

Details

LOT/PLAN NUMBER OR CROWN DESCRIPTION

Lot 37 61874

ORIENTATION

East

LOCAL GOVERNMENT (COUNCIL)

Launceston

FRONTAGE

18.35m Approx

LEGAL DESCRIPTION

61874/37

ZONES

GENERAL RESIDENTIAL - General Residential

COUNCIL PROPERTY NUMBER

Unavailable

OVERLAYS

SAFEGUARDING OF AIRPORTS CODE - Safeguarding Of Airports Code

LAND SIZE

728m² Approx

PropTrack Property Data

HOUSE

 3  1  1

PropTrack Sale Events

SALE HISTORY

\$280,000

25/11/2010

\$92,500

01/08/2001

State Electorates

LEGISLATIVE COUNCIL

Launceston

LEGISLATIVE ASSEMBLY

Bass

Schools

CLOSEST PRIVATE SCHOOLS

Scotch Oakburn College (1245 m)
Oakwood School - Launceston Campus (1360 m)
St Thomas More's Catholic School (2020 m)

CLOSEST PRIMARY SCHOOLS

Norwood Primary School (281 m)

CLOSEST SECONDARY SCHOOLS

Queechy High School (992 m)

Council Information - Launceston

PHONE

03 6323 3000 (City of Launceston)

EMAIL

council@launceston.tas.gov.au

WEBSITE

<http://www.launceston.tas.gov.au>

SITE DIMENSIONS

3 Warragul Street, Norwood Tas 7250



RECENT PLANNING SCHEME AMENDMENTS (LAST 90 DAYS)

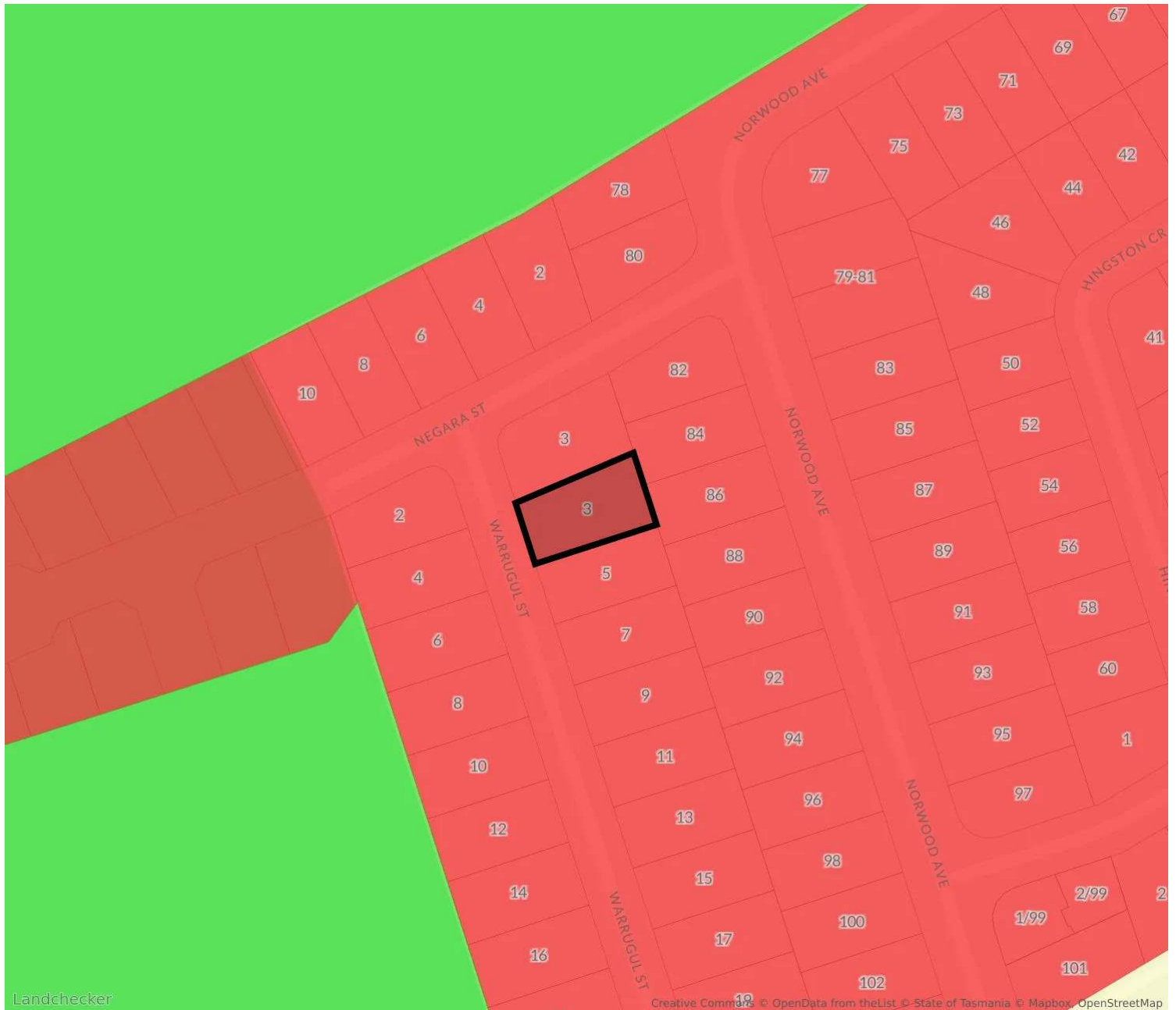
3 Warragul Street, Norwood Tas 7250

Status	Code	Date	Description
OTHER	AM-LAU-PSA- LLPO014	16/12/2025	The draft amendment proposes to apply the Low Density Residential Zone to part of 30 Merino Street, Kings Meadows and apply the Natural Assets Code - priority vegetation overlay to part of the site.

