



Due Diligence Report

25 FIRST AVENUE, MARSDEN, QLD 4132

LOT 40 RP 125855

Requested by

Name: Andrew Sherrington

Email:

Order Date: 27/03/2026



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Assessment Summary

Report Date 27/03/2026

25 First Avenue, Marsden, Qld 4132

Lot 40 RP 125855 | 1,497 m² | Logan Council

Development Rating **A**

Excellent – Multiple straightforward pathways with minimal planning barriers

Feasibility Rating **A**

Excellent – Minimal additional cost expected

Key Concerns

- Noise Overlay (Transport Noise Corridor) – Triggers code-assessable DA and requires acoustic engineering report

Bottom Line

This is a premier development site in Logan's Low Density Residential (Suburban) zone. Boasting a massive 1,497 sqm area with completely clean internal infrastructure (pipes are at the street), this property offers buyers two highly profitable, code-assessable development pathways. Option one is a proven 1-into-3 lot subdivision, directly mirroring the successful approvals already secured at neighbouring #13 and #35 First Ave. Option two is a boutique townhouse development (Multiple Dwellings), supported under the precinct's density rules for up to 3.74 equivalent dwellings (allowing for up to three large 3-bedroom, or five 2-bedroom townhouses). Free from flooding and biodiversity overlays, the only minor requirement to unlock this site is an acoustic report to satisfy the transport noise overlay.

Recommended Next Step

Get independent advice from a qualified town planner experienced with Logan planning schemes.

Development/ Building Potential

This report offers essential property information and highlights the key factors to consider when purchasing, developing, constructing, or renovating a property.

PRECINCT

Suburban

LOT SIZE

1,497 m²

COUNCIL

Logan

DATE OF REPORT

27/03/2026

*This table and note are prepared specifically for **25 First Avenue, Marsden, Qld 4132** based on its actual lot size, overlays and zoning. It is not general advice - All development potentials are governed by site cover, height, setbacks and carpark combined with zoning and overlays.*

Option	Status	Potential (current rules)	Note
Secondary Dwelling (Granny Flat)		Allowed up to 100m ² GFA	While normally straightforward, the presence of the Transport Noise Corridor overlay triggers a Code Assessable DA, meaning Council approval and an acoustic report are required.
Dual Occupancy (Duplex)		Possible because lot size is over 700m ²	Achievable on a lot this size (DA required), but given the depth of the block (~75m), a 1-into-3 subdivision is considered the higher and better use.
Townhouse (Multiple Dwelling)		Possibly 3 large units of 3br or 5 units of 2br	In the Suburban precinct, townhouses are Code Assessable provided net density does not exceed 25 equivalent dwellings per hectare. On this 1,497 sqm site, the maximum yield is ~3.74 equivalent dwellings (e.g., three 3-bedroom townhouses, or five 2-bedroom townhouses). The Transport Noise Corridor overlay triggers a DA and requires an acoustic report.
Low-High Rise Units		Not Supported	Units are not supported in the Low Density Residential zone.
Subdivision		Possible for 3 lots	Highly feasible and the ultimate highest use. With a ~17m frontage and ~75m depth, this site mimics the successful 1-into-3 battle-axe subdivisions already approved at #13 and #35 First Ave. DA required.

 Straightforward option – no development application required with Council

 Possible but requires a development application to Council

 Not supported or not practical under current rules

Key Concerns

*The Key Concerns below are specific to **25 First Avenue, Marsden, Qld 4132** based on its actual lot size, overlays and zoning. This is not general advice.*

1. Noise Overlay (Transport Noise Corridor)

- The property is affected by road noise from the nearby State-controlled road.
- Triggers a code-assessable development application for all options (Secondary Dwelling, Duplex, Townhouses, Apartments or Subdivision).
- Requires an acoustic engineering report and higher construction standards (walls, windows, ventilation).
- Practical impact: This adds design and approval steps, but does not prevent development. It is a known, manageable requirement for experienced Logan professionals.

Information Buyers in Similar Situations Often Review

- Acoustic report by a qualified engineer
- Early advice from a Logan-experienced town planner

Overall Rating

*Custom assessment for this property The Development and Feasibility Ratings above are prepared specifically for **25 First Avenue, Marsden, Qld 4132** based on its actual lot size, overlays and zoning. These ratings are high-level only and not general advice.*

Development Rating A

- A = Excellent – Multiple straightforward pathways with minimal planning barriers
- B = Good – Solid range of realistic options with minor constraints
- C = Moderate – Limited options or significant design adjustments required
- D = Limited – Very few viable pathways

Feasibility Rating A

- A = Excellent – Minimal additional cost expected
- B = Good – Manageable extra costs
- C = Challenging – Notable extra costs and engineering required
- D = Difficult – High cost or high risk

