

Land Information Memorandum



This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Applicant Details

Prepared for	Email
Lydia Harris - Bayleys-Vining Realty Group	lydiajane.harris@bayleys.co.nz

LIM Details

LIM number	Valuation Number	Certificate of Title	Requested on	Issued on
L210900	1960059035	8C/557	22/12/2021	23/12/2021

Contents

This Land Information Memorandum contains the following information:

1. **Property Information**
 - Property and owner information, rates, services, and classifications
 - Consents for building and resource management
 - Environmental information.
2. **Maps**
 - Aerial
 - Areas and Zones in the Tasman Resource Management Plan
 - Pipes
 - Bores
 - Fire Ban areas
3. **Additional Information**
 - Brochures and other relevant information
4. **Glossary**
5. **Site Plans**
 - Floor plan
 - Site plan
 - Drainage plan

Notes

- This Land Information Memorandum has prepared for the purposes of Section 44A of the Local Government Act 1987 and contains all the information known to the Tasman District Council to be relevant to the land as described in Subsection (2).
- Information provided is based on a search of council records only, and there may be other information relating to the land, which is not currently recorded in the Councils record system. Every care will be taken to ensure that the information is correct, however, Council cannot guarantee that the information is accurate and does not accept any liability for these records.
- A valuation assessment can consist of multiple land parcels. The information in this LIM covers the entire valuation assessment. If you are only interested in part of the land, you must wait until the subdivision of the land is complete before we can provide information that applies only to the newly subdivided valuation assessment.
- The Council has not undertaken any inspection of the land or any building on it for the purpose of preparing this LIM.
- Council records may not show illegal or unauthorised building works on the property.
- Conditions of any authorised uses of the land are contained in the Council's District and Regional Plans.
- A Development Contribution may be payable in accordance with the DC Policy set out in the Council's Long Term Plan and created under the Local Government Act 2002 in relation to subdivision and new development. You will need to refer to the DC Policy to see what DC's are payable for any particular building development and whether any limitations apply. The DC is required to fund District roads and infrastructural services other than reserves and community facilities.
- A Financial Contribution for Reserves and Community Services may be payable in accordance with the Tasman Resource Management Plan on all building other than first dwelling on a title. You will need to refer to the Tasman Resource Management Plan for full details of the FC's that are payable and whether any limitations or exceptions apply.
- The applicant is solely responsible for ensuring that the land is suitable for a particular use.
- This LIM has been produced at the issued date and is valid only as a statement of Council's information at that date.

1. Property Information

This section of the LIM provides information about the rates and services on the property, including:

- Property and owner information, rates, services, and classifications
- Consents for building and resource management
- Environmental information.

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Property Location

Valuation	Legal Description	Address	Suburb	Current Rating Area (ha)
1960059035	LOT 158 DP 13927	7 Croisilles Place	Richmond	0.0774

Rates Information

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Please note that if this property is a contiguous property, its rates will change if sold separately. Also note that this rating information relates to all parcels, i.e. Lot and DP numbers, under this valuation assessment.

Annual Rates	Current Instalment	Balance Owing	Arrears
\$4050.82	\$1012.70	\$396.91	\$0.00

Rates Breakdown

The Annual Rates in the table above are broken down for the current financial year as follows:

Description	Rate	Units	Amount
General Rate	0.1971c/\$CV	910000	1793.61
Uniform Annual General Charge	\$290.00/propert	1	290.00
Wastewater - 1st Pan	\$704.18/pan	1	704.18
WaimeaComDam-Env&ComBen-Distri	\$28.78/property	1	28.78
WaimeaComDam-Enviro&ComBen-ZOB	0.0033c/\$CV	910000	30.03
Refuse/Recycling Rate	\$135.51/propert	1	135.51
Shared Facilities Rate	\$67.15/property	1	67.15
Mapua Rehabilitation Rate	\$5.39/property	1	5.39
Museums Facilities Rate	\$61.89/property	1	61.89
District Facilities Rate	\$104.75/propert	1	104.75
Urban Wat.Supply- Serv Chge	\$362.56/meter	1	362.56
Regional River Works - Area Z	0.0128c/\$LV	385000	49.28
Stormwater UDA	0.0459c/\$CV	910000	417.69

Warm Tasman Rate

Warm Tasman Home Insulation Rate does not apply for this property.

Rating Valuation

Tasman District Council uses a capital value rating system. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Capital Value	Land Value	Improvements	Valuation Date
\$910000	\$385000	\$525000	01/10/2020

New Rating Valuation

Rating values are reviewed triennially. If the valuation of this property is going to change in the next rating year, it will show below as the New Capital Value. Please note that this rating information relates to all parcels, i.e., Lot and DP

numbers, under this valuation assessment.

New Capital Value	New Land Value	New Improvements Value	New Valuation Date
\$910000	\$385000	\$525000	01/10/2020

Water Meter Information

Reticulated water: Water usage is charged in addition to rates payable. You should check that the vendor has the water meter read at possession time by requesting a special meter reading.

Water ID	Meter Reader Note	Meter Id	Read Date	Year to date	Last year units
W40627	7m frm LH Bdy In Lawn	12MC159801	08/10/2021	33	158

Services

This property is serviced under the following water, sewerage, and stormwater schemes.

Scheme or Supply	Service Provided
Tasman Waste Water	Wastewater
Urban Water Supply	Water Supply
Stormwater UDA	Stormwater

Wheelie Bins

This property has had the following wheelie bin(s) delivered.

Bin Size	Serial Number	Delivered on	Delivered to
Single 240	2402874	08/06/2015	7 Croisilles Place, Richmond

Services Notes

This property has the following Services notes on file. The Health Drinking Water Amendment Act (Section 69ZH of the Health Act 1956) requires councils to provide information relating to whether the land is supplied with drinking water and, if so, if the supplier is the owner of the land or a networked drinking water supplier. Note: Tasman District Council may not be aware of other drinking water systems connected to properties. There may also be private drinking water supply systems such as rainwater tanks or private bore/wells. Prospective purchasers are advised to clarify the drinking water supply and water quality with the landowner.

Notes
The property is connected to sewer and water. Council have no other reticulated services available. There are public sewer and stormwater pipes crossing the property as shown on the attached plan. These pipes cannot be built over. There are no other public drains crossing the property. Additional stormwater discharge to TDC reticulation where available will be required to be detained as per the Nelson Tasman Land Development Manual (LDM) 2019, Chapter 5

Protected Trees

No protected trees have been found for this property.

Heritage Buildings

There are no heritage buildings on this property.

Planning Zones

The following Planning Zones pertain to this property. Please refer to the Tasman Resource Management Plan or contact a Duty Planner for detailed information about what activities can take place in a zone.

Zone	Zone Description
Residential	The Residential Zone primarily provides for residential dwellings. Small-scale home businesses, community activities and facilities may also be appropriate where they are compatible with the residential environment

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Building Consents

Please note that if a Code Compliance Certificate has not been issued, then the work has not been certified by the Council as complying with the Building Code.

Application Date	BC Number	Proposal	Status	CCC Issue Date
27/05/2014	145207	Alterations and extensions to dwelling	Code Compliance Certificate Issued	05/05/2015
21/05/2014	145207P	Alterations and extensions to dwelling	PIM application formally received	

Compliance Schedule

No Compliance Schedule records are available for this property.

Building Permits

The NZ Building Act came in to force on 1 July 1992. From that date, the issue of building permits ceased and they were replaced with building consents. Under the old permit system there was no requirement for Council to keep or provide records of building work. Not all records under the old permit system have survived and where records have survived they may be incomplete. Council does not accept responsibility for any omission in the records. You may wish to engage an independent qualified person to evaluate the building.

Date	Permit Number	Notes
12/10/1990	H058789	Erect retaining wall
14/02/1990	H021119	Erect dwelling

LIM Building Notes

No additional building notes have been found for this property.

Swimming Pools

No Swimming Pool records have been found for this property.

Resource Consents

No Resource Consent records are on record for this property.

Planning Permits

No historical planning permits have been found for this property.

Planning Notes

These history notes include planning information relevant to this LIM.

TASMAN RESOURCE MANAGEMENT PLAN (TRMP) CHANGES: From time to time, changes are proposed to the planning provisions in the TRMP. Any such changes are publicly notified so that people can make submissions. Plan Changes may propose to alter zonings, policies or rules, and may affect this property or sites in the surrounding area.

Council-initiated Plan Changes can have some effect from the first day of notification as 'proposed changes'. From time

to time Council receives a request for a Private Plan Change. These are processed by Council and have no effect until operative.

A list of all the current Plan Changes can be viewed on the Tasman District Council policy pages at www.tasman.govt.nz/link/trmp .

Notes
Tasman Resource Management Plan planning maps identify the property is within the Residential Zone and Land Disturbance Area 1. Further information on these Zones and Areas can be found in the Section 2 Maps; Section 4 Glossary and/or on the Tasman Resource Management Plan pages on the Tasman District Council website at www.tasman.govt.nz/link/trmp .

Compliance Notes

No notes regarding compliance with permits or consent conditions have been recorded against this property.

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Environmental Health and Licences

No Environmental Health or Licence information has been found for this property.

Licencing Notes

No notes regarding licences have been recorded against this property.

Air Shed

This property sits within a controlled Air Shed.

Air Shed	Air Shed Regulations
Richmond Air Shed	After a house in Richmond changes ownership, an existing non-compliant wood burner cannot be used. It may be replaced with either a clean heat system or an approved clean air wood burner. New houses, or existing houses without an existing wood burner or open fire, can only install clean heat systems - no wood burners at all.

Hazardous Activities and Industries List (HAIL)

No verified HAIL site has been found for this property. However, if the site or any adjacent site has been used for industrial, horticultural or agricultural purposes in the past, we suggest you make further enquiries.

Wetlands

Council has no record of wetlands on this property.

Pest Inspection History

The Tasman-Nelson region has a Regional Pest Management Strategy for the control of declared pest plants, animals and organisms. The responsibility for the control of pests lies with the land occupier or owner. If you intend purchasing a property within Tasman District, Council recommends you seek advice from the vendor about Pest Management Notices that may have been served. This property has a record of the following pest inspections. For further information, please contact Council's Biosecurity team.

X Location	Y Location	Pest	Date	Status at time of inspection
1615584	5422709	Argentine Ants	04/12/2014	New

Significant Native Habitats

Council has been compiling biodiversity reports (also called Ecological Property Reports or reports on Significant Native Habitats) for the past eight years and where these exist they are available. However, no report has been lodged on this property.

Hazard Notes

These notes include hazard information relevant to this LIM.

SEA LEVEL RISE AND COASTAL HAZARDS MAPPING

We have developed a coastal hazards map viewer which maps the extent of low-lying coastal land in Tasman and Golden Bays that may be affected by sea level rise. The viewer shows a range of sea level rise scenarios, including the effects of higher tides caused by storms. Areas of historical coastal erosion (sediment loss) and accretion (sediment gain), as well as the presence of coastal structures such as stopbanks, walls and rock revetments, have also been

mapped.

You can view the coastal hazards map viewer on our website at www.tasman.govt.nz/link/coastal-management and on our website you will also find more information about the project.

Notes
Council has no records of this property being affected by flooding, land instability or specific earthquake hazards.

2. Maps

Several maps are included in your LIM:

- An aerial overview
- A map of the water and sewer pipes around the property
- A map showing any bores on the property
- A map of the fire ban areas that may apply
- Maps of the Zones and Areas defined in the Tasman Resource Management Plan (TRMP) and their associated legends.

Please note that other rules defined in the TRMP may also apply to this property. The TRMP is available online at www.tasman.govt.nz.



AZ Address Labels

~ Road Boundaries

AZ Road Labels

~ Property Boundaries



Aerial Photo Map

The information displayed is schematic only and serves as a guide. It has been compiled from Tasman District Council records and is made available in good faith but its accuracy or completeness is not guaranteed.

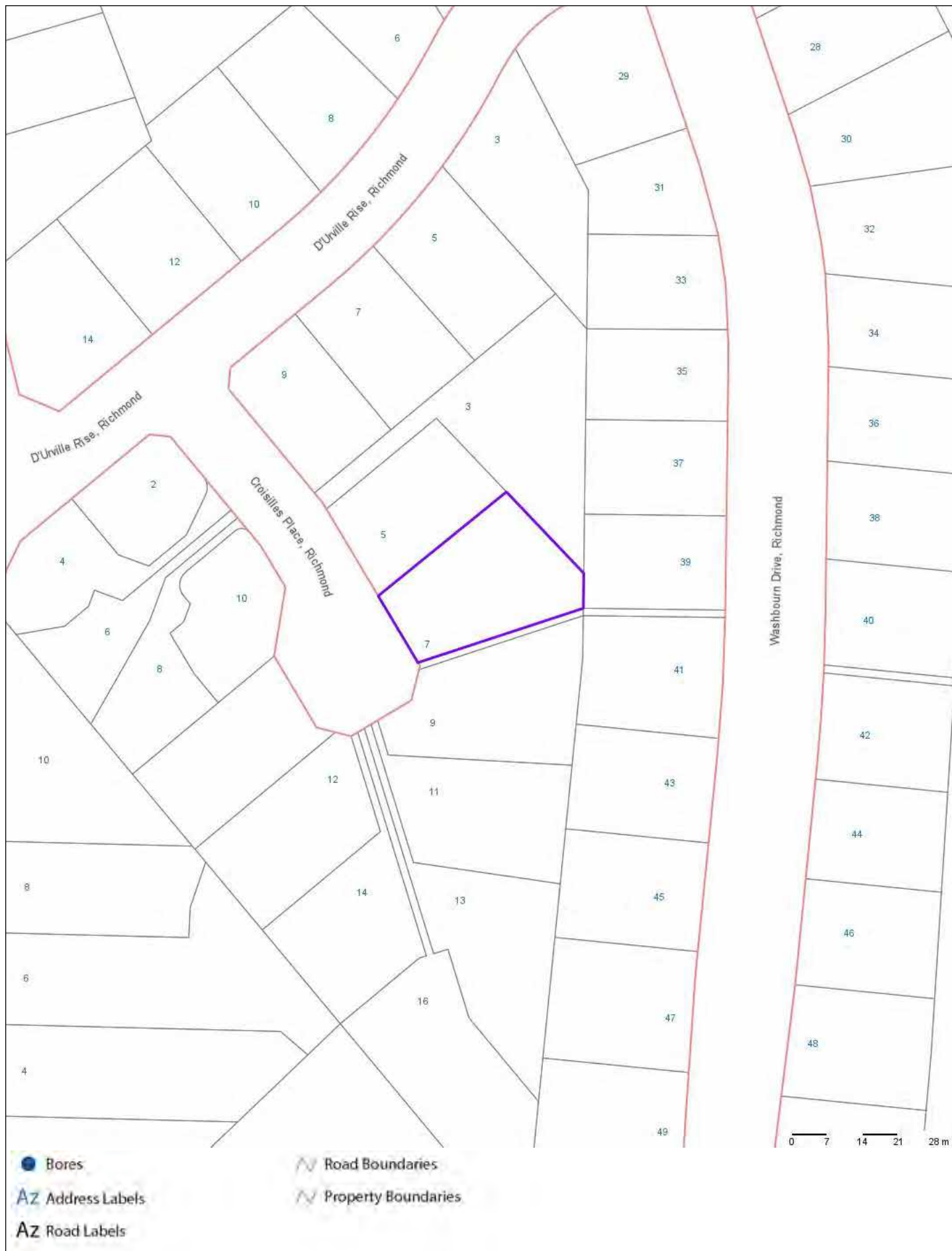
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Scale 1:1000

