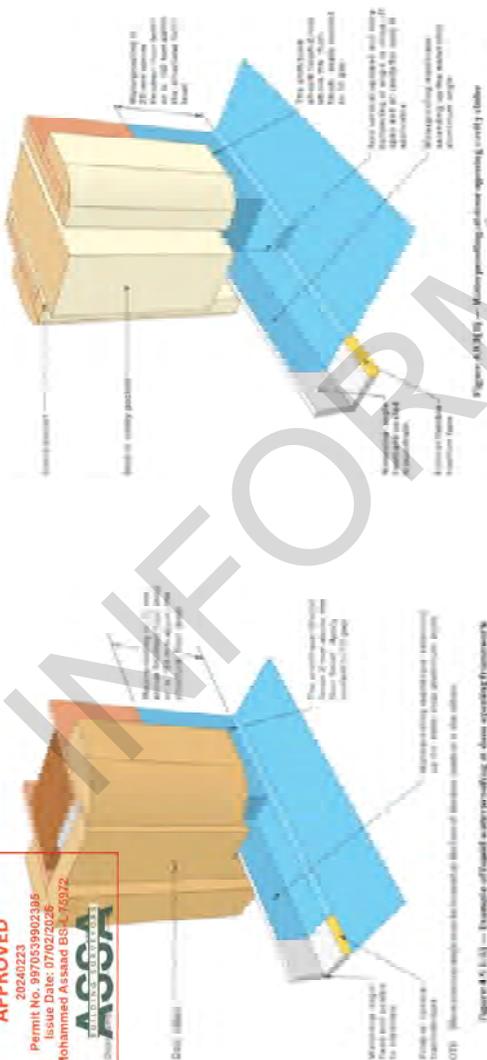
TITLE:	DETAILS
DRG NO.:	07-B
CLIENT:	PARVEEN KUMAR
CHECKED BY:	SB
DRAWN BY:	AB
DATE:	23/01/2025
SCALE:	NTS
JOB NO.:	024-0028
ARCHITECT DETAILS:	HANNA ARCHITECTS HEBA HANNA
DESIGN CONSULTANTS:	ASA
BUILDER:	SMART VISION HOMES

ARCHITECT DETAILS:
HANNA ARCHITECTS
HEBA HANNA

ASA
 DESIGN CONSULTANTS

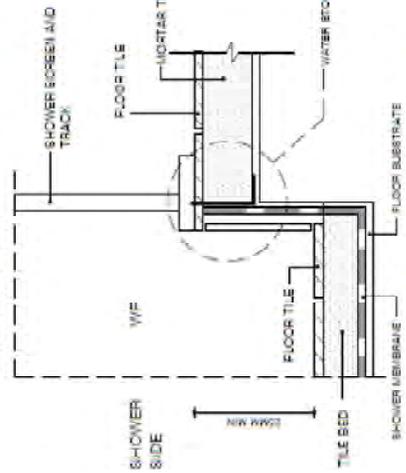
Hanna Architects

APPROVED
 20240223
 Permit No. 3970539902345
 Issue Date: 07/02/2023
 Mohammed Al Assad 86-5-70372

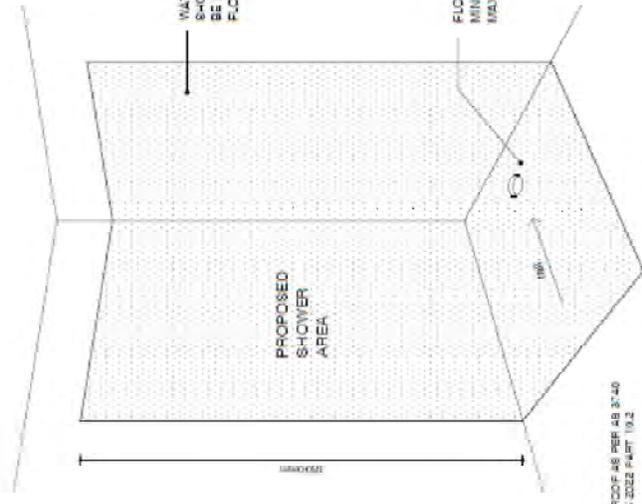



PERIMETER FLASHING DETAIL
 NOT TO SCALE

A MINIMUM 15MM RISE DOWN FROM THE HIGHEST FINISHED FLOOR LEVEL OF THE SHOWER AREA TO THE LEVEL OUTSIDE THE SHOWER



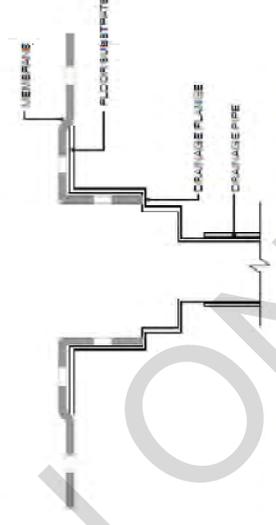
FLOOR WASTES (SEE TO FALL MIN 750 (12.5MM OVER 10) MAX 130 (20MM OVER 1M)