PROPOSED PLANNING SCHEME AMENDMENTS

3 Warragul Street, Norwood Tas 7250

Status	Code	Date	Description
PROPOSED	AM-LAU-PSA-LLPO030	15/12/2025	The draft amendment proposes to apply the Rural Zone to 43 Los Angelos Road, Swan Bay (also known as 729-739 John Lees Drive, Dilston) folio of the register 165889/1.
PROPOSED	AP-LAU-PSA-LLPO011	12/12/2025	The draft amendment proposes to insert a new site specific qualification to allow the General Retail and Hire Use Class as Discretionary with the qualification 'a supermarket up to 1,000m ² in size' in the Light Industrial Zone at 10 Dolerite Drive, Kings Meadows. The permit provides for a supermarket.
PROPOSED	AP-LAU-PSA-LLPO028	04/12/2025	The draft amendment proposes to insert a new site specific qualification to allow for Hospital Services as a discretionary use in the Commercial Zone at 217-229 Wellington Street, Launceston. The permit provides for a private hospital at 213-215 and 217-229 Wellington Street, Launceston.
PROPOSED	AP-LAU-PSA-LLPO021	03/12/2025	The draft amendment proposes to rezone 40768 Tasman Highway, Waverley and the adjoining casement title from Rural to Rural Living. The permit provides for a 23 lot subdivision and new road.



8.0 - General Residential

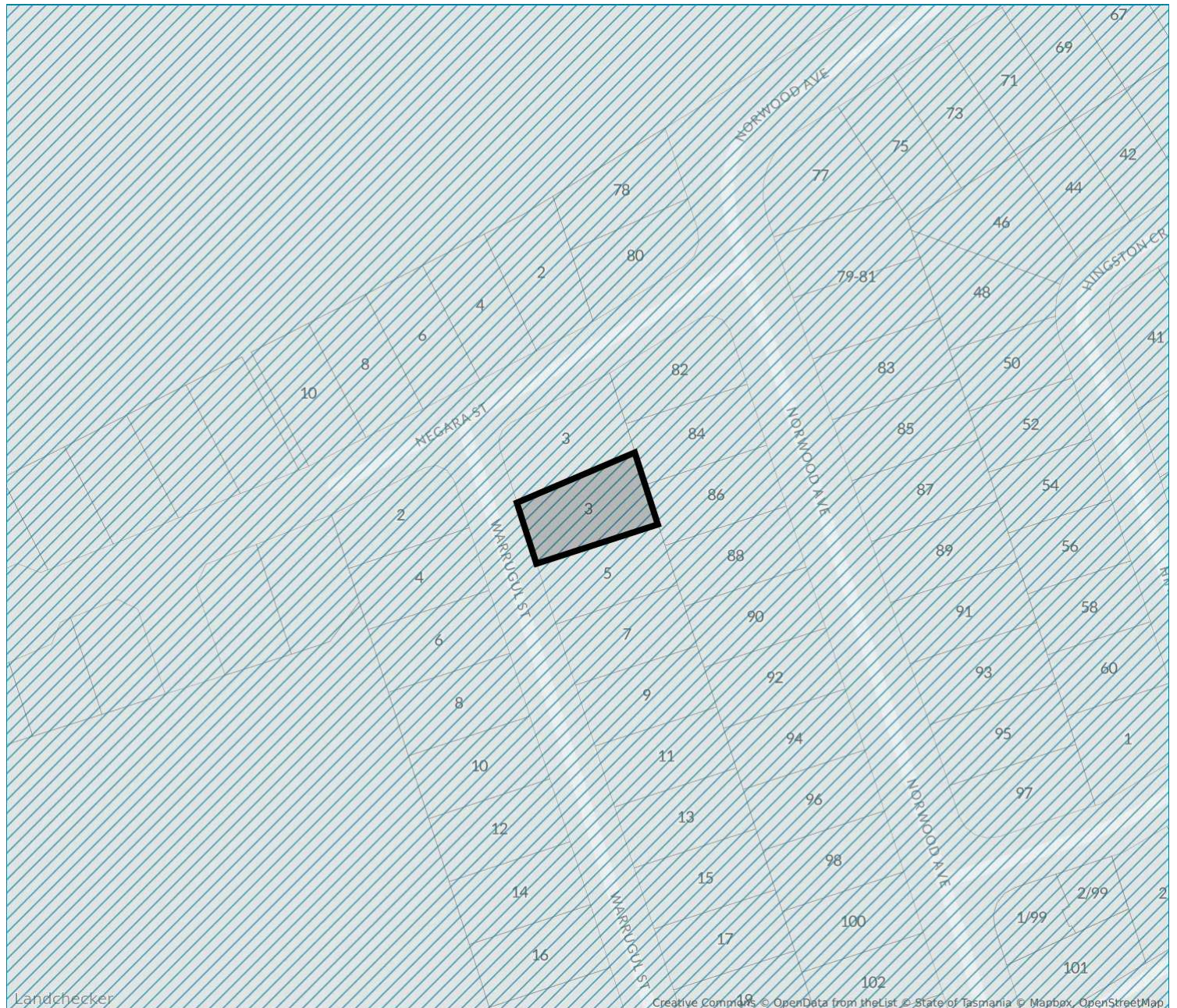
To provide for residential use or development that accommodates a range of dwelling types where full infrastructure services are available or can be provided. To provide for the efficient utilisation of available social, transport and other service infrastructure. To provide for non-residential use that: (a) primarily serves the local community; and (b) does not cause an unreasonable loss of amenity through scale, intensity, noise, activity outside of business hours, traffic generation and movement, or other off site impacts. To provide for Visitor Accommodation that is compatible with residential character.