Thursday, 23 December 2021

Original Sheet Size 210x297mm



Bores Map

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WaterPipes

StormwaterDrains

RoadBoundaries

WastewaterPipes

Az AddressLabels

PropertyBoundaries

Stormwaterpipes

Az RoadLabels



Pipe Network Map

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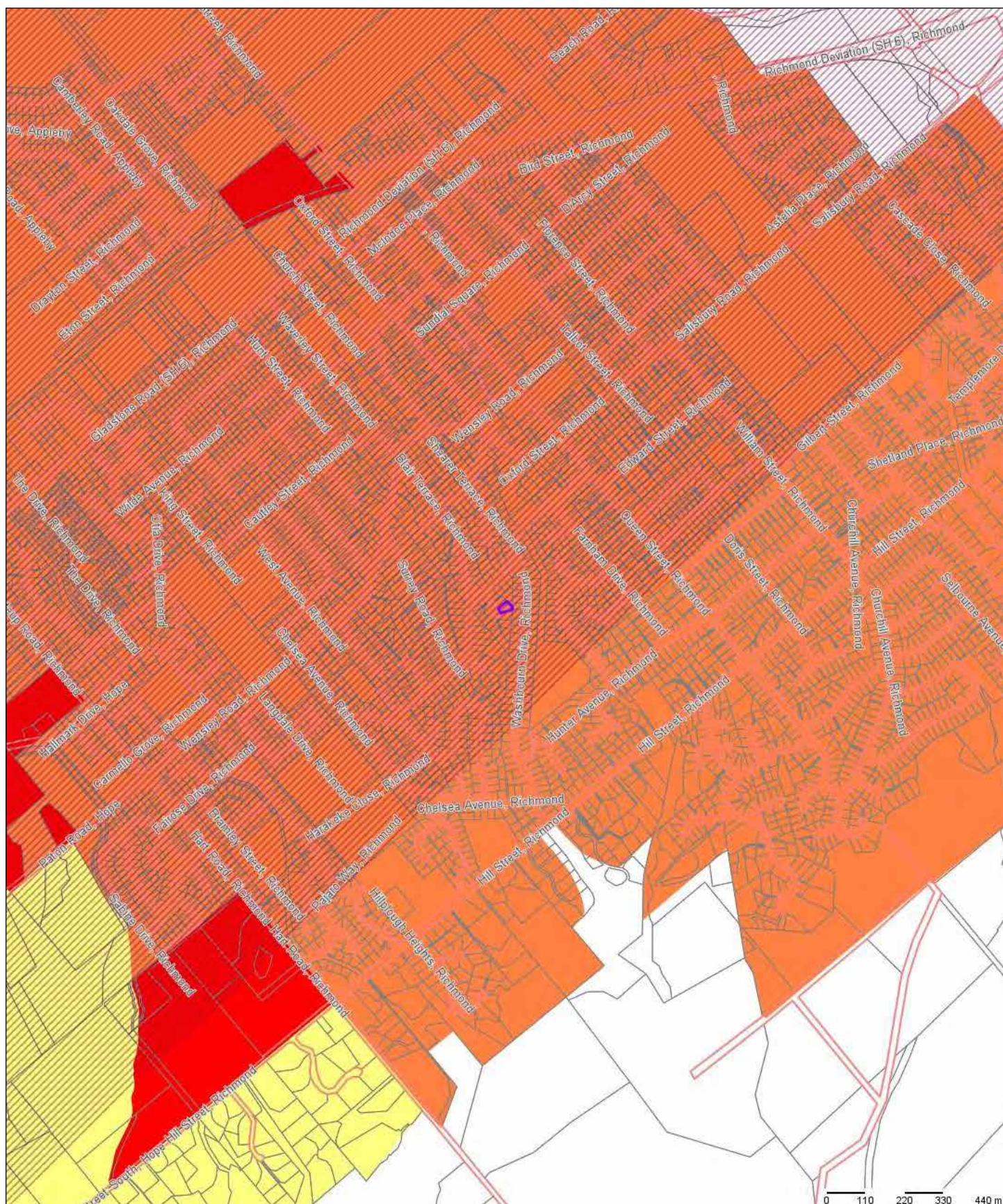
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Fire Ban Areas Map

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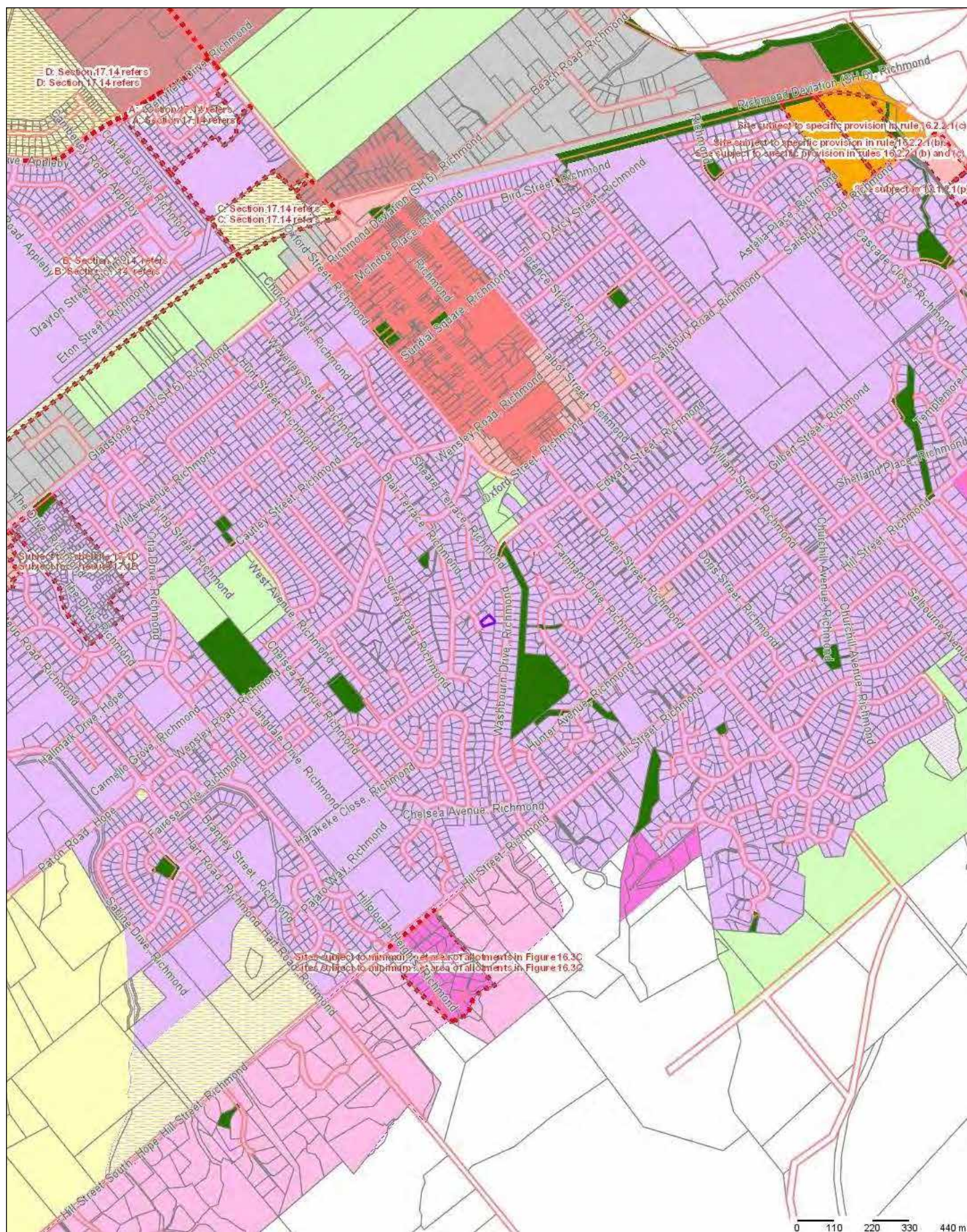
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The legend for this map is included on a separate page.



TRMP Zones Map

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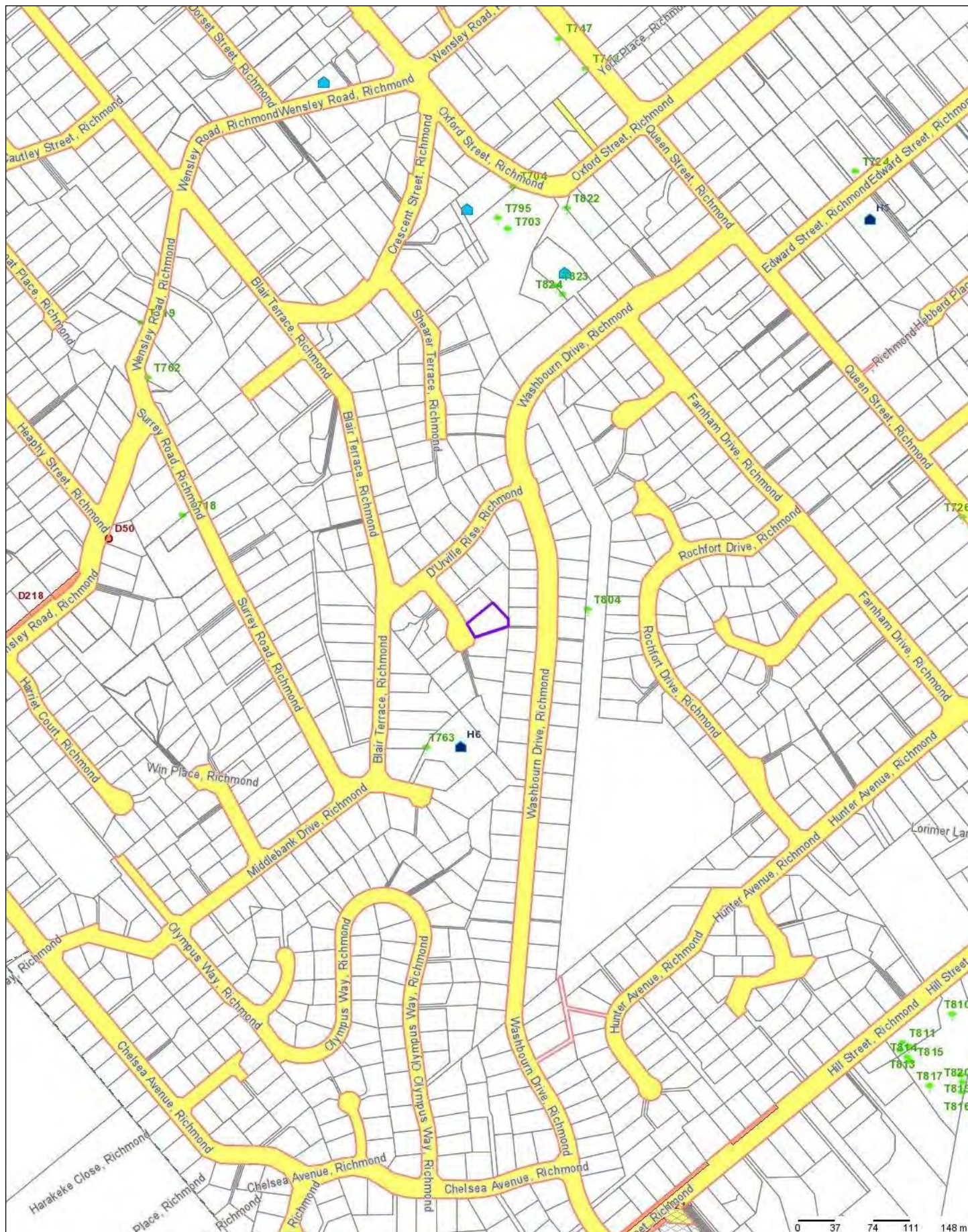
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The legend for this map is included on a separate page.



TRMP Areas Map

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ZONE MAPS

	Rural 1		Compact Density Residential Area		Rural 2 deferred Residential
	Rural 1 Closed		Rural Residential		Rural 2 deferred Rural Residential
	Rural 1 Coastal		Rural Residential Serviced		Rural 2 deferred Rural Residential Serviced
	Rural 2		Rural Residential Closed		Rural 2 deferred Mixed Business
	Rural 3		Open Space		Rural 2 deferred Light Industrial
	Central Business		Recreation		Rural Residential deferred Residential
	Commercial		Conservation		Rural Residential Serviced deferred Residential
	Mixed Business		Tourist Services		Recreation deferred Mixed Business
	Light Industrial		Papakainga		Recreation deferred Residential
	Heavy Industrial		Rural 1 deferred Residential		Tourist Services deferred Residential
	Rural Industrial		Rural 1 deferred Tourist Services		Rural 1 deferred Papakainga
	Residential		Rural 1 deferred Mixed Business		Residential deferred Light Industrial
	Residential Closed		Rural 1 deferred Light Industrial		Development Area
	Residential Coastal		Rural 1 deferred Heavy Industrial		Notation
			Rural 1 deferred Rural Residential Serviced		Direction of development

AREA MAPS

	Protected Tree		Indicative Vehicle Access/ Crossing Point		Wastewater Management Area
	Heritage Building : NZ Historic Places Trust Register		Fault Rupture Risk Area		Services Contribution Area
	Heritage Building : Tasman District Council Register		Slope Instability Risk Area		Coastal Environment Area
	View Point		Ridgeline		Coastal Risk Area
	Designation Site		Working Quarry Site		Mooring Area
	Designation Area		Quarry Area		Chemical Hazard Area
	Indicative Development Area		Aquifer Protection Area		Landscape Priority Area
	Indicative Reserve		Significant Natural Area		Electricity Transmission Line
	Indicative Stormwater Retention Area		Recharge Protection Area		Shopping Frontage
	Indicative Road		Land Disturbance Area 2		Retail Frontage
	Indicative Walkway		Residential Activity Restriction Area		Service Lane
	Indicative Waterway		Special Domestic Wastewater Disposal Area		Road Area
					Car Park

3. Additional Information

This section of the LIM includes general information of interest to potential buyers in the area.

- **Civil Defence/Emergency Management**

The Council jointly provides civil defence arrangements with Nelson City Council. Details of alerts and other information can be found on the website at www.nelsontasmancivildefence.co.nz.

4. Glossary

Term	Explanation/Note
Coastal Environment Area	The Coastal Environment Area is a Tasman Resource Management Plan overlay. Its purpose is to guide the management of Tasman District's coastline. The seaward boundary of the Coastal Environment Area is mean high water springs and the overlay extends approximately 200 metres inland from this boundary. Any building work within the Coastal Environment Area may require resource consent. Rules relating to this area can be found in Section 18.11 of the Tasman Resource Management Plan.
Coastal Risk Area	The Coastal Risk Area is a Tasman Resource Management Plan overlay that extends over parts of Ruby Bay and recognises the extent of coastal erosion and inundation in this area. Any building work within the Coastal Risk Area will need to comply with Tasman Resource Management Plan Rule 18.9.2.1 or a resource consent will be required.
Consent Notice	A consent notice is a form of covenant between the Council and a landowner. A consent notice will be registered on the title alerting current and future property owners of certain obligations that must be complied with on a continuing basis by the property owner. The process to change or cancel a consent notice requires a resource consent application to Council.
Deferred Fire Ban Area	The land is subject to deferred Fire Ban Area provisions which will take effect once the deferrals applying to the land use zones are uplifted. The fire ban provisions mean that outdoor burning will be prohibited except in particular circumstances relating to lot size. Until then the land is subject to Fire Sensitive provisions which limit outdoor burning during winter months.
Electricity Transmission Lines and Towers	Any property identified as having high-voltage electricity lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property, the applicant/landowner must ensure that the proposed building or structure complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances (NZECP34:2001).
Fault Rupture Risk Area	This area encompasses active fault systems in the Tasman District. Rules in Section 18.13 apply to activities in this area.
Fire Ban Area	Rules 36.3.2.3, 36.3.3.3 and 36.3.7.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean outdoor fires (to burn waste paper and vegetation) are prohibited on properties less than 5,000m ² . Where properties are larger than 5,000m ² , resource consent is required to have an outdoor fire (the rules do not apply to barbecues or braziers).
Fire Sensitive Area	Rules 36.3.2.3, 36.3.3.3 and 36.3.5.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean that outdoor fires (to burn waste paper and vegetation) are not permitted during the months of June – August (inclusive) unless where there is disease on a horticultural crop (the rules do not apply to barbecues or braziers). Resource consent to burn other horticultural vegetation can also be sought for fires during June – August.

Term	Explanation/Note
Land Disturbance Area 1	This covers most of the District and is characterised by generally stable landscapes. Many land disturbance activities are permitted in this area subject to performance standards to maintain appropriate soil and surface water quality values. Consents may be required for some activities on the naturally higher risk terrains within the area such as steep hill country and the karst terrain. The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).
Land Disturbance Area 2	This covers the terrain known as Separation Point Granite, where land disturbance activities are known to pose special risks from erosion which may have detrimental effect both on site and off site. Few land disturbance activities are permitted in this area and generally consent is required for activities where mechanical land clearance is carried out on land exceeding 15 degrees and where track and road formation produce cuts greater than 0.5 metres. The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).
Landscape Priority Area	The Landscape Priority Area is a Tasman Resource Management Plan overlay that covers parts of St Arnaud and the Takaka Hill. Its purpose is to guide development in a way that protects the unique landscape and natural values of these areas. Any building work within the Landscape Priority Area may require resource consent. Rules relating to this area can be found in Section 18.2 of the Tasman Resource Management Plan.
Obstacle Limitation Surface	The Rule 36.3.3.1(g) relates to the safety of aircraft approaching Nelson Airport. Within the limitation surface area the efflux velocity of any discharge to air does not exceed 4.3 metres per second at a height greater than 60 metres.
Recharge Protection Area	This is an area where establishment of new plantation forest is regulated. Up to 20% new forest can be planted as a permitted activity in these areas - provided council is notified first. Otherwise resource consent is required. The objective for these provisions is to protect surface water yields and groundwater recharge from being reduced because of the rainwater interception effects of tall forest vegetation.
Services Contribution Area	Council has made an interim decision for properties in the Services Contribution Area that Council will not provide a reticulated wastewater system. All discharge of domestic wastewater will require a Resource Consent.
Slope Instability Risk Area	This area has particular rules relating to information requirements in relation to ground stability. Rules in Section 18.12 apply to activities in this Area.
Special Domestic Wastewater Disposal Area	Any new discharge of wastewater to land must meet the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule). Any developments that increase the potential number of inhabitants, such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require an upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (this may include the installation of a system that will treat the wastewater to the standards specified in the Rule), or alternatively a resource consent must be obtained.

Term	Explanation/Note
Wastewater Management Area	Any new discharge of wastewater to land will require resource consent. The wastewater treatment and disposal system should also meet the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule). Any developments that increase the potential number of inhabitants such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require resource consent and will require and upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule).