WATERPROOF AS PER AS 3740 AND MCC 2022 PART 10.2

SHOWER WATERPROOFING DETAIL
 NOT TO SCALE

CLASS 1 BUILDING CONCRETE - MAY BE ON TOP OF CONCRETE OR TILE BED OTHER FLOORS - RECESSED INTO FLOOR SUBSTRATE OR TILE BED
 CLASS 2-3 BUILDINGS - MUST BE RECESSED INTO THE FLOOR



FLOOR WASTE - TYPICAL MEMBRANE TERMINATION AT DRAINAGE OUTLET
 NOT TO SCALE

BUILDER / CONTRACTOR SHALL VERIFY JOB DIMENSIONS AND CONFORM TO THE REVISIONS AND DIMENSIONS TO THE SCALED WORK. WORK SHALL CONFORM TO THE SPECIFICATION, OTHER DRAWINGS AND JOB DIMENSIONS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DRAFTSPERSON, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF INSPECTED SHOP DRAWINGS SIGNED BY DRAFTSPERSON.

REVISIONS:

NO.	DATE	BY	REASON
01	05/09/2024	---	01
02	13/09/2024	---	02
03	04/12/2024	---	03
04	22/01/2025	---	04

PROJECT DETAILS:
LOT 712, KILARNIE BOULEVARD

TITLE: **DETAILS**
 DRG NO.: **07-C**
 CLIENT: **SMART VISION HOMES**

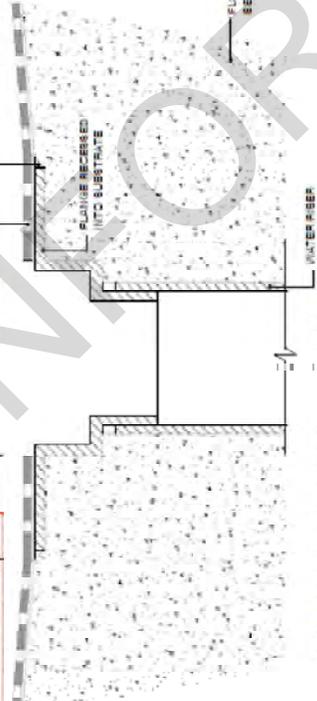
ARCHITECT DETAILS:
HANNA ARCHITECTS
HEBA HANNA
Hanna Architects

DESIGN CONSULTANTS
ASA

CLIENT: **PARVEEN KUMAR**
 JOB NO: 024-0028
 CHECKED BY: **SB**
 DRAWN BY: **AB**
 DATE: 23/01/2025
 SCALE: **NTS**

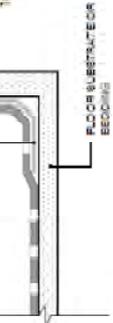
APPROVED
 20240223
 Permit No. 9570539002385
 Issue Date: 07/02/2025
 Mohammed Alissaid BCL 79979
ASQA
 AUTHORITY
 ADHURAM DIM
 OF PLAKE

WATERPROOFING MEMBRANE IS TO BE ROUNDED ON TO THE LEAK CONTROL FLANGE AND THE MEMBRANE IS TERMINATED HORIZONTALLY OR VERTICALLY AT THE FLANGE