TPS General Residential Zone

For confirmation and detailed advice about this planning zone, please contact LAUNCESTON council on 03 6323 3000.

Other nearby planning zones

- COMMUNITY PURPOSE
- RECREATION



C16.0 - Safeguarding Of Airports Code

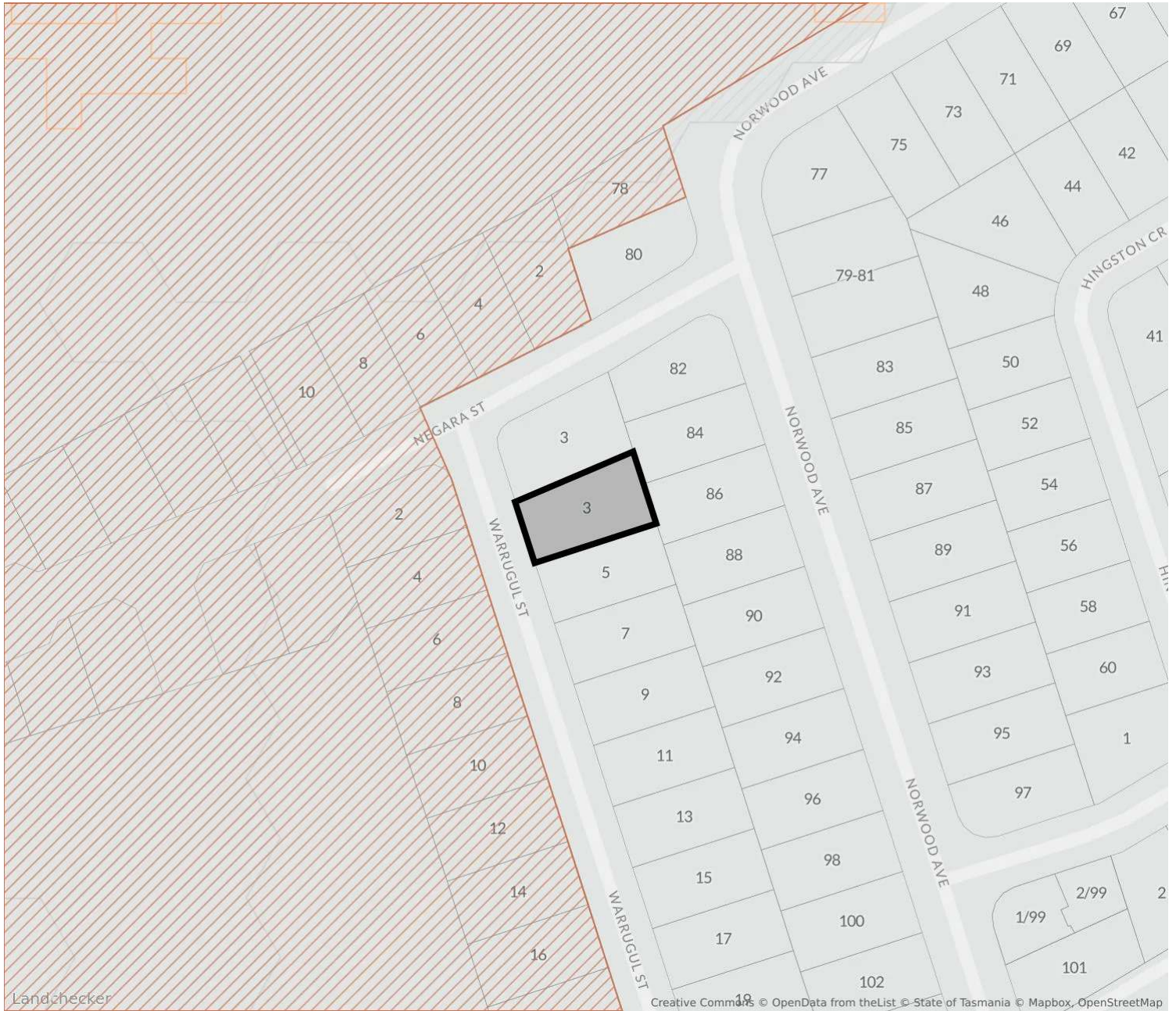
To safeguard the operation of airports from incompatible use or development.
To provide for use and development that is compatible with the operation of airports in accordance with the appropriate future airport noise exposure patterns and with safe air navigation for aircraft approaching and departing an airport.