5. Site Plans & Consent Information

This section of the document contains plans that are on file regarding the site. This may include:

- Resource Consent information
- Floor plans for any buildings on the site
- Drainage plans
- Overall site plans.

Council may hold additional plan information, such as technical specifications for items used in the construction of any buildings. If you would like a full copy of all the documents on file, please contact Customer Services. Note that this can be quite extensive in some cases, and a fee applies.

Code Compliance Certificate

Form 7: Section 95, Building Act 2004

The building

Street address of building: 7 Croisilles Place, Richmond
Legal description of land where building is located: Lot 158 DP 13927
Valuation number: 1960059035
Location of building within site/block number: Level/unit number:
Current, lawfully established, use: Dwelling
Year first constructed: 1980's

The owner

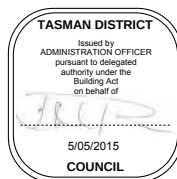
Name of owner: Atkinson May & Du Barry Alexandrah
Mailing address: Trustees of the Atkinson Family Trust, 7 Croisilles Place, Richmond
7020
Street address/registered office:
Phone number: Landline: Mobile:
Daytime: After hours: 5441345
Facsimile number: Email address: mayscott@ihug.co.nz Website:
First point of contact for communications with the council/building consent authority:
Full Name: Gowans Walters & Associates Limited
Mailing Address: Allan Walters, PO Box 3608, Richmond
Phones: 544 9499: 5449488
Fax: 544 9488
Email: allan@gowanswalters.co.nz

Building work

Building consent number: 145207 Issued by: Tasman District Council
Alterations and extensions to dwelling: Intended Use: Housing - detached

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —
(a) the building work complies with the building consent.



Signature
On behalf of: Tasman District Council

Position

Date: 5/05/15

Legal Description

Lot 158 DP 13927

Site Area: 774m²

Planning

Zone RESIDENTIAL

Coverage: No Change

Notes:

Wind Zone: HIGH

Earthquake Zone: 2

Snow Zone: N3<400M

Corrosion Zone: C

WIND ZONE CALC	
Wind Region	A
Lee Zone	No
Ground Roughness	Open
Site Exposure	Exposed
Topographic Class	T1
WIND ZONE	H

200x300(W)mm MIN. CONCRETE SLAB THICKENING TO SUPPORT INTERNAL LOADBEARING WALL IN ACCORDANCE WITH NZS 3604:2011: SECTION 7.5.11.

NEW 100mm CONC. SLAB REINFORCED WITH SE62 MESH SHOWN SHADED.
- 30 TOP COVER OVER OVER 250 MICRON POLYTHENE DAMP PROOF MEMBRANE
COMPACTED & SAND BLINDED BASECOURSE LAID IN 150mm MAX LAYERS.

Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED DRAWINGS

Consent Number BC 145207A

Signed

Date 4/09/2014

ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL

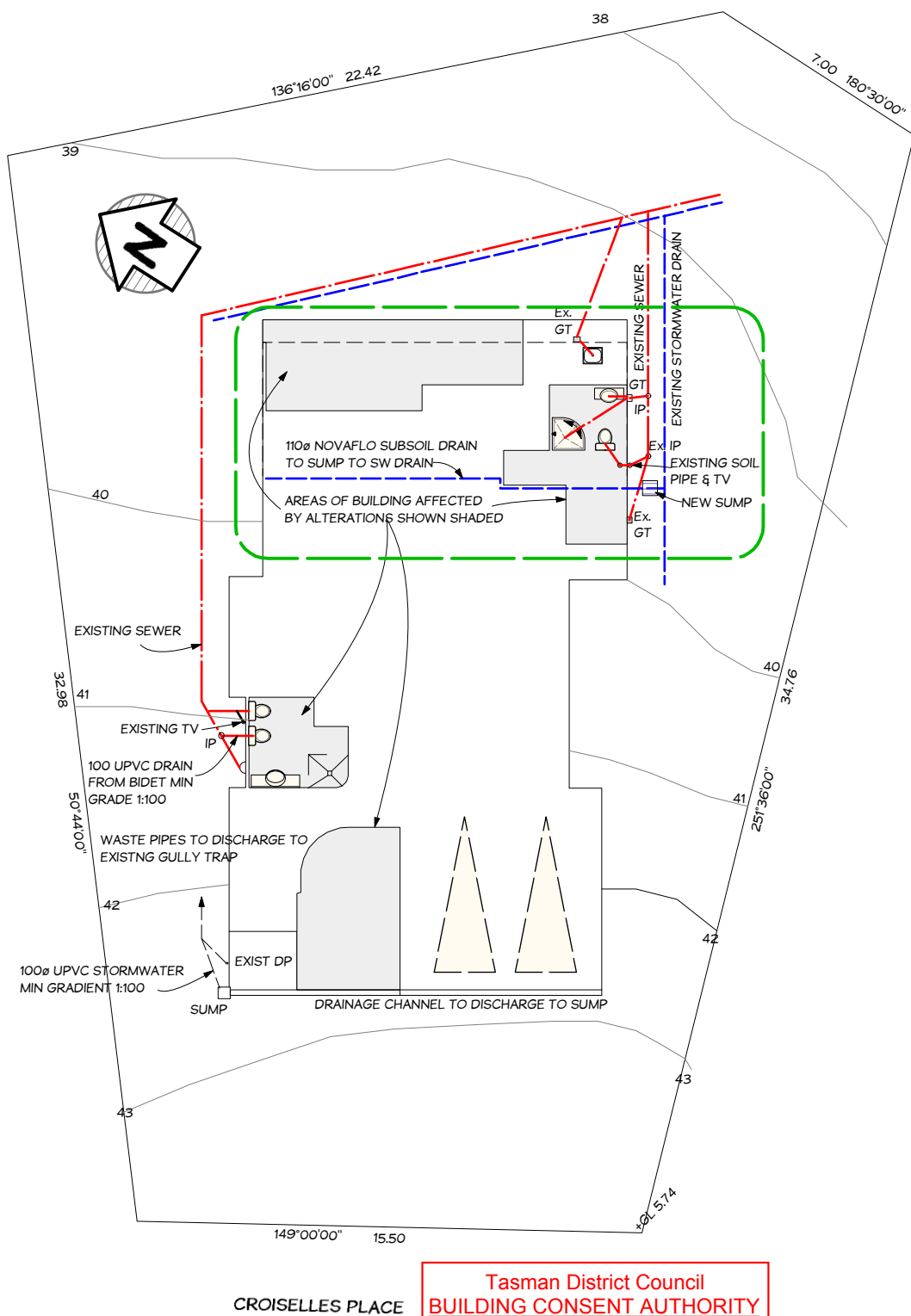
FOUL WATER/SANITARYPLUMBING

SANITARY DRAINAGE SYSTEM TO NEW ZEALAND
BUILDING CODE CLAUSE G13/AS1 (FOUL WATER)

FIXTURE DISCHARGEPIPE SIZES AND GRADIENT		
SANITARY FIXTURE OR APPLIANCE	DISCHARGE PIPE (mm)	MINIMUM GRADIENT
Basin/Vanity	40ø	1:40
Bathtub	40ø	1:40
Shower	40ø	1:40
Water Closet Pan	100ø	1:40
Kitchen Sink	50ø	1:40
Laundry Tub	50ø	1:40

SITE LEGEND

F.F.L. FINISHED FLOOR LEVEL
GL GROUND LEVEL
EL EXISTING LEVEL
PL PROPOSED LEVEL
LID LID LEVEL
INV INVERT LEVEL
DP DOWNPIPE

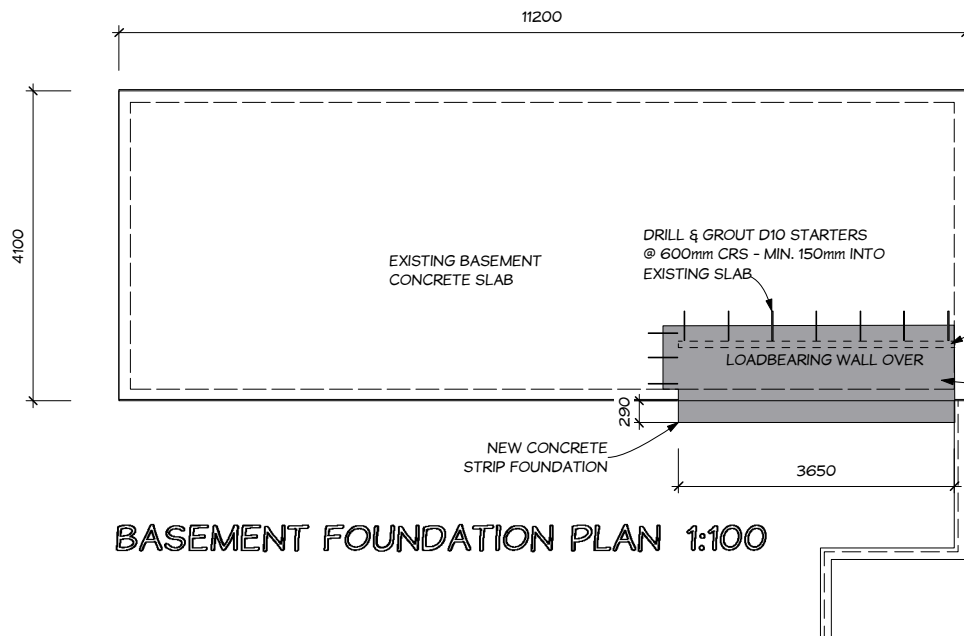


SITE PLAN 1:200

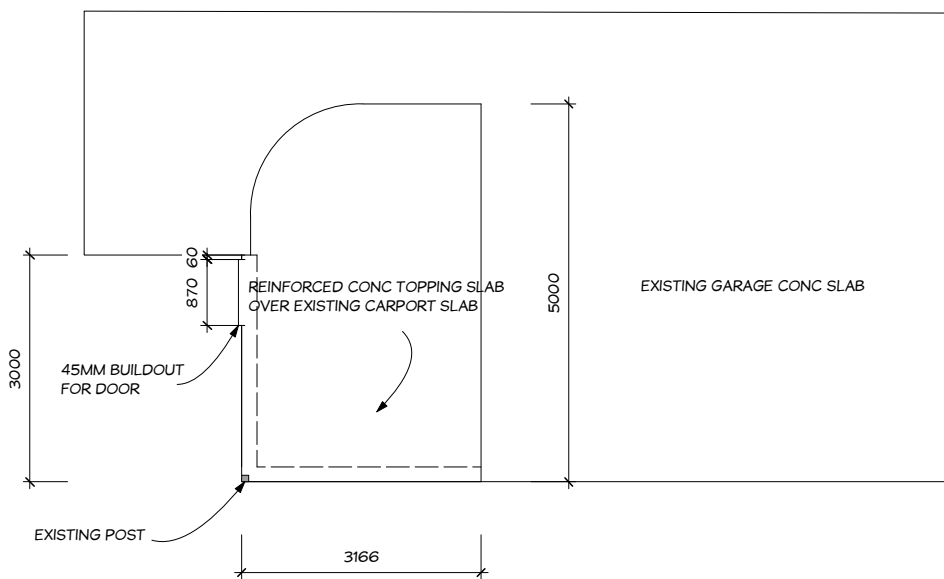
Tasman District Council
BUILDING CONSENT AUTHORITY

RECEIVED

Date 1/09/2014



BASEMENT FOUNDATION PLAN 1:100



FOUNDATION PLAN 1:100

Gowans Walters
& Associates Ltd

tel: 03-544-9499
fax: 03-544-9488
enquiries@gowanswalters.co.nz

building designers

project

ALTERATIONS TO EXISTING RESIDENCE
at: 7 CROISELLES PLACE RICHMOND
for: MAY ATKINSON

Tasman District Council
BUILDING CONSENT AUTHORITY

AMENDED



B	2/9/14	BASEMENT FOUNDATION PLAN & DRAINAGE LEGEND REVISED	FR
A	23/7/14	1. BASEMENT FOUNDATION ADDED 2. DRAINAGE SHOWN FROM NEW BASEMENT LEVEL BATHROOM	FR
rev	date	details	by