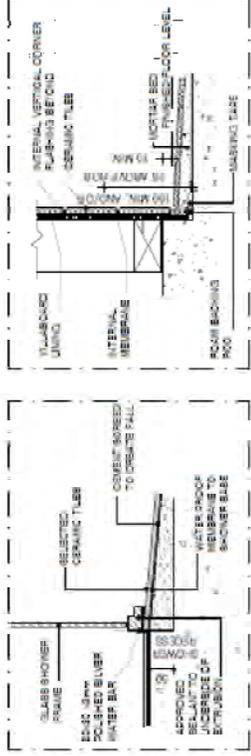


MEMBRANE TO DRAINAGE FLANGE DETAIL
 NOT TO SCALE

MINIMUM BOND BREAK 100MM WHEN SLOTTING BETWEEN 10% TO 50%

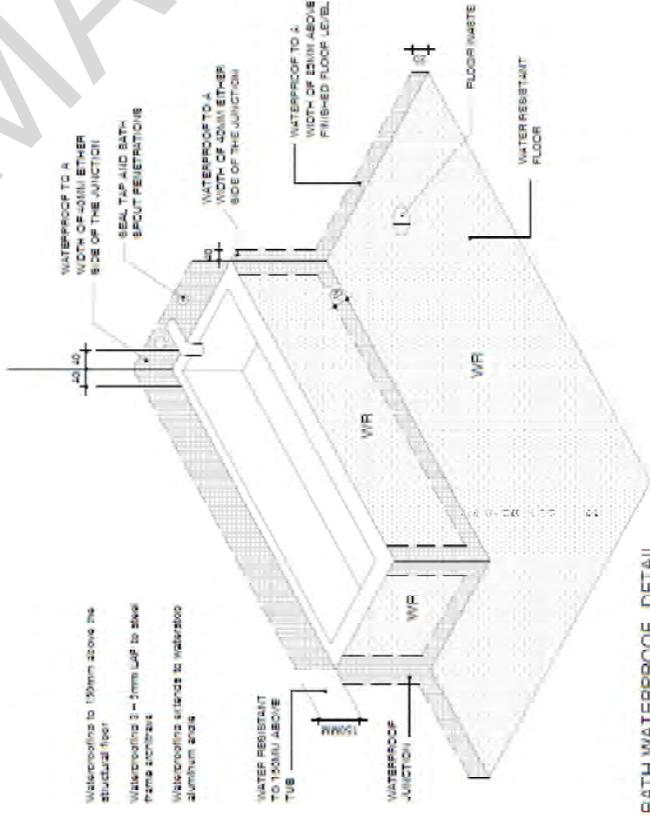


BOND BREAKER DETAIL
 NOT TO SCALE



RECESSED SHOWER DETAIL
 NOT TO SCALE

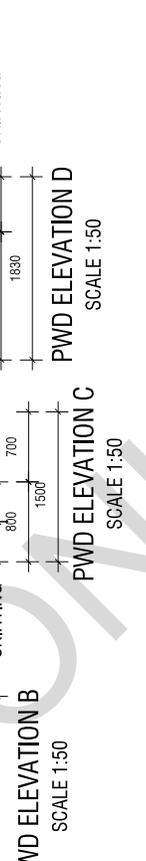
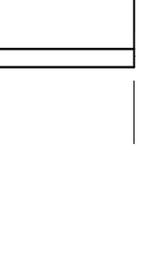
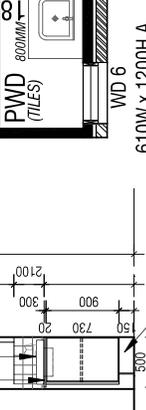
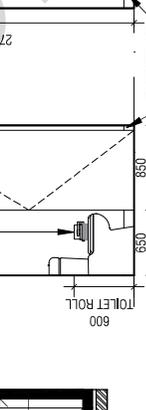
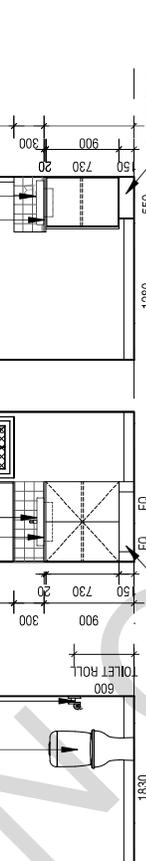
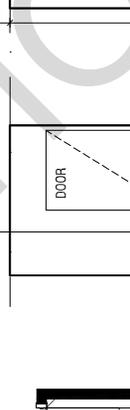
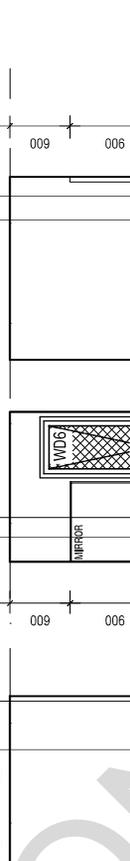
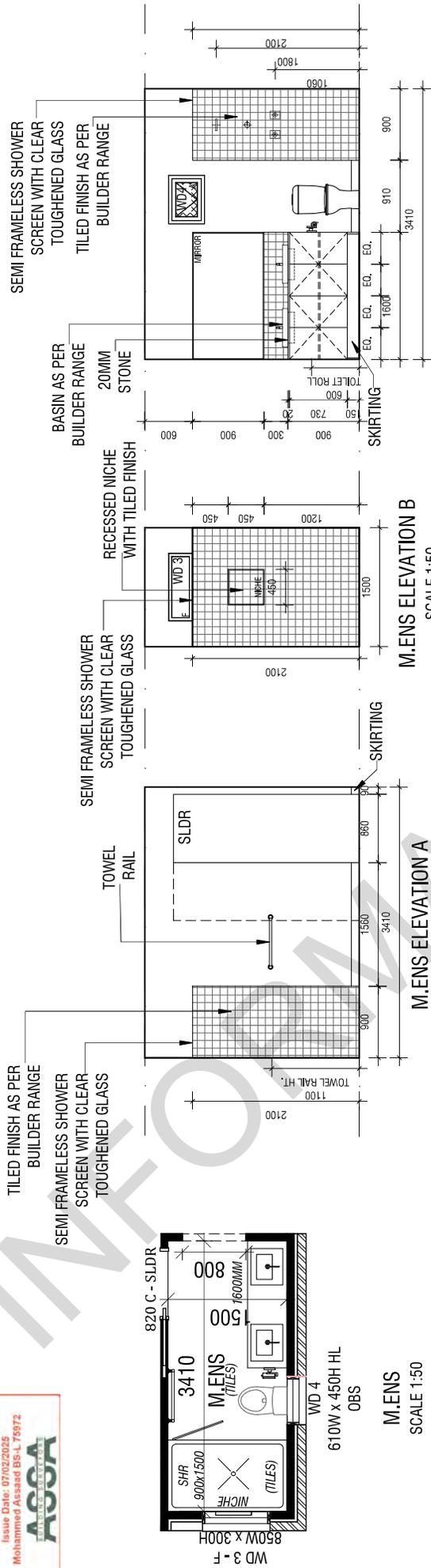
ALLOWANCE WHERE WATERPROOFING SURFACES MEET WATERPROOFING SURFACES THE WATERPROOFING IS TO BE CONTINUOUS ACROSS THE JUNCTION AND INCORPORATE AN APPROPRIATE BOND PERMITTER FLANGES TO WALL/FLOOR SURFACES THAT SHOULD BE CONTINUOUSLY SEALED (USUALLY WITH BOND BREAKER, HAVING THE VERTICAL LEGS MINIMUM OF 100MM ABOVE FINISHED FLOOR LEVEL, EXCEPT DOORWAYS AND HORIZONTAL PERMITS WATER STOP WITH A MINIMUM WIDTH OF 50MM WITH THE VERTICAL LEGS FINISHING FLUSH WITH THE FINISHED FLOOR LEVEL. PROTECTING WATER MIGRATING TO NON-WET AREAS.