TPS Safeguarding Of Airports Code

For confirmation and detailed advice about this planning overlay, please contact LAUNCESTON council on 03 6323 3000.

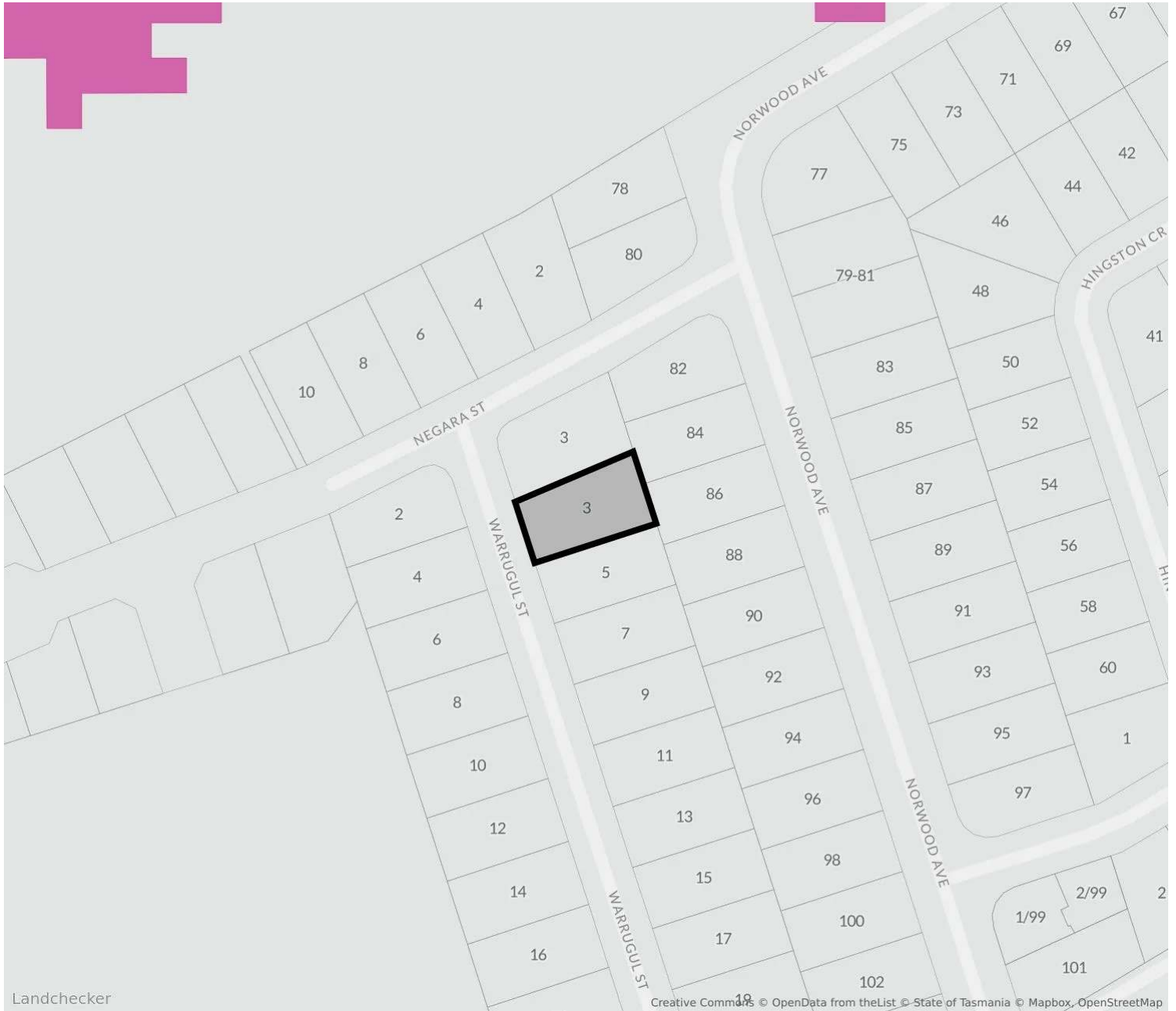
NEARBY OVERLAYS

3 Warragul Street, Norwood Tas 7250



-  BUSHFIRE-PRONE AREAS CODE
-  LANDSLIP HAZARD CODE
-  NATURAL ASSETS CODE

For confirmation and detailed advice about this planning overlay, please contact LAUNCESTON council on 03 6323 3000.