scale(s) at A3

AS SHOWN

sheet title

SITE & FOUNDATION PLANS

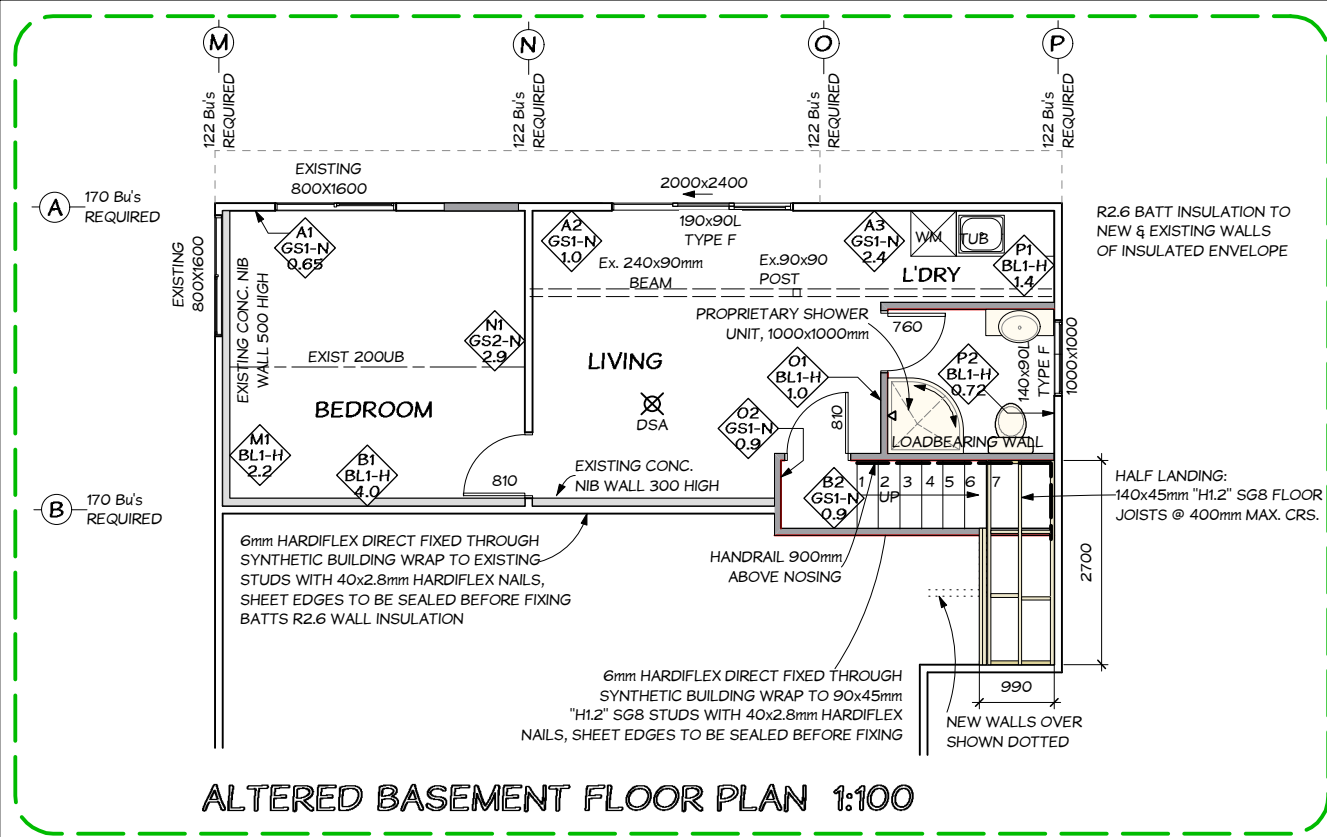
sheet

01 B of 9

drawn WALTERS

date 20 MAY 14

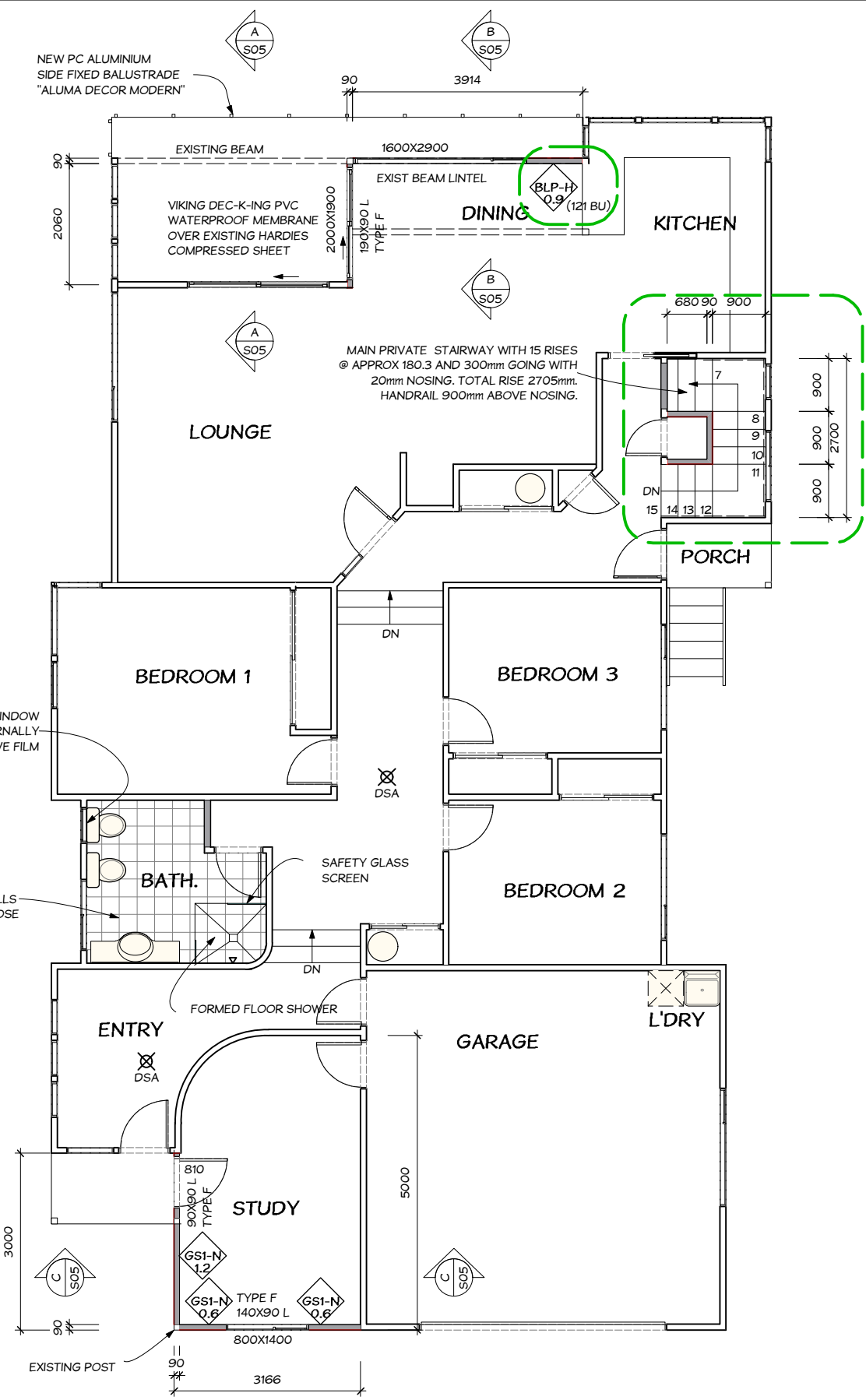
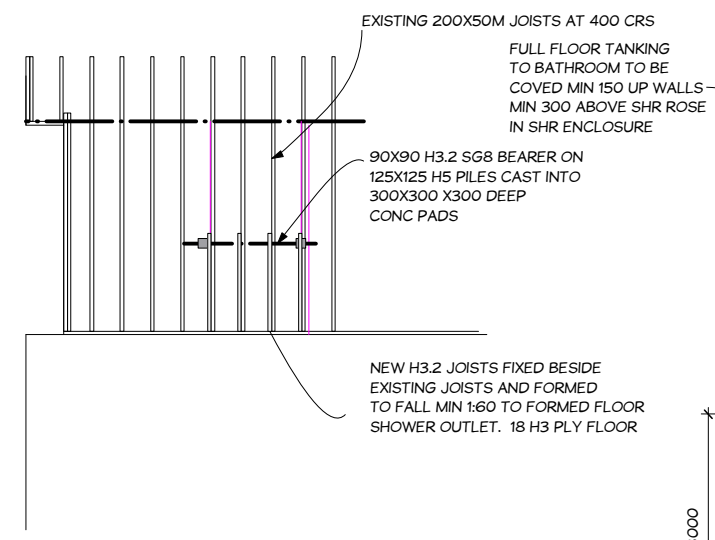
job no. 14190



Tasman District Council
BUILDING CONSENT AUTHORITY

RECEIVED

Date...1/09/2014



NOTES

BRACING NOTES

BRACING No.
BRACE TYPE
BRACE LENGTH (m)

BRACED PANELS SHALL BE CONSTRUCTED TO COMPLY WITH RELEVANT "BRANZ" APPRAISAL CERTIFICATES.

REFER TO THE BRACING CALCULATIONS AND DETAILS FOR FURTHER BRACING INFORMATION.

DIMENSIONS

VERIFY ALL DIMENSIONS ON THE SITE

HOT WATER CYLINDER

EXISTING ELECTRIC HOT WATER CYLINDER TO BE FITTED WITH TEMPERING VALVE SET TO DELIVER WATER TO BATHROOM AREA AT MAX 55°. SECURE WITH SEISMIC RESTRAINTS AS PER ACCEPTABLE SOLUTION G12/AS1 (WATER SUPPLIES) FIGURE 14.

TIMBER FRAMING

UNLESS OTHERWISE STATED ALL WALLS TO BE FRAMED WITH 90 x 45 SG8 STUDS. ALL EXTERNAL WALL FRAMING SHALL BE PRESERVATIVE TREATED H1.2

Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED DRAWINGS
Consent Number BC 145207A
Signed [Signature] JTEK
Date 4/09/2014 R LINTEL FIXING

ALL LINTELS AND BEAMS TO BE DESIGNED IN ACCORDANCE WITH THE NZ BUILDING CODE. DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL MANUFACTURER

LINTEL DESIGN CERTIFICATE AND TRUSS DESIGN CERTIFICATED TO BE PROVIDED PRIOR TO MANUFACTURE

RECESSED DOWNLIGHTS

ALL RECESSED LUMINAIRES TO BE C.A. RATED

WET AREAS WALL LININGS

WET AREAS WALL LININGS FINISHED WITH SEMI-GLOSS, OR GLOSS PAINT. AS PER ACCEPTABLE SOLUTION E3/AS1 3.1.2 WALLS (f).

SMOKE ALARMS

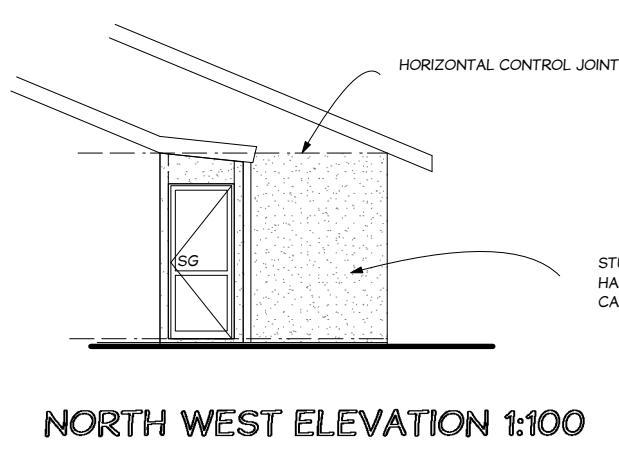
SMOKE ALARMS TO BE INSTALLED WITHIN 3 METRES OF ALL BEDROOM DOORS.

LEGEND

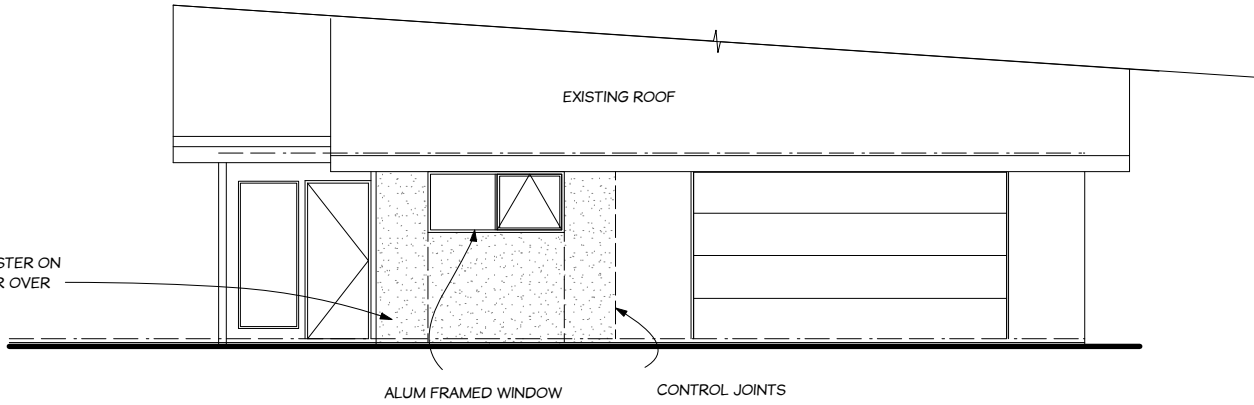
DSA DOMESTIC SMOKE ALARM COMPLYING WITH ANY OF THE FOLLOWING STANDARDS, UL217, ULC-5531, AS3786 OR BS5446 - PART 1

HLF SELECTED COMBINATION HEAT LAMP & EXTRACTOR FAN. DUCT THROUGH ROOF SPACE TO SOFFIT.

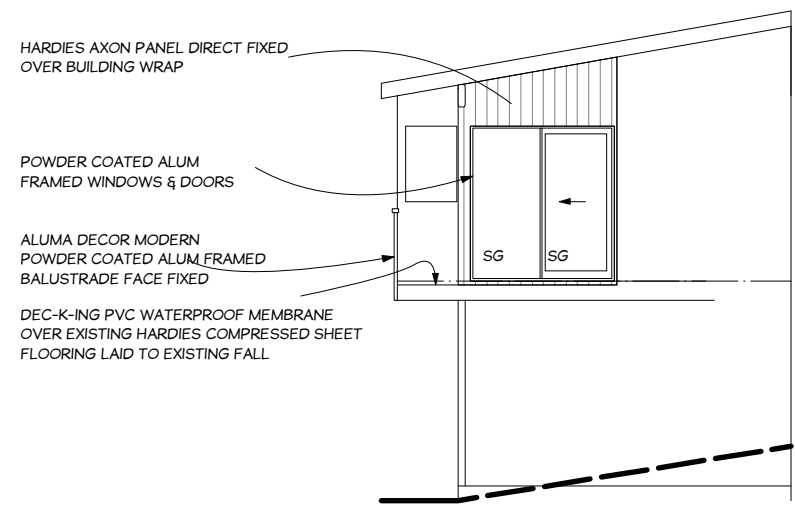
TYPE C = LINTEL FIXING TYPE
190x90L = LINTEL SIZE
2125x1800 = OPENING SIZE (H x W)



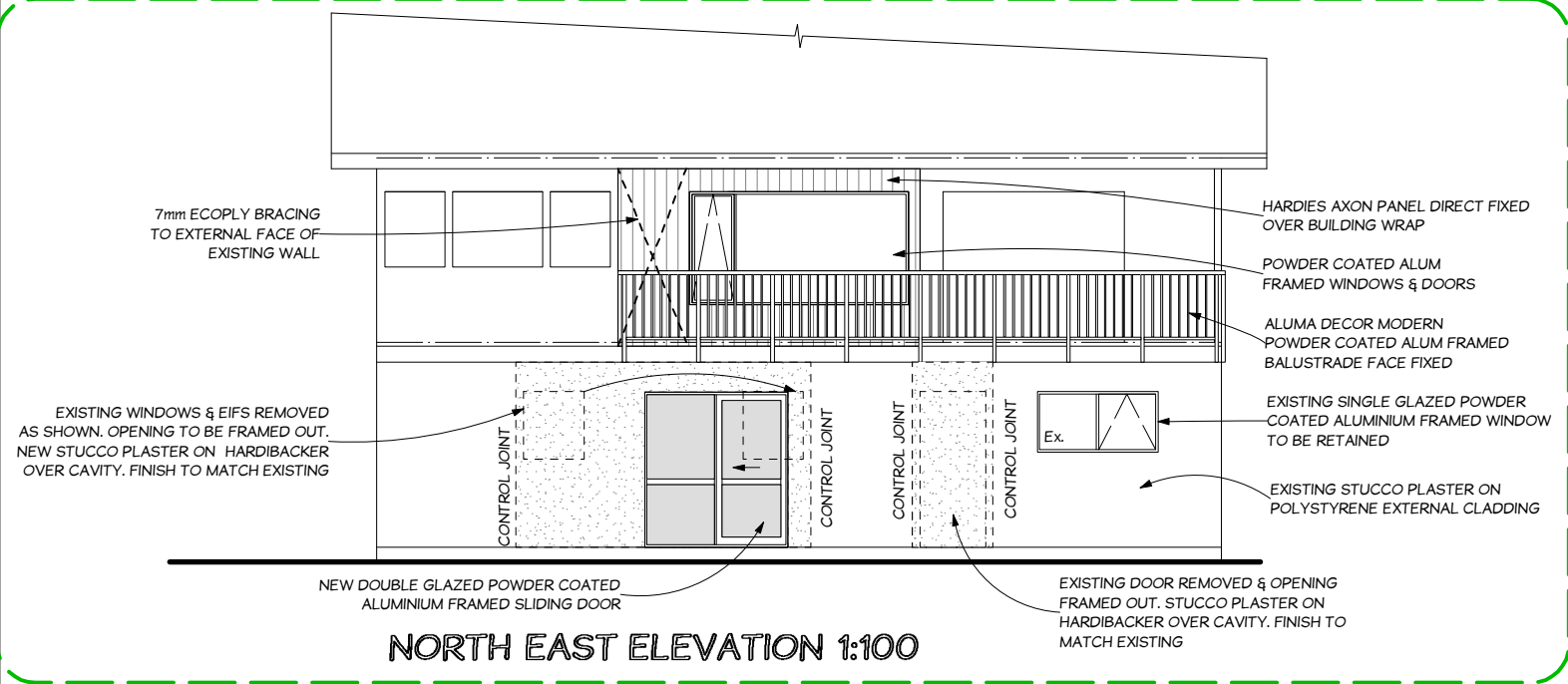
NORTH WEST ELEVATION 1:100



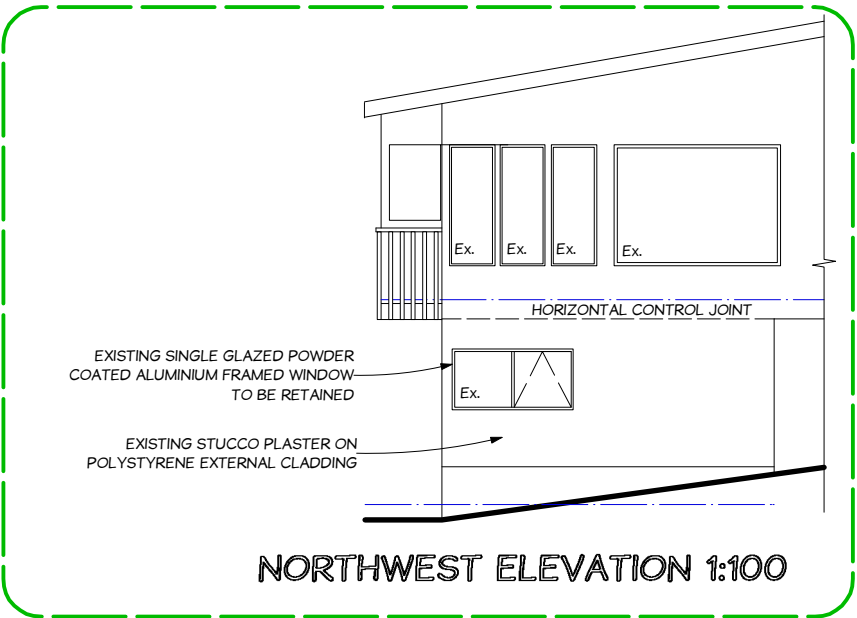
SOUTH WEST ELEVATION 1:100



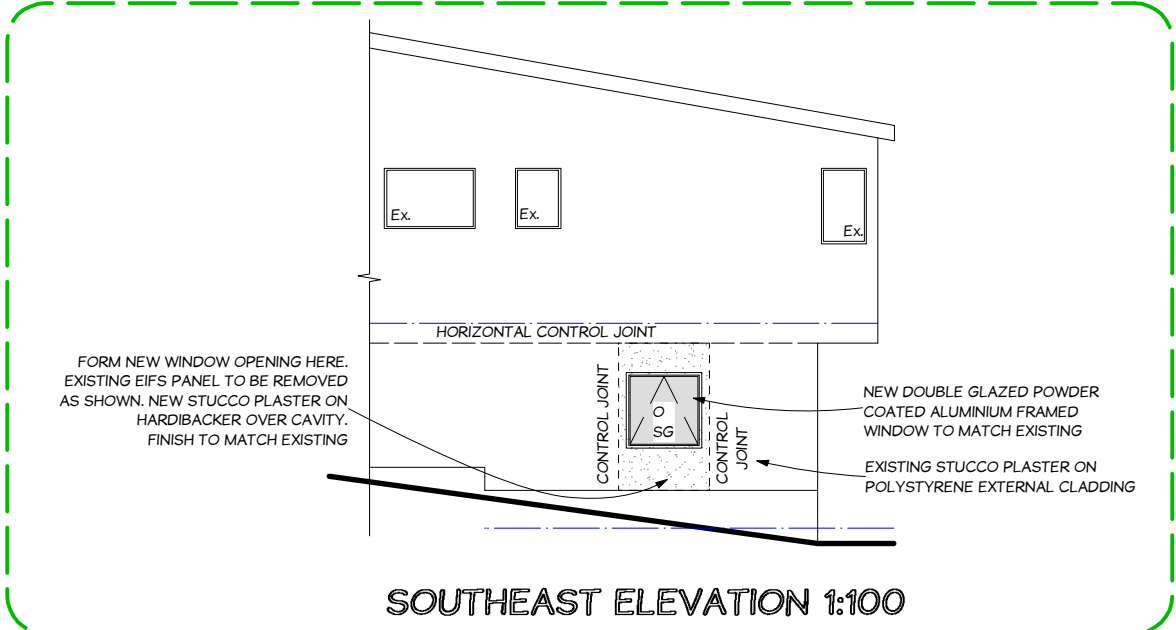
NEW DOOR ELEVATION 1:100



NORTH EAST ELEVATION 1:100



NORTHWEST ELEVATION 1:100



SOUTHEAST ELEVATION 1:100

Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED DRAWINGS
Consent Number BC 145207A
Signed
Date 4/09/2014