BATH WATERPROOF DETAIL
 NOT TO SCALE

APPROVED 20240223 Permit No. 9570539002385 Issue Date: 07/02/2025 Mohammed Alissaid BCL 79979 ASQA AUTHORITY ADHURAM DIM OF PLAKE		WATERPROOFING MEMBRANE IS TO BE ROUNDED ON TO THE LEAK CONTROL FLANGE AND THE MEMBRANE IS TERMINATED HORIZONTALLY OR VERTICALLY AT THE FLANGE		MINIMUM BOND BREAK 100MM WHEN SLOTTING BETWEEN 10% TO 50%		MEMBRANE TO DRAINAGE FLANGE DETAIL NOT TO SCALE		RECESSED SHOWER DETAIL NOT TO SCALE		BATH WATERPROOF DETAIL NOT TO SCALE	
PROJECT DETAILS: TITLE: DETAILS BUILDER: SMART VISION HOMES		CLIENT: PARVEEN KUMAR JOB NO: 024-0028		ARCHITECT DETAILS: HANNA ARCHITECTS HEBA HANNA Hanna Architects DESIGN CONSULTANTS		DRG NO.: 07-D		CHECKED BY: SB		DATE: 23/01/2025	
REVISIONS:		SCALE: NTS		SCALE: NTS		SCALE: NTS		SCALE: NTS		SCALE: NTS	
BUILDER / CONTRACTOR SHALL VERIFY JOB DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. ALL DIMENSIONS SHALL CONFORM TO THE SCALED WORK. WORK SHALL CONFORM TO THE SPECIFICATION, OTHER DRAWINGS AND JOB DIMENSIONS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE DRAFTSPERSON, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF INSPECTED SHOP DRAWINGS SIGNED BY DRAFTSPERSON.		CORRECT PLAN 15/09/2024 01		REVISION 01		REVISION 01		REVISION 01		REVISION 01	
REVISIONS:		DATE: 15/09/2024 REASON: CORRECT PLAN		DATE: 13/09/2024 REASON: REVISION DRAWING		DATE: 04/12/2024 REASON: SURVEY AND LEVELS		DATE: 22/01/2025 REASON: UPD		DATE: 22/01/2025 REASON: UPD	

APPROVED
 20240223
 Permit No. 8970539902345
 Issue Date: 07/02/2023
 Mohammed Altsaad B.S.L.79972



PROJECT DETAILS:

LOT 712, KILARNIE BOULEVARD

INTERNAL

CLIENT: PARVEEN KUMAR

DRG NO.: 10-A

CHECKED BY: SB

DATE: 23/01/2025

SCALE: 1:50

ARCHITECT DETAILS: HANNA ARCHITECTS, HEBA HANNA

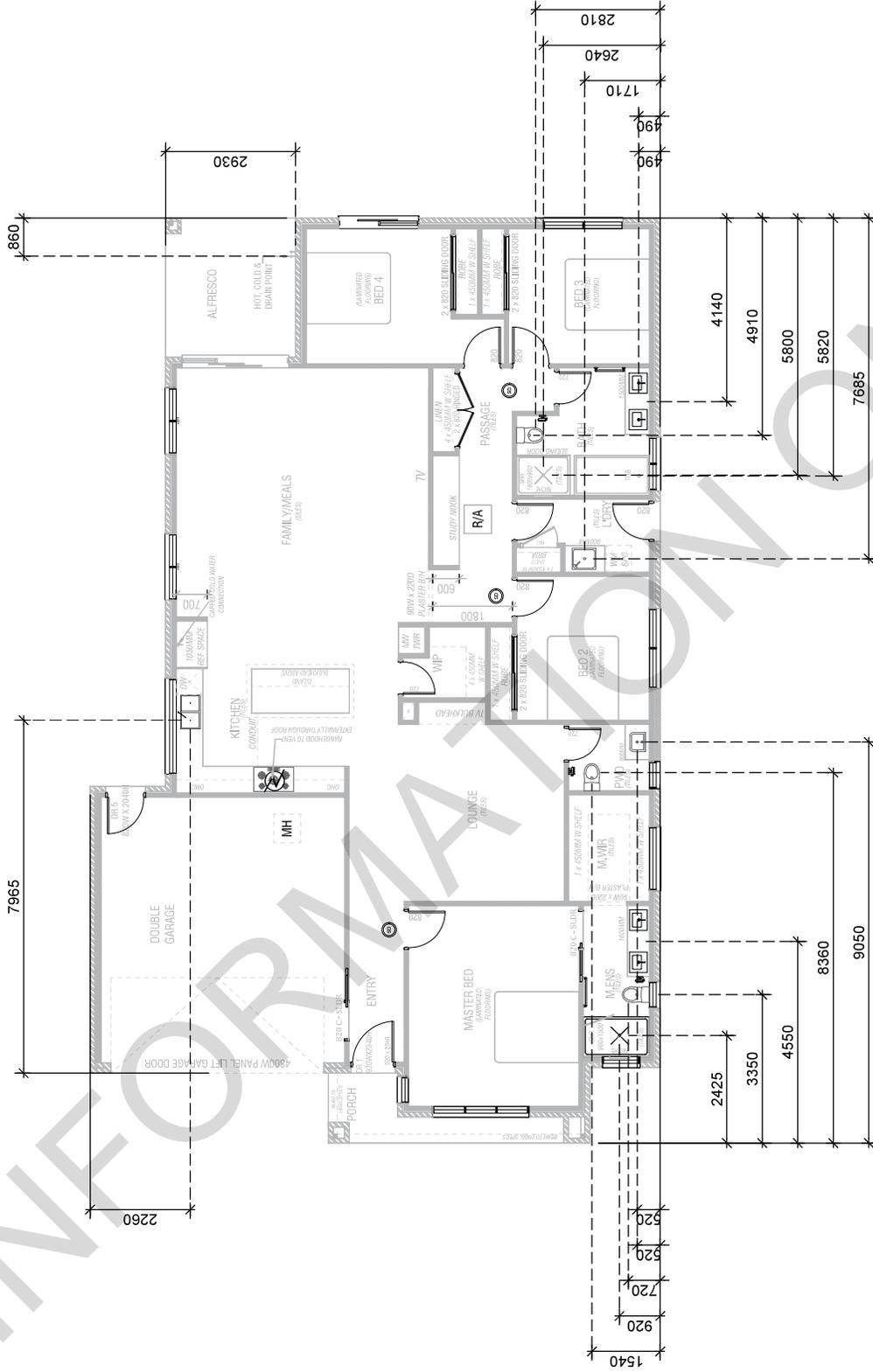
ASA DESIGN CONSULTANTS

REVISIONS:	DATE	BY	REASON
CONNECT PLAN	15/09/2024	--	01
DEVELOPER DRAWING	13/09/2024	--	02
SURVEY AND LEVELS	04/12/2024	--	03
TPOD	22/01/2025	--	04

SMART VISION HOMES

Builder / Contractor shall verify job site conditions and dimensions before construction. If any discrepancy is found, the contractor shall notify the architect immediately. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall maintain access to all services and utilities at all times. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the removal of all debris and waste. The contractor shall be responsible for the protection of all existing structures and utilities. The contractor shall be responsible for the completion of the project within the agreed time frame. The contractor shall be responsible for the payment of all bills and invoices. The contractor shall be responsible for the maintenance of all records and documents. The contractor shall be responsible for the coordination of all trades and subcontractors. The contractor shall be responsible for the communication with the architect and the client. The contractor shall be responsible for the overall quality and safety of the project. The contractor shall be responsible for the completion of the project to the satisfaction of the architect and the client.

APPROVED
 20240223
 Permit No. 9970539902385
 Issue Date: 07/02/2025
 Mohammed Alsaad SS-L-79872

HYDRAULIC PLAN 1:100

NOTE: ALL DIMENSIONS ARE INDICATIVE ONLY

REVISIONS:

NO.	DATE	BY	REVISION
01	15/09/2024	SB	CORRECT PLAN
02	13/09/2024	SB	DEVELOPER DRAWING
03	04/12/2024	SB	SURVEY AND LEVELS
04	22/01/2025	SB	UPD

BUILDER / CONTRACTOR SHALL VERIFY JOB AND REVISIONS BEFORE COMMENCEMENT OF WORK. ALL DIMENSIONS SHALL CONFORM TO THE SCALED WORK. WORK SHALL CONFORM TO THE SPECIFICATION. OTHER DRAWINGS SHALL BE SUBMITTED TO THE DRAFTSPERSON, AND MANUFACTURE SHALL NOT COMMENCE PRIOR TO THE RETURN OF INSPECTED SHOP DRAWINGS SIGNED BY DRAFTSPERSON.