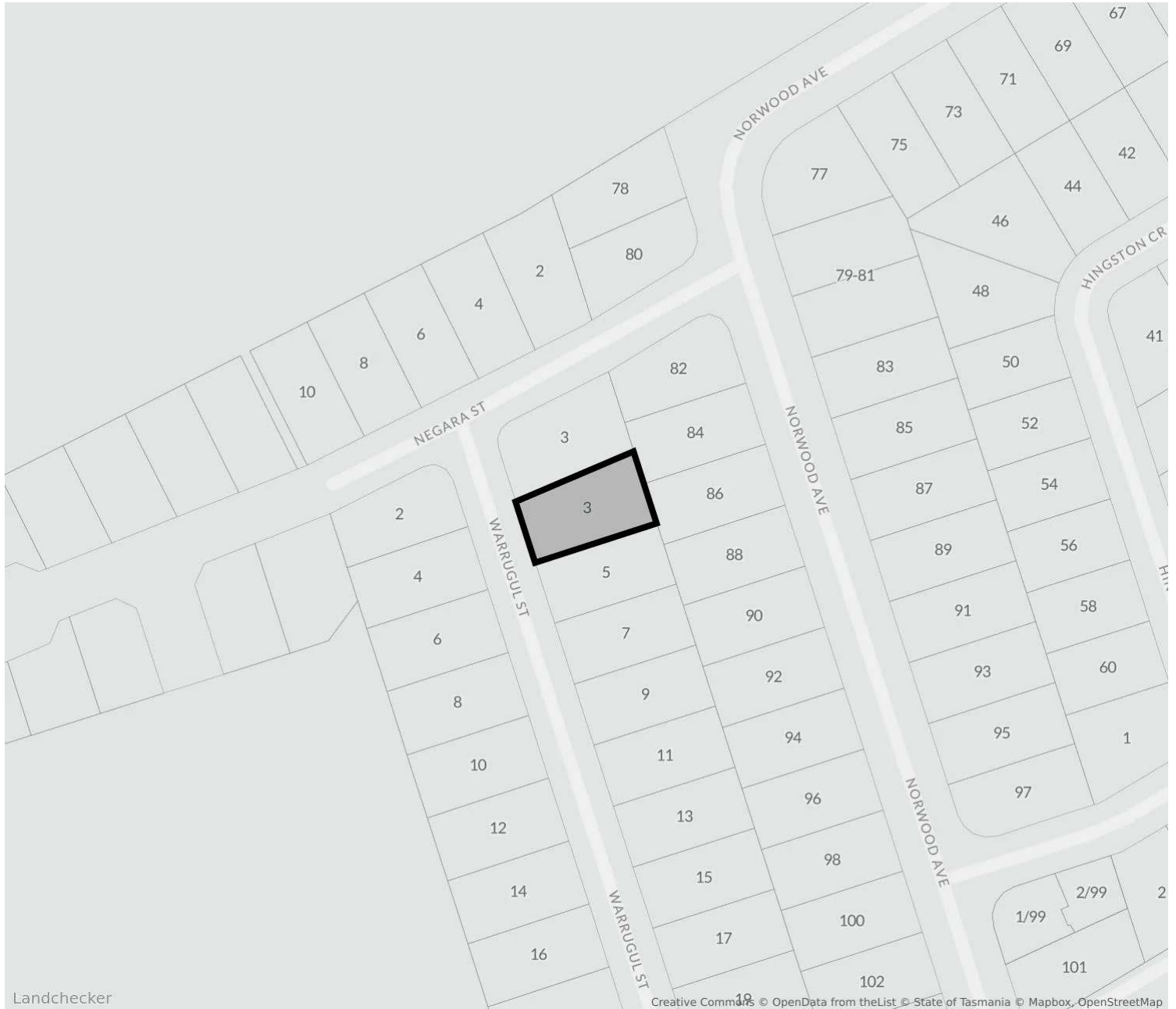


Landslide Prone Area

This property is not within a zone classified as a landslide prone area.

For confirmation and detailed advice about this landslide prone area, please contact the relevant source authority.

Source Authority	Status	Type	Last Updated
Land Information System Tasmania 120.LDS	Unaffected	State	29/12/2025
Land Information System Tasmania C15.0	Unaffected	State	29/12/2025



No Acid Sulfate

This property has no coverage.

For confirmation and detailed advice about acid sulfate soil management requirements, please contact the relevant source authority.