NOTES
ALL WORKS TO COMPLY WITH THE NZ BUILDING CODE
DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL

POWDER COATED ALUMINIUM JOINERY

ALL GLAZING SHALL COMPLY WITH NZS4223

ALL WINDOWS TO INSULATED ENVELOPE TO BE DOUBLE GLAZED

O - DENOTES OBSCURE GLAZED JOINERY

SG - DENOTES GRADE "A" SAFETY GLAZING (ALL HINGED DOOR PANELS > 0.5m² SHALL BE SAFETY GLAZED)

T - DENOTES INDIVIDUAL TINT GLAZED JOINERY UNITS

RS - DENOTES INDIVIDUAL JOINERY UNITS WITH SASHES FITTED WITH RESTRICTOR STAYS

ROOF BRACING

ALL GABLE ROOFS SHALL HAVE 1 PAIR OF DIAGONALLY OPPOSED 25 x 0.6mm GALVANISED MILD STEEL STRAPS WITH 8kN TENSIONER FOR EVERY 50m² - REFER TO SPECS FOR DETAILS

RISK MATRIX - NW & SW FACES						
RISK FACTOR	LOW	MED	HIGH	V H	S T	
Wind (NZS 3604)	0	0	1	2	1	
Storeys	0	1	2	4	1	
R/W Intersection	0	1	3	5	3	
Eaves Width	0	1	2	5	0	
Complexity	0	1	3	6	1	
Deck Design	0	2	4	6	0	
TOTAL RISK SCORE						5

RISK MATRIX - NE FACE						
RISK FACTOR	LOW	MED	HIGH	V H	S T	
Wind (NZS 3604)	0	0	1	2	1	
Storeys	0	1	2	4	1	
R/W Intersection	0	1	3	5	0	
Eaves Width	0	1	2	5	0	
Complexity	0	1	3	6	1	
Deck Design	0	2	4	6	4	
TOTAL RISK SCORE						7

Tasman District Council
BUILDING CONSENT AUTHORITY
RECEIVED
Date..... 1/09/2014

Inspector: M _____ File No. _____

Receipt No. **5443**

Date Permit Issued **12 / 10 / 90**

OWNER	
Name	MRS H. Smith
Mailing Address	7 CROSBIES PLACE RICHMOND
K-5497	

BUILDER	
Name	W.G. FERRIS
Mailing Address	7 CROSBIES PLACE RICHMOND

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	7
Street Name	CROSBIES PLACE
Town/District	RICHMOND
Riding	

LEGAL DESCRIPTION	
Valuation Roll No.	17600 - 290 - 35
Lot	158
D.P.	13927
Section	
Block	
Survey District	

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ERECT Retaining Wall.

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres		Number Erected	
ESTIMATED VALUES	Building		6000.00
\$	Plumbing		
	Drainage		
	G.S.T.		
	TOTAL		6000.00

NATURE OF PERMIT (TICK BOX)	
☐	NEW BUILDING - exclude domestic garages and domestic outbuildings
☐	FOUNDATIONS ONLY
☐	ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED - include installation of heating appliances
☒	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

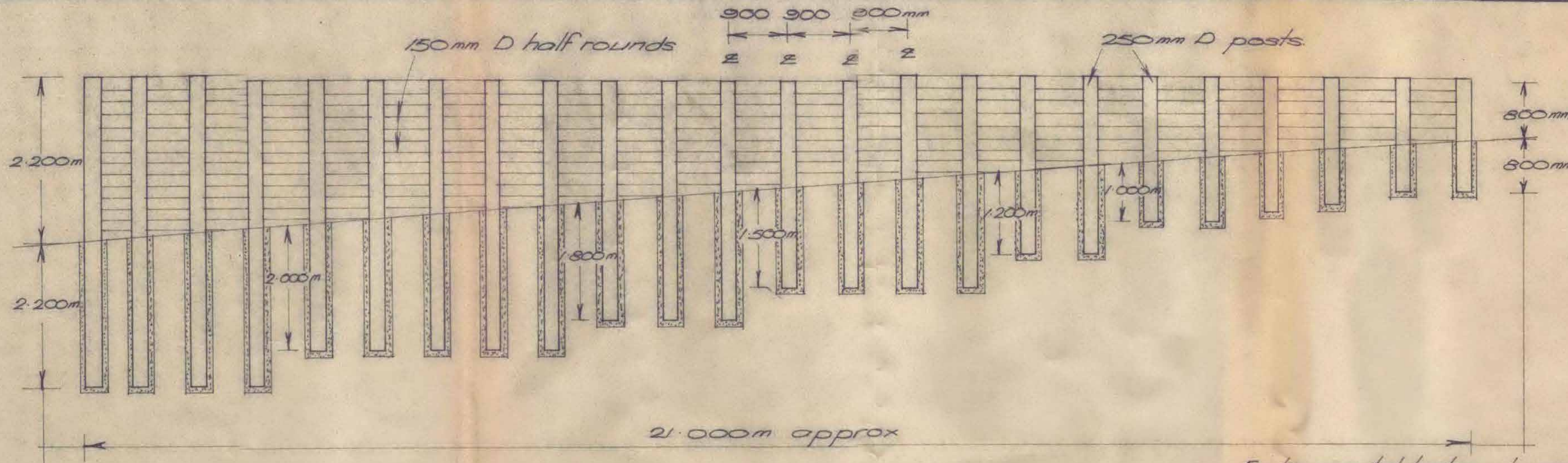
Building Permit	\$ 77.00	Water Connection	\$ _____	Receipt No.	5443
Street Damage Deposit	\$ _____		\$ _____	Date of Payment	11 / 10 / 90
Building Research Levy	\$ _____		\$ _____	Authorised Officer	MCDONNELL
Plumbing	\$ _____		\$ _____		PP H.G.W.
Drainage	\$ _____		\$ _____		
Sewer Connection	\$ _____		\$ _____		
Vehicle Crossing Levy	\$ _____	G.S.T.	\$ _____		
M.S. Plumbing	\$ _____	TOTAL:	\$ 77.00		

Special Conditions: _____

License NOTING FOR hole hole inspection.

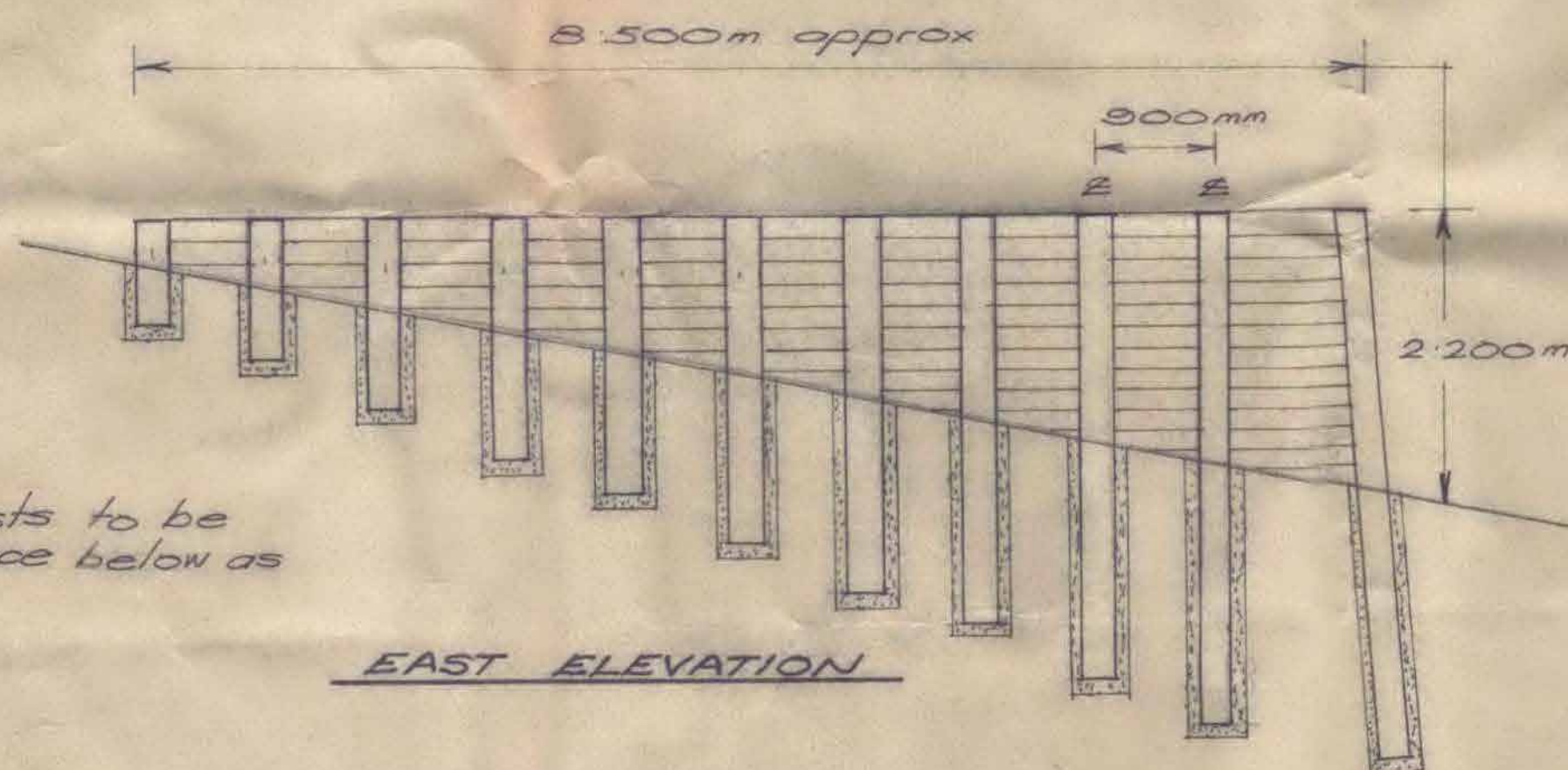
Barry.

Date Inspected	REMARKS (e.g. stage reached with work)
25-10-90	Called to Site - Holes drilled over drainage pipes Ask to shift holes uphill, approx 2m. to avoid drains. (He thought drains ran parallel to site boundary)



NORTH ELEVATION TIMBER WALL
Scale 1:50

Fix horizontal timbers to poles with 1.150 mm galv nail at each pole



EAST ELEVATION

5mm gaps between horizontal timbers

horizontal timbers Seriton edged 150mm half rounds 1.800m long

surface backfill with 100mm thick top soil to prevent water infiltration

excavate bank not greater than 60° to horizontal

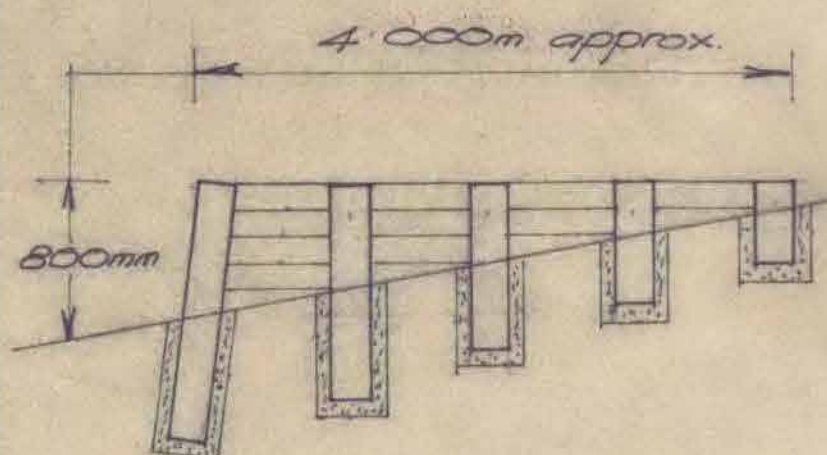
bed and surround pipe with scoria river run shingle

100mm dia perforated polythene pipe

Backfill around poles with grade 17.5 MPa concrete

NOTE:

250 mm D posts to be same distance below as above



WEST ELEVATION

QUANTITIES

Concrete grade 17.5 MPa approx 4.0 m²
Nails 150mm galv. 20 kg
Backfill scoria approx 25 m³

400mm dia Auger holes

TASMAN DISTRICT COUNCIL
These are the plans specifications referred to in
Building Permit No. 58789
Date 12-10-90
BUILDING INSPECTOR, mab

**PROPOSED TIMBER RETAINING WALL FOR MRS HILARY SMITH
AT CROISILLES PLACE RICHMOND**

Drawn and designed
Robin I Chittenden
147 Moana Ave. Nelson

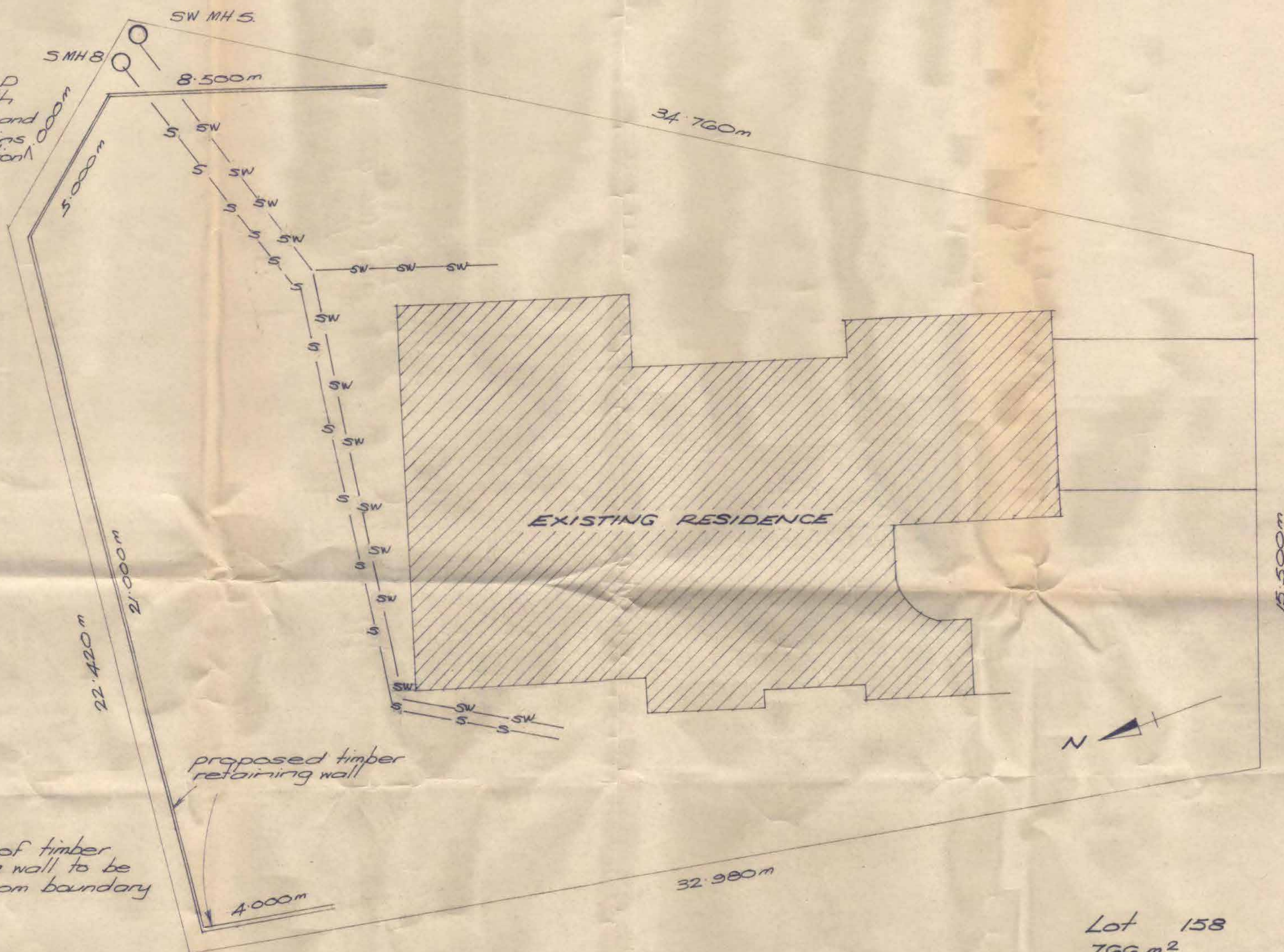
DRAWN	CHECKED	SCALE	SHEET
TRACED	DATE 7-6-90	As shown	1 OF 2
			SERIES OF
			REF

NOTE

Do not scale from drawings use figured dimensions, check all dimensions on site and check the location of drains.