PROJECT DETAILS :

LOT 712, KILARNIE BOULEVARD

TITLE:
HYDRAULIC PLAN

DRG NO.:
11

CLIENT:
PARVEEN KUMAR

ARCHITECT DETAILS:
HANNA ARCHITECTS
HEBA HANNA

DESIGN CONSULTANTS


CHECKED BY:
 SB

DATE:
 23/01/2025

SCALE:
 1:100

BUILDER:
SMART VISION HOMES

DATE:
 23/01/2025

SCALE:
 1:100

Your quarterly bill



Emailed to: parveen@hotmail.com.au
MR P SINGROHA & MR S SINGROHA
4 TASSEL WAY
AINTREE VIC 3336

Enquiries	1300 304 688
Faults (24/7)	13 27 62
Account number	15 4374 6354
Invoice number	1545 3620 88093
Issue date	17 Feb 2025
Property address	87 KILARNIE BVD WOLLERT
Property reference	5313033, PS 841657
Tax Invoice Yarra Valley Water ABN 93 066 902 501	

Summary

Previous bill	\$10.88
Payment received	\$0.00
Balance carried forward	\$10.88
This bill	
Service charges	
Water supply system	\$20.41
Other authority charges	
Waterways and drainage	\$40.14
Parks	\$28.67
Total this bill (GST does not apply)	\$89.22
Total balance	\$100.10



Recycled water is available.

It's not to be used for drinking, preparing food or bathing, but it's great for watering, washing clothes, gardens and flushing toilets.

There may be charges or a balance carried forward on your bill from the time before your property settled.

Questions? Refer to your Statement of Adjustments, or to your solicitor or conveyancer as they made the adjustments on your behalf.



Your daily spend

This bill compared to the same time last year.
Excludes other authority charges.

This bill
\$0.19

Last year
N/A



How to pay



*3042 154536208809 3



Direct debit

Sign up for Direct Debit at yvwm.com.au/directdebit or call **1300 304 688**.



EFT

Transfer direct from your bank account to ours by Electronic Funds Transfer (EFT).

Account name:
Yarra Valley Water
BSB: **033-885**
Account number: **154315083**



BPAY®

Bill code: **344366**
Ref: **154 3746 3544**



Centrepay

Use Centrepay to arrange regular deductions from your Centrelink payments.

Visit yvwm.com.au/paying
CRN reference: 555 054 118T



Post Billpay®

Pay in person at any post office, by phone on **13 18 16** or at postbillpay.com.au

Bill code: 3042
Ref: **1545 3620 88093**



Credit Card

Online: yvwm.com.au/paying
Phone: **1300 362 332**

MR P SINGROHA & MR S SINGROHA

Account number	15 4374 6354
Invoice number	1545 3620 88093
Total due	\$100.10
Due date	11 Mar 2025
Amount paid	\$

Your usage detail

1kL = 1,000 litres

Meter number	Current reading	Previous reading	Usage
YRATD48388 (Recycled Water)	0kL -	0kL =	0kL
From 1 Nov 2024 - 13 Feb 2025			(104 days)
Total	0.000kL		\$0.00

Meter number	Current reading	Previous reading	Usage
YATD160271	0kL -	0kL =	0kL
From 1 Nov 2024 - 13 Feb 2025			(104 days)
Total	0.000kL		\$0.00

Your charges explained

→ Water supply system charge

1 January 2025 - 31 March 2025

A fixed cost for maintaining and repairing pipes and other infrastructure that store, treat and deliver water to your property.

→ Other authority charges

Waterways and drainage charge

2 December 2024 - 31 March 2025

Collected on behalf of Melbourne Water each quarter and used to manage and improve waterways, drainage, and flood protection. For more information visit melbournewater.com.au/wwdc

🌳 Parks charge

2 December 2024 - 31 March 2025

Collected on behalf of Parks Victoria each quarter, and used to maintain and enhance Victoria's parks, zoos, the Royal Botanic Gardens, the Shrine of Remembrance and other community facilities. For more information visit parks.vic.gov.au

Financial assistance

Are you facing financial difficulty? For more time to pay, payment plans and government assistance, we can find a solution that works for you. Please call us on **1800 994 789** or visit yvwm.com.au/financialhelp.

Registering your concession can also reduce the amount you need to pay. Please call us on **1800 680 824** or visit yvwm.com.au/concession.

Contact us

📞 Enquiries	1300 304 688	For language assistance	
🚨 Faults and Emergencies	13 27 62 (24hr)	العربية	1300 914 361
✉️ enquiry@yvwm.com.au		廣東話	1300 921 362
🌐 yvwm.com.au		Ελληνικά	1300 931 364
📞 TTY Voice Calls	133 677	普通话	1300 927 363
🗣️ Speak and Listen	1300 555 727	For all other languages call our translation service on	03 9046 4173

📅 Next meter reading:

Between 12-19 May 2025

Spotted a burst or leak?