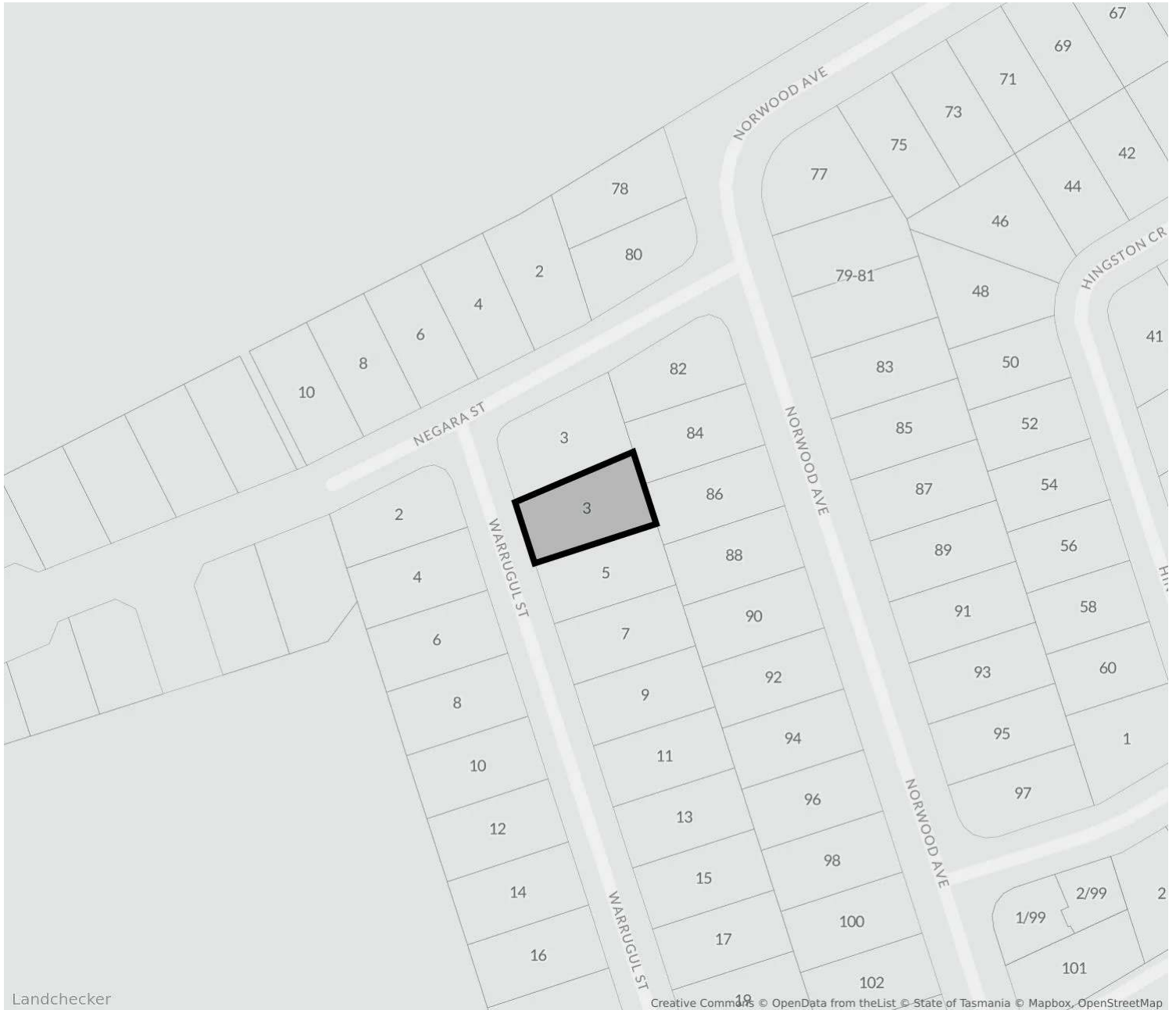
Landchecker

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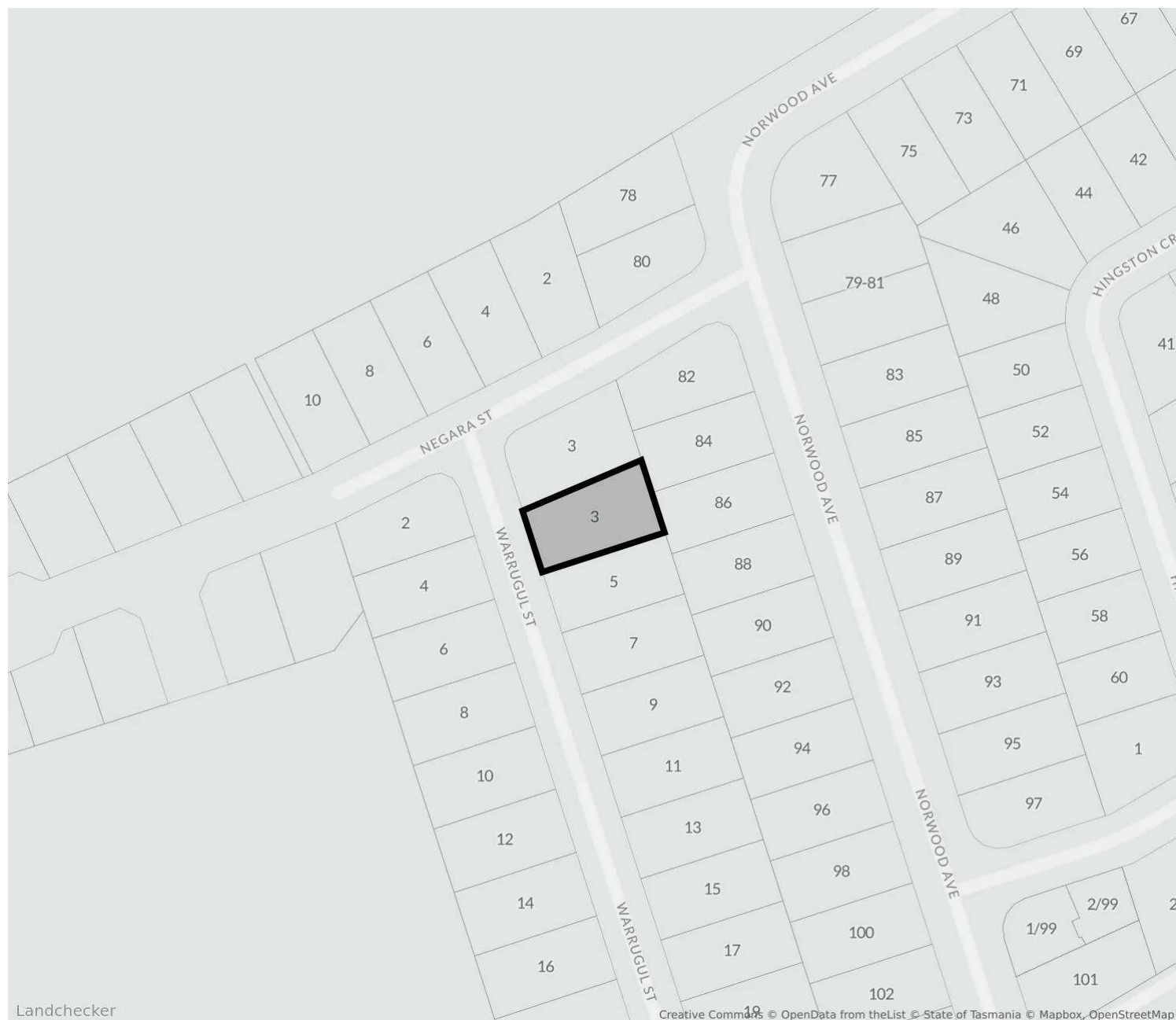
Not A Mine Subsidence Area