NOTE

Ensure 250mm D posts clear both sides of sewer and stormwater drains on East elevation



NOTE

position of timber retaining wall to be 500mm from boundary line.

Lot 158
766 m²

NOTE

Do not scale from drawings. Figured dimensions, checkings use dimensions on site and check all the location of drains and check

PROPOSED TIMBER RETAINING WALL FOR MRS HILARY SMITH
AT CROISILLES PLACE RICHMOND

Drawn and designed
Robin I Chittenden
147 Moana Ave Nelson

DRAWN	CHECKED	SCALE	SHEET
TRACED	DATE 7-6-90	As shown	2 OF 2

Inspector: M _____

File No. _____

Receipt No. 9371

Date Permit Issued 14/2/90.

OWNER

Name

MRS H. Smith

Mailing Address

Darcy Street
Richmond

BUILDER

Name

Palmer & Bryant

Mailing Address

210 Crescent St
Richmond

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No.

7

Street Name

Croisilles Place

Town/District

Richmond

Riding

LEGAL DESCRIPTION

Valuation Roll No.

19600 - 59035/4

Lot

158

D.P.

13927

Section

Block

Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ERECT Dwelling

FLOOR AREA

DWELLING UNITS

Whole
Sq. Metres

203.

Number
Erected

1

ESTIMATED
VALUES
\$Building
Plumbing
Drainage
G.S.T.
TOTAL131000 00.
6000 00
2000 00.
139000 00

NATURE OF PERMIT (TICK BOX)



NEW BUILDING

- exclude domestic garages and domestic outbuildings



FOUNDATIONS ONLY

ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliancesNEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitionsDOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 616 00	Water Connection	\$ _____
Street Damage Deposit ..	\$ _____		\$ _____
Building Research Levy ..	\$ 139 00.		\$ _____
Plumbing	\$ _____		\$ _____
Drainage	\$ 120 00.		\$ _____
Sewer Connection	\$ _____		\$ _____
Vehicle Crossing Levy ..	\$ _____	G.S.T.	\$ _____
M.S. Plumbing	\$ _____	TOTAL:	\$ 875 00.

Receipt No.

9371

Date of Payment

13/2/90.

Authorised Officer

M. A. B. C.

PP A. G. W.

Special Conditions:

- 1) NOTIFY PRIOR TO - a) POURING CONCRETE b) LIVING INTERNALLY.
- 2) Any retaining wall exceeding 1.2m and supporting any SURCHARGE requires specific design in accordance with CHAPTER 1.

Barry.

Date Inspected

REMARKS (e.g. stage reached with work)

21-2-90

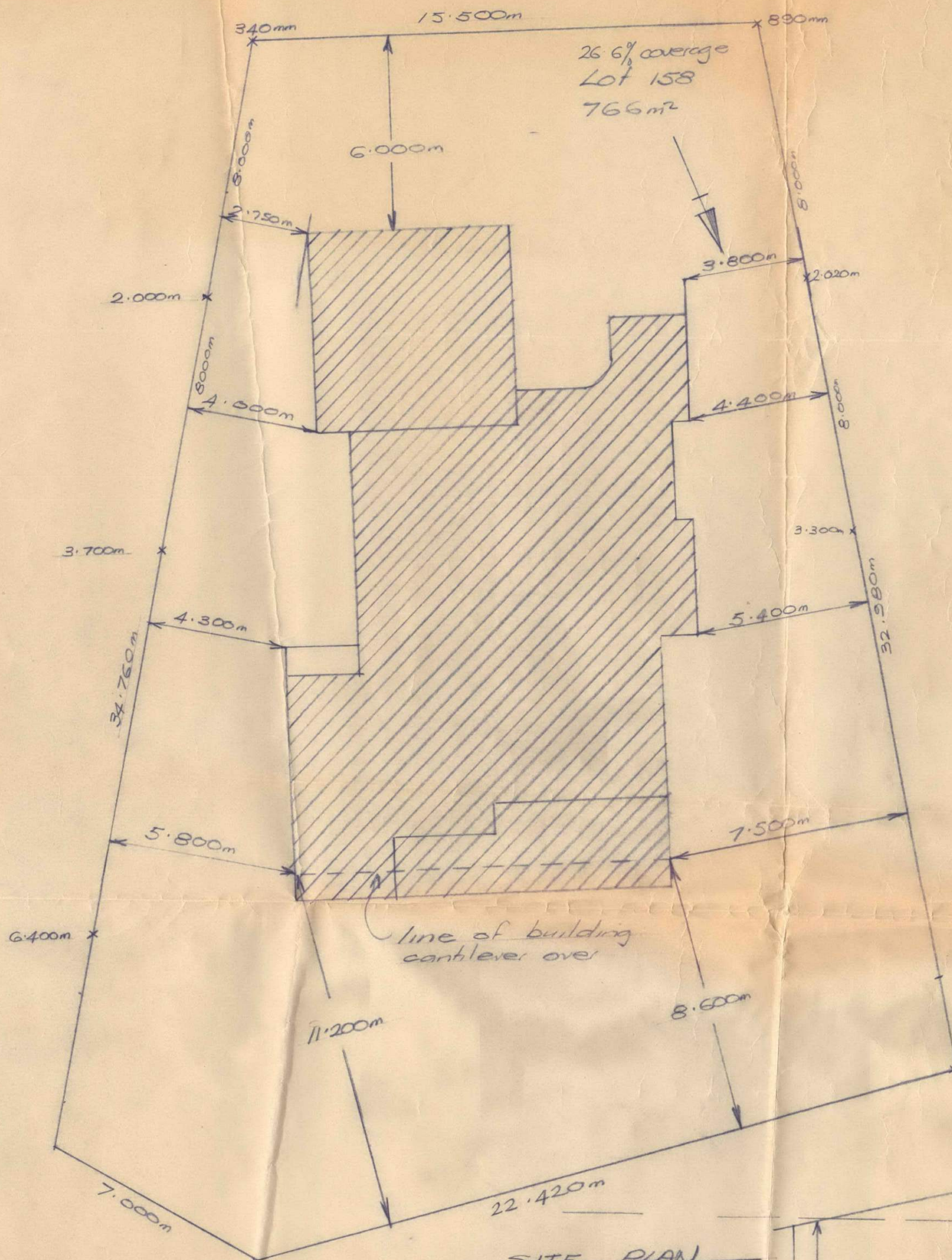
Foundation top section + O/K.

3-90

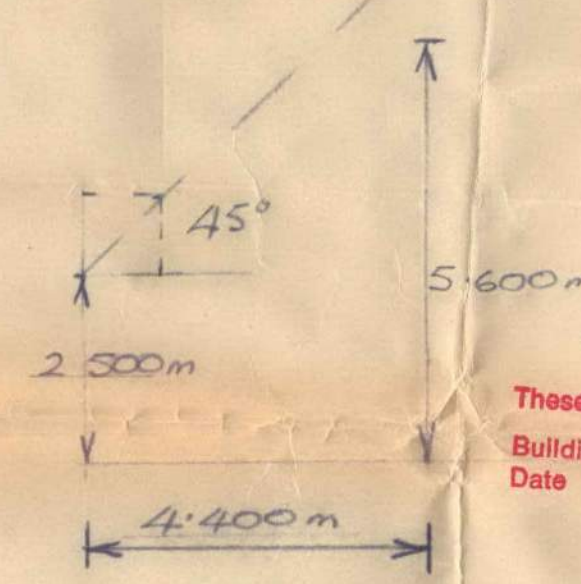
Floors

5-90

Lining

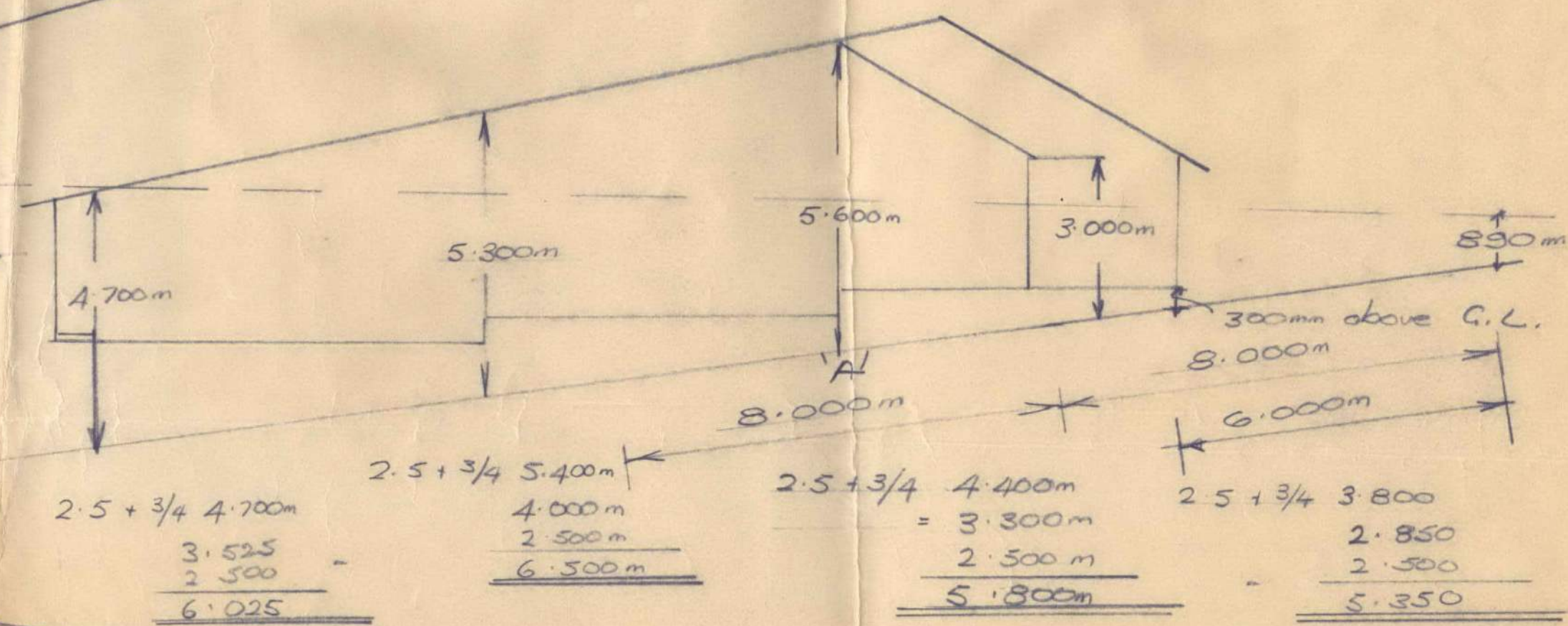


SITE PLAN
Scale 1:100



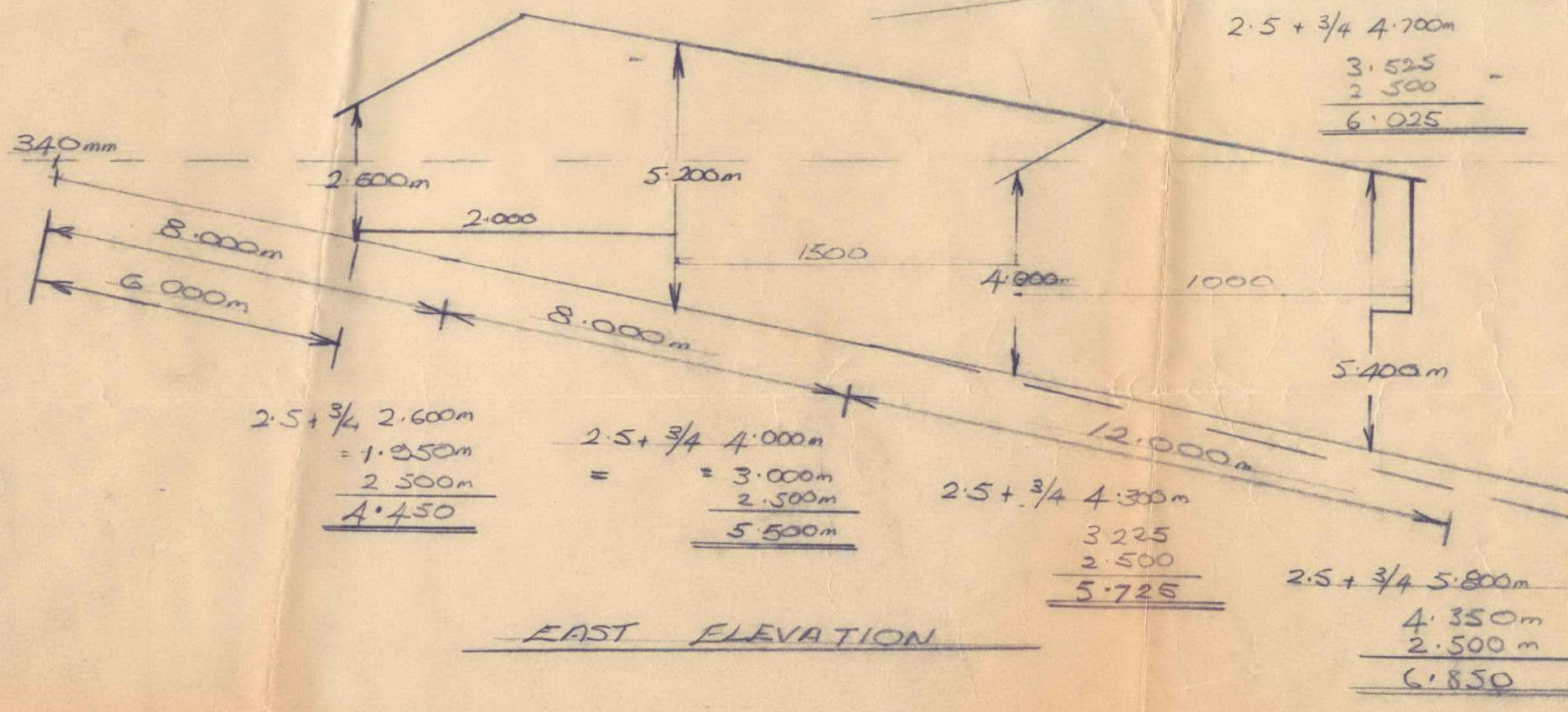
ELEVATION AT BUILDING
EDGE 'A'

TASMAN DISTRICT COUNCIL
These are the plans
specifications referred to in
Building Permit No. 021119
Date 14-2-1990
BUILDING INSPECTOR.
hurs



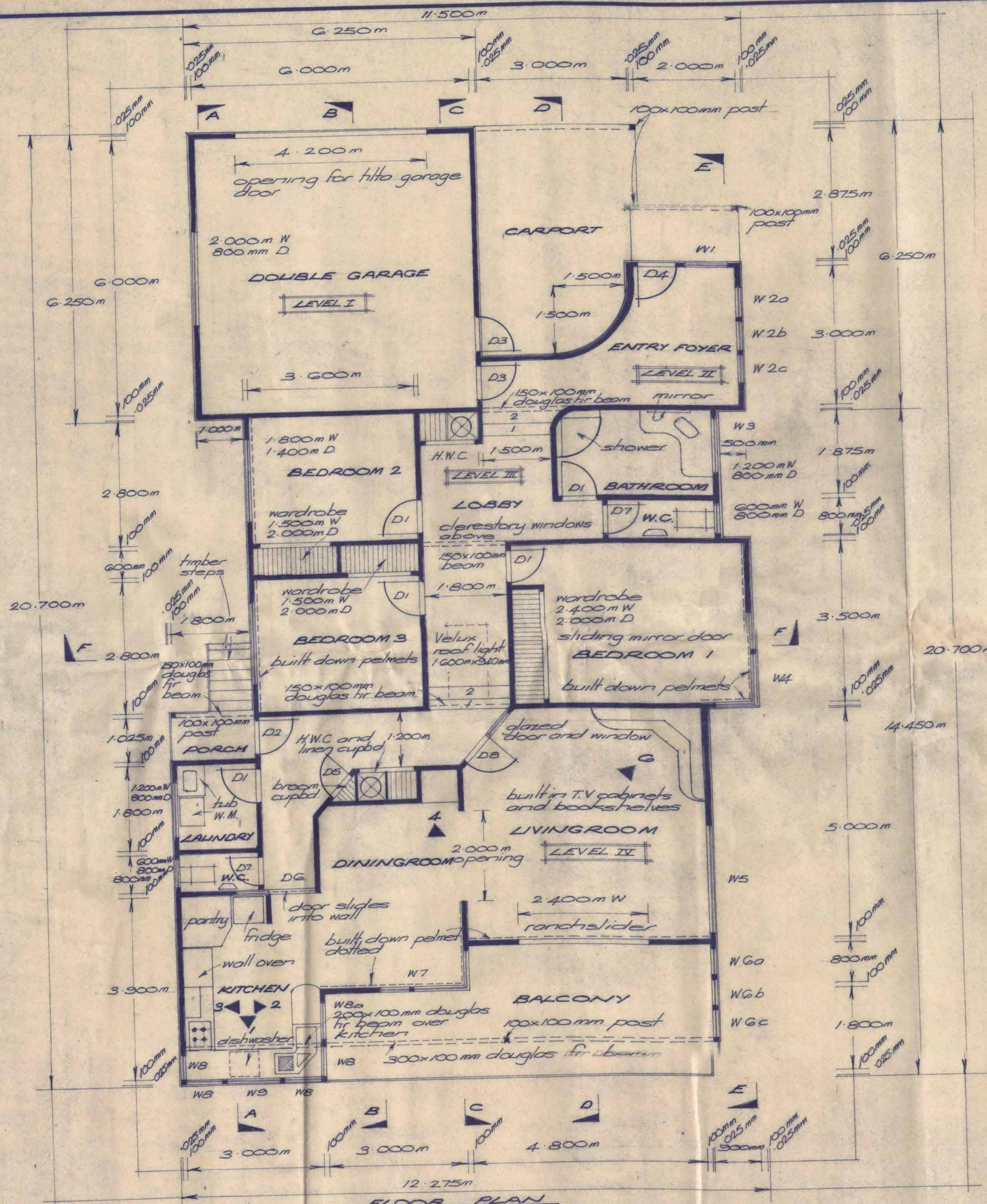
WEST ELEVATION

AMENDED POSITION OF
RESIDENCE FOR MRS H. SMITH
CROISILLIES PLACE RICHMOND.