- ➡ To report an issue visit yvwm.com.au/reportfault
- 📱 Download and use the **Snap Send Solve** app
- 📞 Call our 24-7 emergency hotline on **13 27 62**
- 📍 View our live faults map at faults.yvwm.com.au

Tap into naturally better hydration

Here in Australia we're lucky to have some of the best drinking water in the world – clean, safe and ready to drink.

Enjoy it – straight from your tap.

👉 yvwm.com.au/ChooseTap



J145587

Our Ref: 20240223



FORM 2

Building Act 1993

Building Regulations 2018 - Regulation 37(1)

Building Permit No. 9970539902385

07 February 2025

Issued to

Agent of Owner **Smart Vision Construction Pty Ltd**
657 155 407

Postal Address **47/53 Jutland Way Epping Vic**

Email **info@smartvisionhomes.com**

Address for serving or giving of documents: **47/53 Jutland Way Epping**

Contact Person **Narender Kumar**

Postcode **3076**

Postcode **3076**

Phone **0430 149 031**

Ownership Details

Owner **Parveen Singroha & Swati Singroha**

Postal Address **4 Stockade Way Aintree VIC**

Email **praveen@hotmail.com.au**

Contact Person **Parveen Singroha & Swati Singroha**

Postcode **3336**

Phone **0433 002 415**

Property Details

Number **87** Street/Road **Kilarnie Boulevard**

Lot/s **712** LP/PS **PS841657**

Crown allotment **N/A** Section No **N/A**

Municipal District **Whittlesea City Council**

Suburb **Wollert**

Volume **12579**

Parish **KALKALLO**

Postcode **3750**

Folio **918**

County **N/A**

Builder

Name **Smart Vision Construction Pty Ltd**
657 155 407
CDB-U 73333

Address **47/53 Jutland Way Epping Vic**

Email **info@smartvisionhomes.com**

Postcode **3076**

Phone **0430 149 031**

This builder is specified under section 24B of the **Building Act 1993** for the building work to be carried out under this permit.

Building practitioner or architect engaged to prepare documents for this permit

Name	Category/class	Registration Number
Alex Sorgiovanni	Engineer – Civil	PE0000524
Heba Hanna	Architect	18770

Details of Domestic Building Work Insurance⁵

The issuer or provider of the required insurance policy is: **Victorian Managed Insurance Authority**

Insurance policy number : **C942761**

Insurance policy date : **03/02/2025**

Nature of Building Work

Description: **Construction of Single Storey Dwelling & Associated Garage (1ai, 10a)**

Does the building work relate to a small second dwelling? **No**

Storeys contained: **1**

Version of BCA applicable to permit: **NCC 2022 Volume 2**

Cost of Building Work: **396,000.00**

Total floor area of new building work in m²: **236.00**

Building classification

Part of Building	BCA Classification
Dwelling - All Parts	1a(a)
Garage	10a

Performance Solution

A performance solution was used to determine compliance with the following performance requirements of the BCA that relate to the building to which this permit applies:

Relevant performance requirement	Details of performance solution
B2P7 – Energy Use and source	To permit the use of grey water treatment systems or dual water reticulation and water recycling systems connected to toilet flushing systems.

Prescribed Reporting Authorities

The following bodies are Prescribed Reporting Authorities for the purpose of the application for this permit in relation to the matters set out below:

Reporting Authority	Matter Reported On Or Consented To	Regulation No.
Whittlesea City Council	Property Information Certificate	Regulation 51(2)
Whittlesea City Council	Legal Point of Discharge (LPOD)	Regulation 133(2)

Protection Work

Protection work is not required in relation to the building work proposed in this permit.

Inspection Requirements³

The mandatory inspection notification stages are:

1. Piers
2. Pre Slab
3. Slab Steel
4. Frame - Dom/Res
5. Final - Dom/Res

Occupation or User of Building

An occupancy permit is required prior to the occupation or use of this building.

If an occupancy permit is required, the permit is required for the of the building in relation to which the building work is carried out.

Commencement and Completion

This building work must commence by **07/02/2026**

If the building work to which this building permit applies is not commenced by this date, this building permit will lapse unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

This building work must be completed by: **07/02/2027**.

If the building work to which this building permit applies is not completed by this date this building permit will lapse, unless an extension is applied for and granted by the relevant building surveyor before this date under regulation 59 of the Building Regulations 2018.