This property has no coverage.

For confirmation and detailed advice about mine subsidence requirements, please contact the relevant source authority.

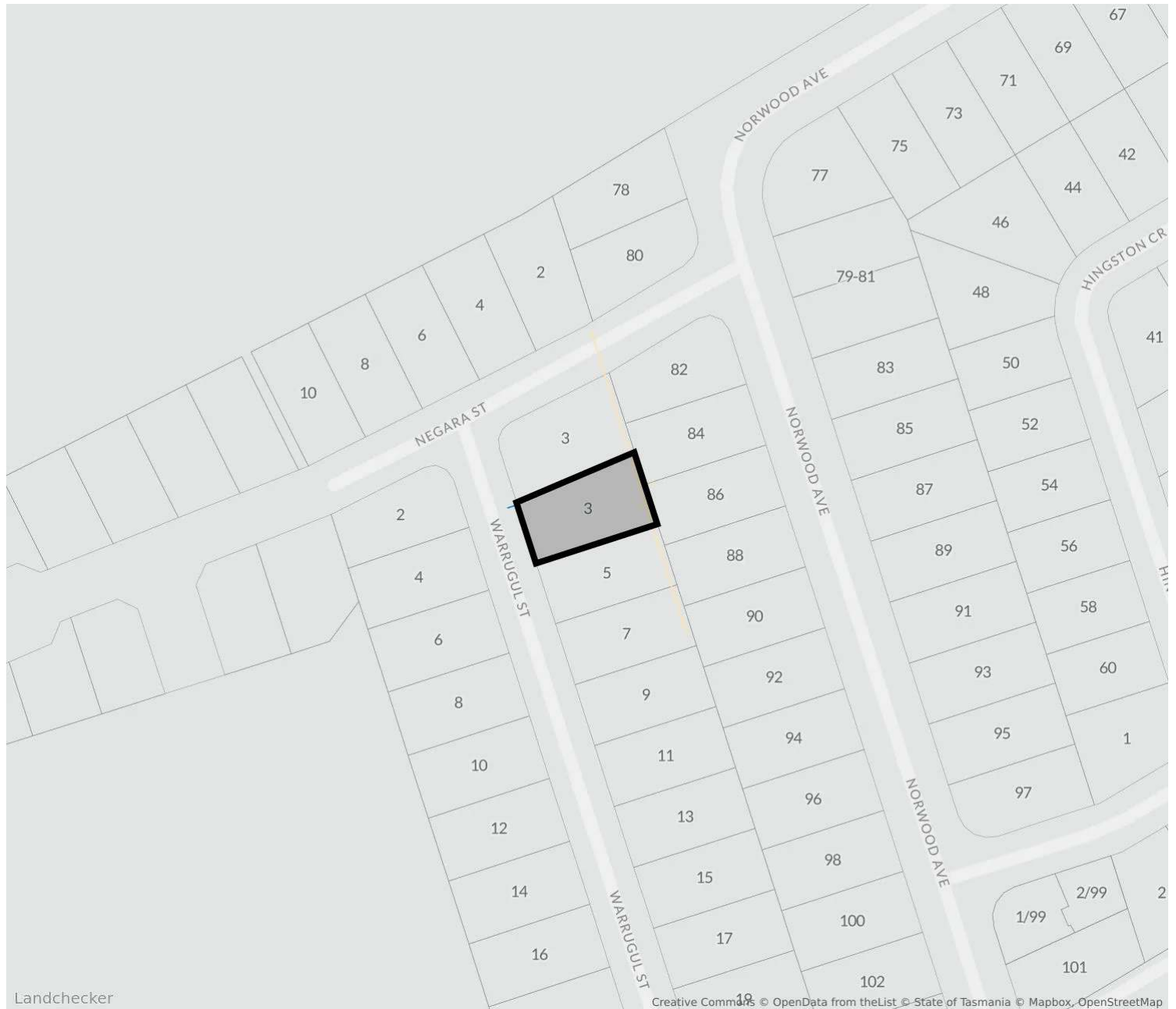


No planning permit data available for this property.