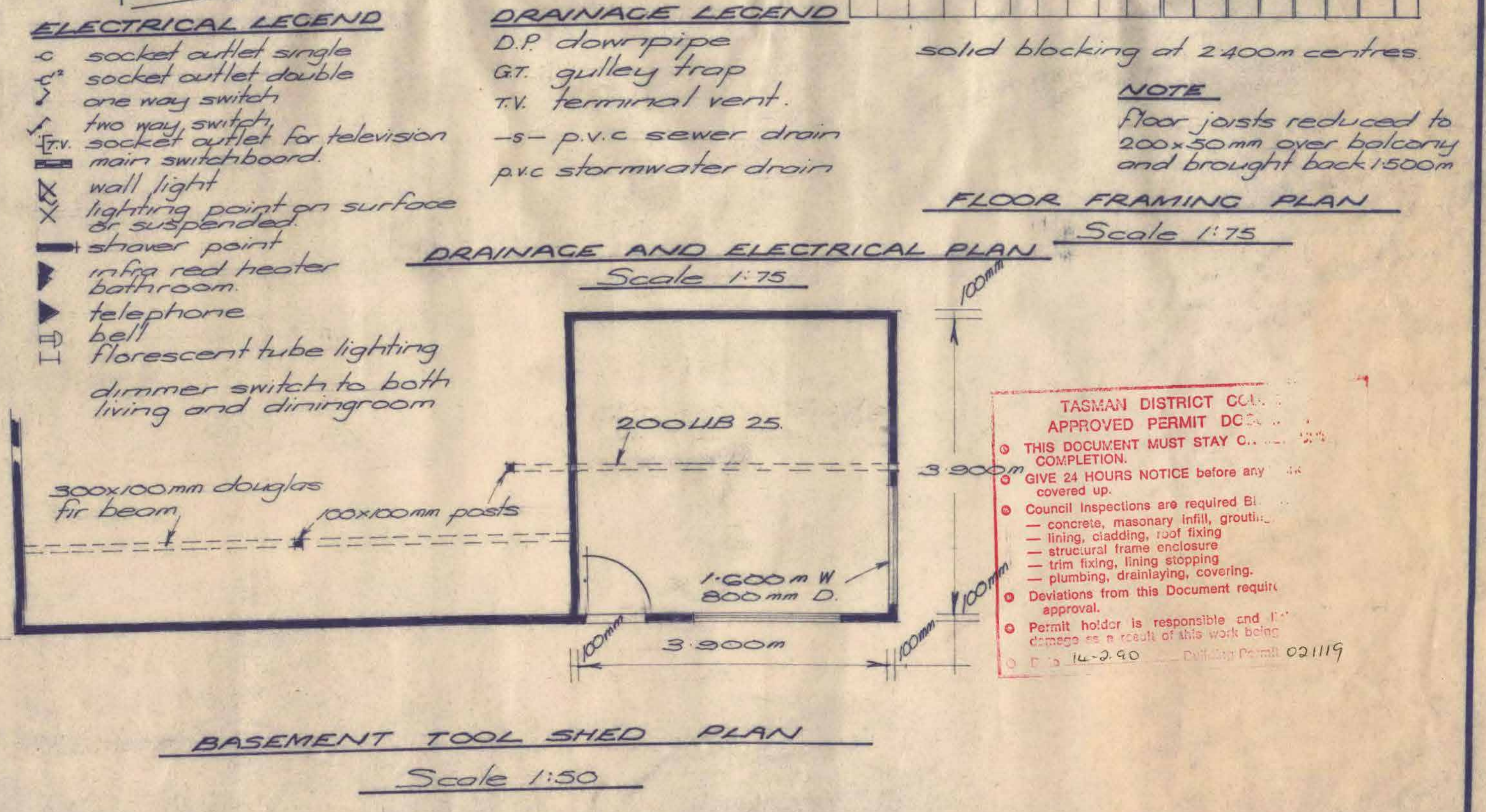
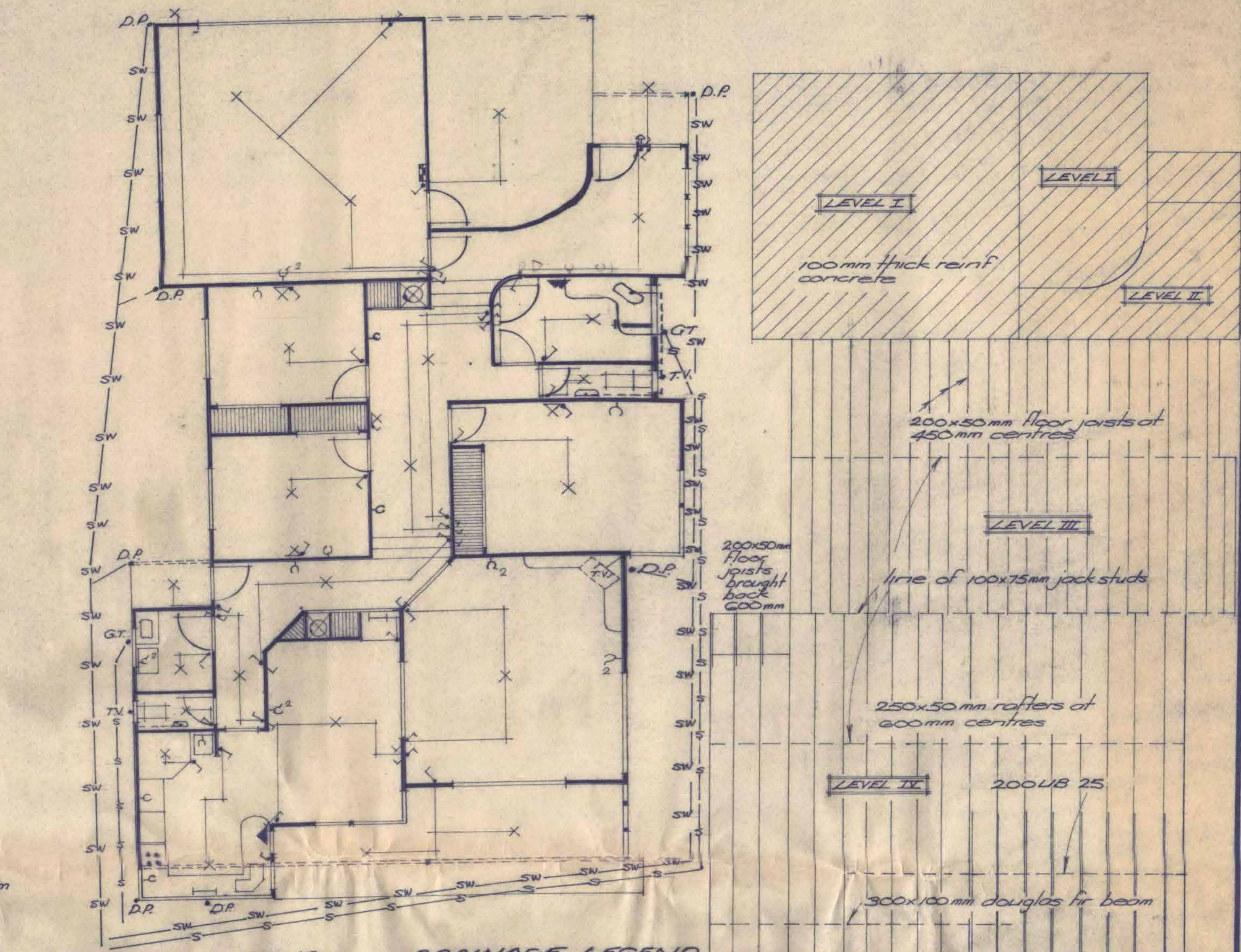
EAST ELEVATION

Drawn and designed
Robin I Chittenden
147 Moana Ave Nelson
13-1-90.



NOTE:
Do not scale from drawings. Use figured dimensions, check all dimensions on site and check the location of all drains and services before commencement of work.

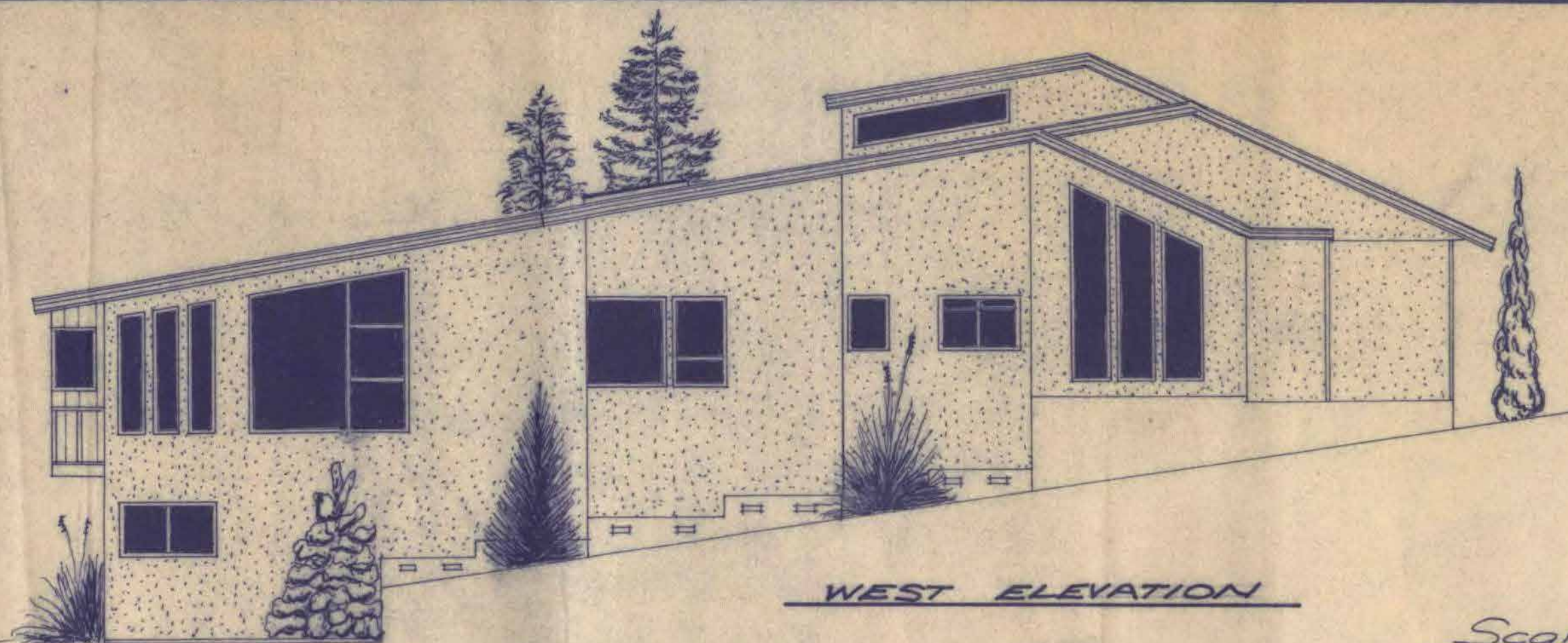
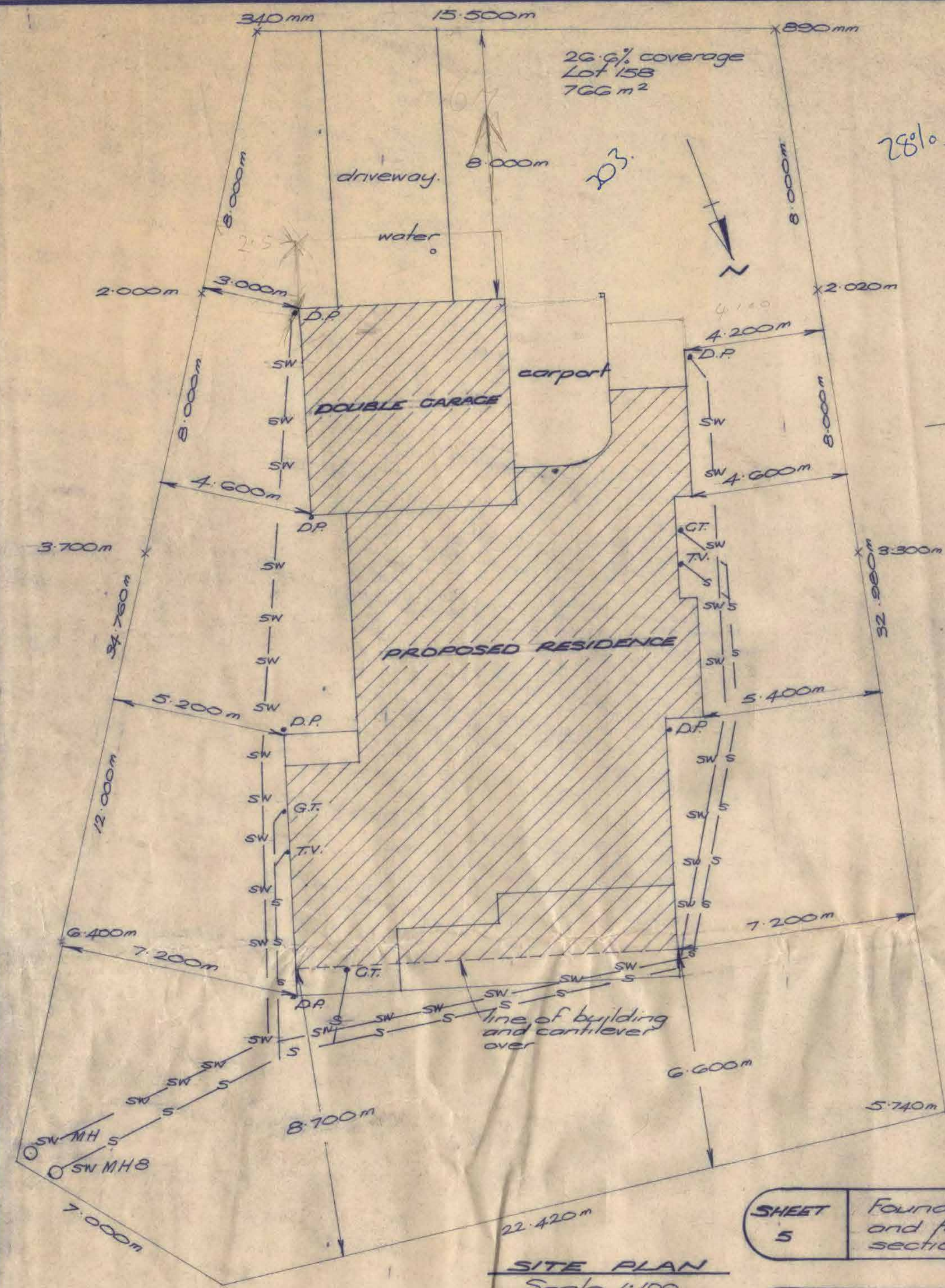
**PROPOSED RESIDENCE FOR MRS HILARY SMITH
AT CROISILLES PLACE RICHMOND**