Relevant Building Surveyor

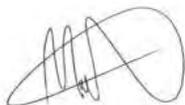
Name: **Mohammed Assaad**

Email: **admin@assabs.com.au**

Building practitioner registration no.: **BS-L 75972**

Permit no.: **9970539902385**

Date of issue of permit: **07/02/2025**



Notes

- Note 1 Under Regulation 42 an owner of a building of land, for which a building permit has been issued, must notify the relevant building surveyor within 14 days after any change in the name or Address of the owner or of the builder carrying out the building work. The penalty for non-compliance is 10 penalty units;
- Note 2 Under Regulation 41 the person in charge of the carrying out the building work on an allotment must take all reasonable steps to ensure that a copy of this permit and one set of any approved plans and relevant documentation are available for inspection at the allotment while the building works in progress. They must also take all reasonable steps to ensure that the registration numbers and contact details of the builder and building surveyor are displayed in a conspicuous position accessible to the public before and during the building work to which this permit applies.
- Note 3 Include building practitioners with continuing involvement in the building work.
- Note 4 Include building practitioners with no further involvement in the building work.
- Note 5 Domestic builders carrying out domestic building work forming part of this permit (where the contract price for that work is more than \$16,000) must be covered by an Insurance policy as required under section 135 of **The Building Act 1993**.

Annexures 'A' Conditions of Approval

The building permit for this project has been issued subject to the following conditions and further information being submitted prior to completion of works certificate being issued:

1. The builder and/or owner must take all reasonable steps to ensure that the registration numbers and contact details of the builder and building surveyor, the number of the relevant building permit and the date of issue of this permit are displayed on the allotment in a conspicuous position accessible to the public prior to the commencement of the building works. In addition, take all reasonable steps to ensure that this information continues to be displayed and remains visible and legible for the duration of the building work to which this permit applies.
2. WC doors where the jamb is within 1.2m of the pan are to be fitted with lift off hinges.
3. Building works must not proceed beyond any mandatory inspection stage until the required inspection has been completed and approved. Building works proceeding beyond mandatory stage without an approval will result in enforcement action in issuing a (Building Notice/Order).
4. Three copies of truss computations and layouts to be submitted for approval prior to the frame inspection.
5. Temporary fence must be provided where necessary to protect the public from injury or access to the building site. A permit may be required from the local authority for Asset Protection prior to commencing building work.



Domestic Building Insurance

Certificate of Insurance

Parveen Singroha, Swati Singroha 4 Stockade Way AINTREE VIC 3336	Policy Number: C942761 Policy Inception Date: 03/02/2025 Builder Account Number: 501063
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A contract of insurance complying with the Ministerial Order for Domestic Building Insurance issued under Section 135 of the Building Act 1993 (Vic) (Domestic Building Insurance) has been issued by the insurer Victorian Managed Insurance Authority a Statutory Corporation established under the Victorian Managed Insurance Authority Act 1996 (Vic), in respect of the domestic building work described below.

Policy Schedule Details

Domestic Building Work:	C01: New Single Dwelling Construction
At the property:	87 Kilarnie Bvd WOLLERT VIC 3750 Australia
Carried out by the builder:	SMART VISION CONSTRUCTION PTY LTD
Builder ACN:	657155407

! If the builder's name and/or its ABN/ACN listed above does not exactly match with the information on the domestic building contract, please contact the VMIA. If these details are incorrect, the domestic building work will not be covered.

For the building owner(s):	Parveen Singroha, Swati Singroha
Pursuant to a domestic building contract dated:	11/09/2024
For the contract price of:	\$ 396,000.00
Type of Cover:	Cover is only provided if SMART VISION CONSTRUCTION PTY LTD has died, becomes insolvent or has disappeared or fails to comply with a Tribunal or Court Order *
The maximum policy limit for claims made under this policy is:	\$300,000 all inclusive of costs and expenses *
The maximum policy limit for non-completion claims made under this policy is:	20% of the contract price limited to the maximum policy limit for all claims under the policy*

PLEASE CHECK

If the information on this certificate does not match what's on your domestic building contract, please contact the VMIA immediately on 1300 363 424 or email dbi@vmia.vic.gov.au

IMPORTANT

This certificate must be read in conjunction with the policy terms and conditions and kept in a safe place. These documents are very important and must be retained by you and any successive owners of the property for the duration of the period of cover.

* The cover and policy limits described in this certificate are only a summary of the cover and limits and must be read in conjunction with, and are subject to the terms, conditions, limitations and exclusions contained in the policy terms and conditions.

	Scan the QR code with your phone's camera to check the details on this policy are correct. Alternatively, visit https://www.buildvic.vic.gov.au/ClaimsPortal/s/verify-certificate and enter your policy number to check the details on this policy are correct.
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Period of Cover

Cover commences on the earlier of the date of the domestic building contract or date of building permit for the domestic building work and concludes:

- Two years from completion of the domestic building work or termination of the domestic building contract for non structural defects*
- Six years from completion of the domestic building work or termination of the domestic building contract for structural defects*

Subject to the Building Act 1993, and the Ministerial Order and the conditions of the insurance contract, cover will be provided to the building owner named in the domestic building contract and to the successors in title to the building owner in relation to the domestic building work undertaken by the Builder.

Issued by Victorian Managed Insurance Authority (VMIA)

Domestic Building Insurance Premium and Statutory Costs

Base DBI Premium:	\$4,561.00
GST:	\$456.10
Stamp Duty:	\$451.54
Total:	\$5,468.64

If the information on the certificate does not match exactly what is on your domestic building contract, please contact VMIA on 1300 363 424
Below are some examples of what to look for