Status	Code	Date	Address	Description
OTHER	DA0285/2025	Received 02/07/2025	<u>12 Negara Street, Norwood</u>	Residential - construction of a dwelling.
OTHER	DA0265/2025	Received 20/06/2025	<u>4 Negara Street, Norwood</u>	Residential - partial demolition and construction of a garage.
OTHER	DA0239/2025	Received 30/05/2025	<u>67 Norwood Avenue, Norwood</u>	Residential - construction of an outbuilding.
OTHER	DA0043/2025	Received 07/02/2025	<u>16 Negara Street, Norwood</u>	Residential - construction of a dwelling.
OTHER	DA0489/2024	Received 05/11/2024	<u>18 Negara Street, Norwood</u>	Residential - construction of a dwelling.

For confirmation and detailed advice about this planning permits, please contact LAUNCESTON council on 03 6323 3000.



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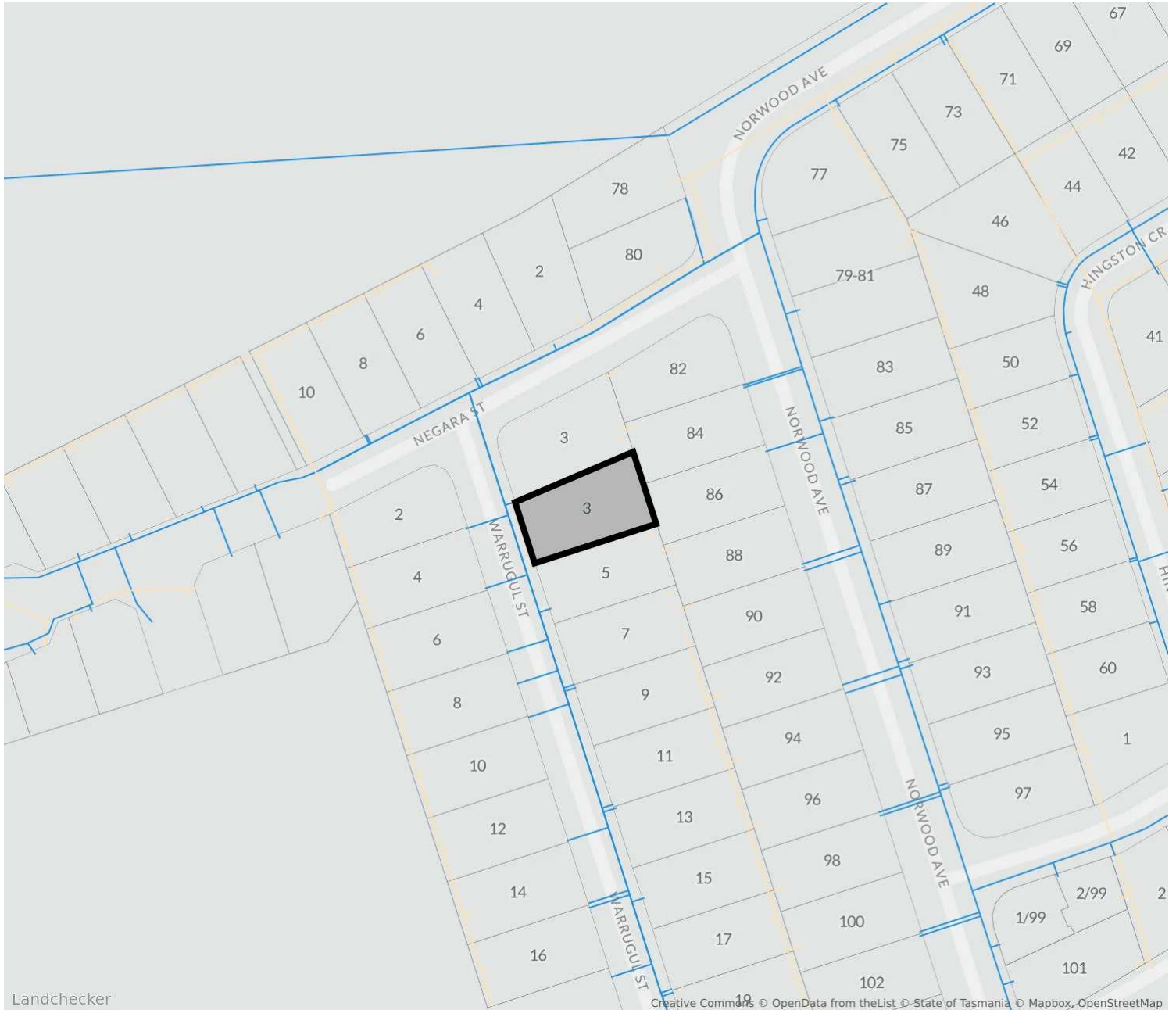
- **Water**
Tas Water
- **Sewer**
Tas Water

The easement(s) displayed is indicative only and may represent a subset of the total easements.

For confirmation and detailed advice about the easement(s) on this property, please contact the relevant source authority.

NEARBY EASEMENTS

3 Warragul Street, Norwood Tas 7250



- Water**
Tas Water
- Sewer**
Tas Water

The easement(s) displayed is indicative only and may represent a subset of the total easements.

For confirmation and detailed advice about the easement(s) nearby this property, please contact the relevant source authority.

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