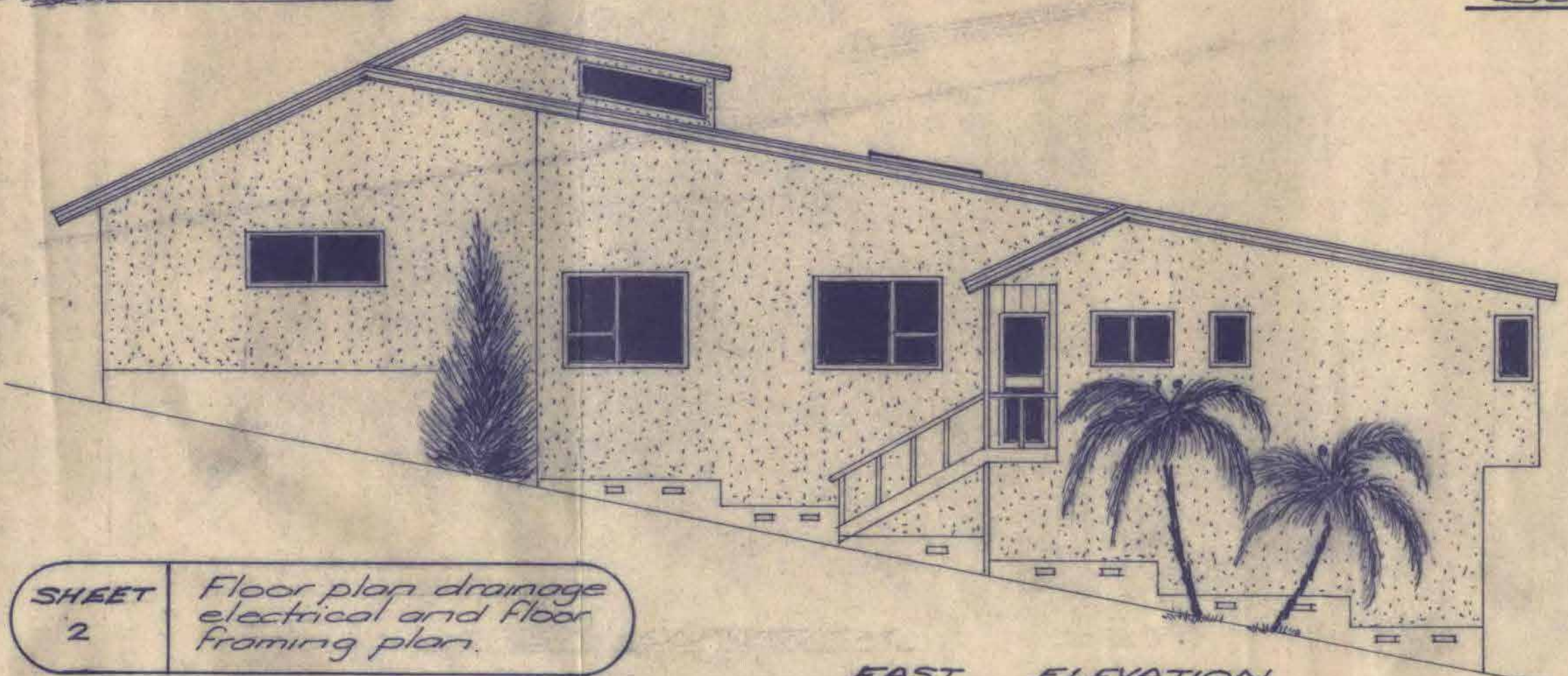
**TASMAN DISTRICT COUNCIL
APPROVED PERMIT DEC 1988**
THIS DOCUMENT MUST STAY CURRENT TO THE COMPLETION OF THE WORK.
GIVE 24 HOURS NOTICE before any work is covered up.
Council inspections are required for:
- concrete, masonry infill, grouting
- lining, cladding, roof fixing
- structural frame enclosure
- trim fixing, lining stopping
- plumbing, drainlaying, covering.
Deviations from this Document require approval.
Permit holder is responsible and liable for damage as a result of this work being done.
14-2-90 Building Permit 021119

Drawn and designed
Robin I. Chiffertien
147 Moana Avenue Nelson

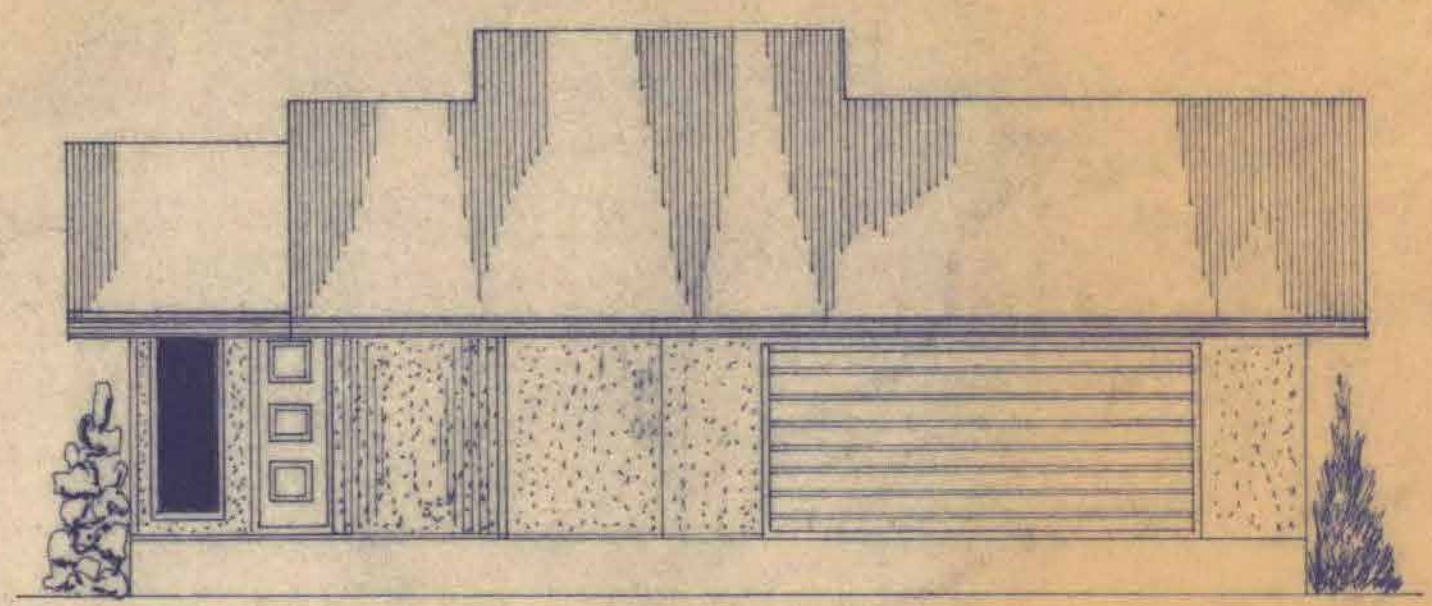
DRAWN	CHECKED	SCALES	SHEET
TRACED	DATE 15th Dec 1988	As shown	2 OF 6
			SERIES OF
			REF



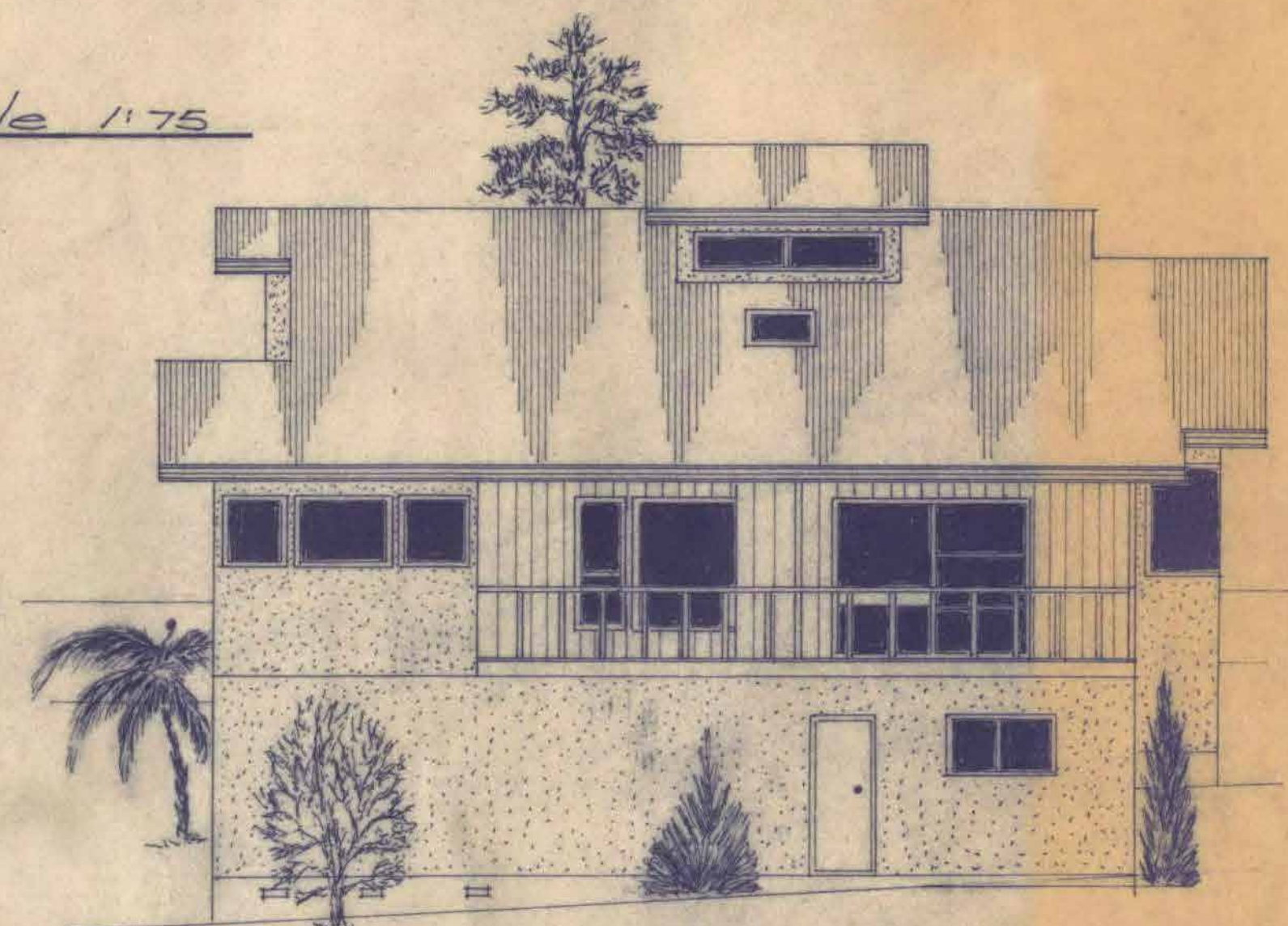
WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



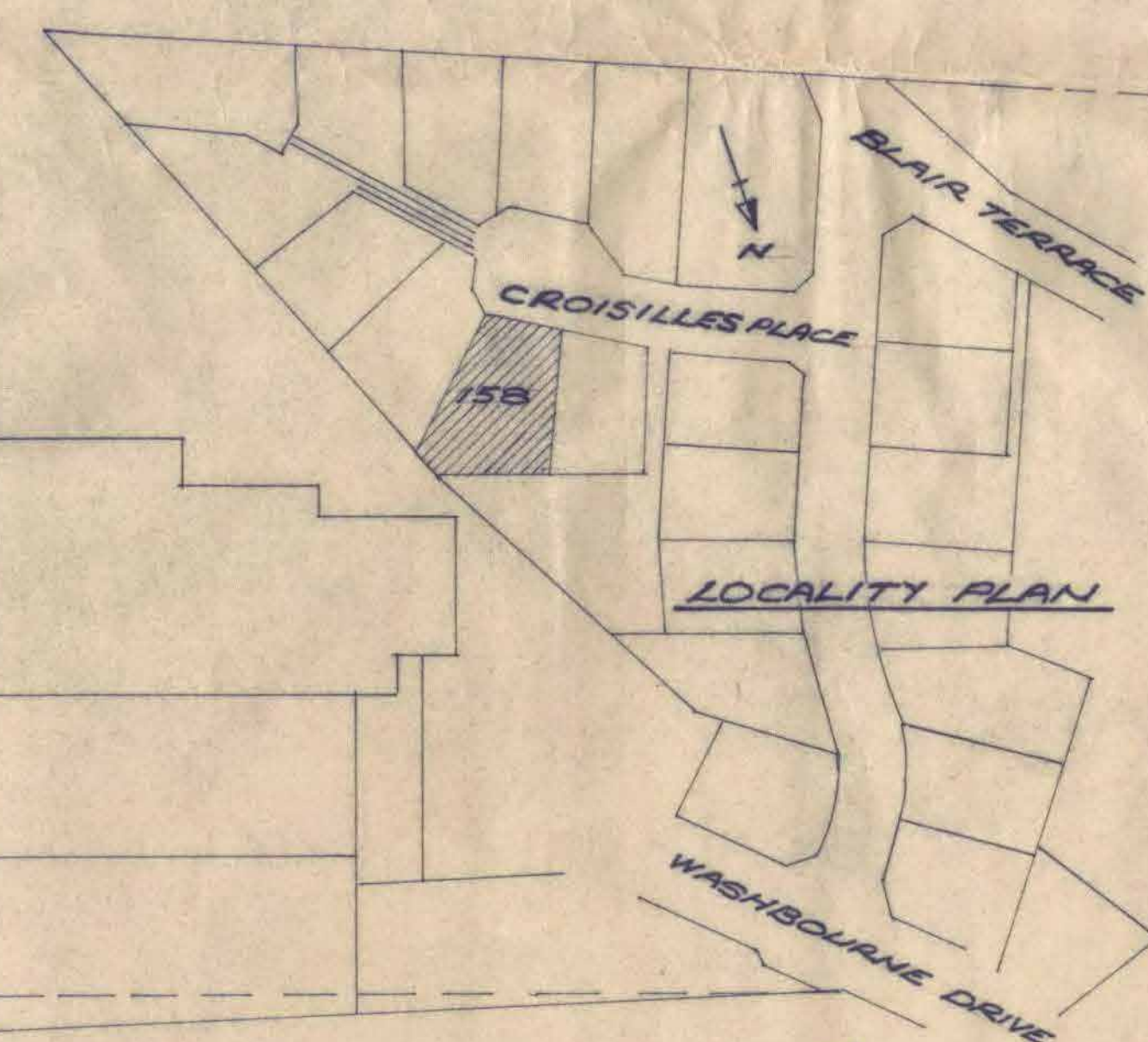
NORTH ELEVATION

Scale 1:75

- SHEET 2 Floor plan, drainage, electrical and floor framing plan.
- SHEET 3 Longitudinal and cross sections
- SHEET 4 Longitudinal sections, roof plan, and basement beam details

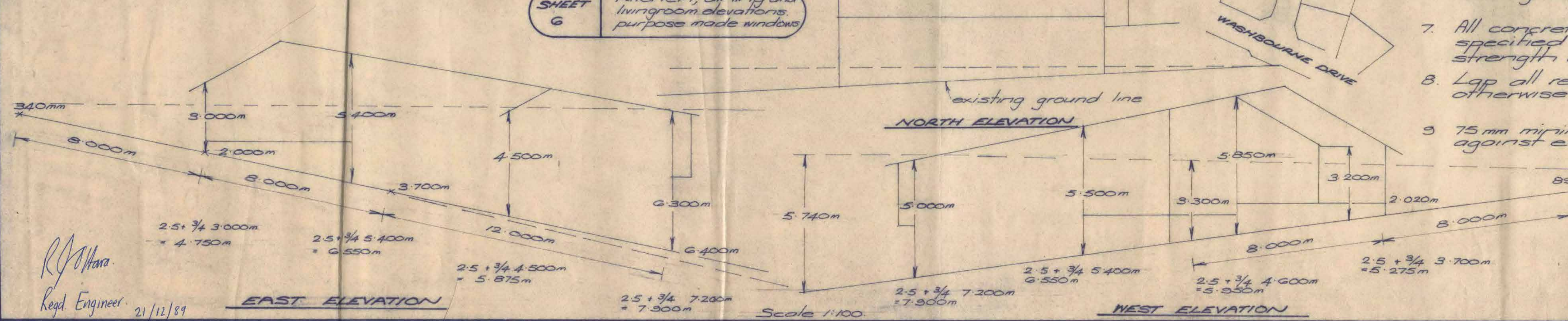
- SHEET 5 Foundation plan and foundation sections.
- SHEET 6 Kitchen, dining and livingroom elevations, purpose made windows

SITE PLAN
Scale 1:100



LOCALITY PLAN

- NOTES:
- Plans to be read in conjunction with specification
 - Contractor to be familiar with, and have reference on site to NZS 3604:1984
 - Bronz bracing sheet accompanies plan
- Insulation:
- walls 1.8 fibre glass batts ceiling 2.2 fibre glass batts all insulation to be inspected before covering.
 - Aluminium windows and purpose made windows as detailed and shown on floor plan given D = depth W = width
 - Purpose made truss design sheets to accompany plan and truss numbers to be given to Council.
 - All concrete unless otherwise specified to have minimum 28 day strength of 21 MPa.
 - Lap all reinforcing 40 φ unless otherwise specified.
 - 75 mm minimum cover to all reinforcing against earth.
 - Ragfelf backing for stucco



EAST ELEVATION

WEST ELEVATION

PROPOSED RESIDENCE FOR MRS HILARY SMITH
AT CROISILLES PLACE RICHMOND

NOTE:
Do not scale from drawings, use figured dimensions, check all dimensions on site and check the location of all drains and service before commencement of work.

Drawn and designed Robin I. Chittenden 147 Moana Avenue Nelson			SHEET 1 OF 6
DRAWN	CHECKED	SCALE	SERIES OF
TRACED	DATE 18 th Dec 1989	As shown	REF

R.I. Chittenden
Regd. Engineer 21/12/89

DRAINAGE PLAN

021119

SCHEME P A11

VAL.ROLL.NO

PROPERTY OWNER
Mrs. H Smith

LOCATION/STREET 7 Croisilles Pl

DATE 21/6/90

TOWNSHIP Richmond