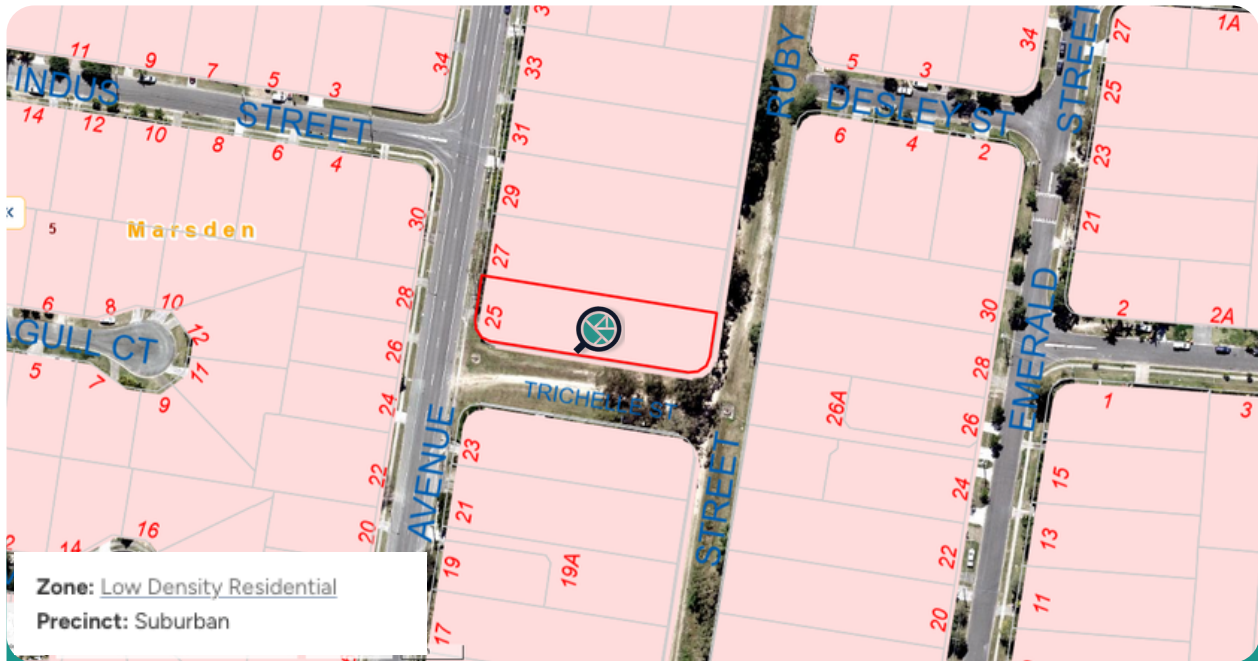
Bottom Line

This is a premier development site in Logan's Low Density Residential (Suburban) zone. Boasting a massive 1,497 sqm area with completely clean internal infrastructure (pipes are at the street), this property offers buyers two highly profitable, code-assessable development pathways. Option one is a proven 1-into-3 lot subdivision, directly mirroring the successful approvals already secured at neighbouring #13 and #35 First Ave. Option two is a boutique townhouse development (Multiple Dwellings), supported under the precinct's density rules for up to 3.74 equivalent dwellings (allowing for up to three large 3-bedroom, or five 2-bedroom townhouses). Free from flooding and biodiversity overlays, the only minor requirement to unlock this site is an acoustic report to satisfy the transport noise overlay.

TECHNICAL DETAILS

Technical details outline detailed overlays and constraints

Zoning Low-Medium Residential



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 Selected property

- **Low Density Residential Zone (Suburban Precinct)**

Note: Zoning determines which types of development are supported (such as dwelling houses, secondary dwellings, dual occupancy or multiple dwellings), the maximum building height, site coverage and density. The zone also defines whether a development pathway is accepted development (no Council approval needed), code-assessable (requiring a development application assessed against the planning scheme codes) or impact-assessable (requiring public notification and broader assessment).

Overlays, lot size, frontage and other site-specific constraints can change the assessment category – what is normally accepted development may become code-assessable where overlays apply. Always confirm the current assessment pathway with a qualified town planner before proceeding.

TECHNICAL DETAILS

Technical details outline detailed overlays and constraints

Slope Slight Slope



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 Selected property

Note: Slopes can influence site access, drainage patterns, earthworks requirements, and overall design flexibility. Depending on the degree and direction of the slope, these factors may lead to increased complexity in achieving compliant and cost-effective outcomes. Disclaimer: The below table is general guidance only and is not site-specific engineering advice. Always obtain a registered surveyor’s detailed survey and advice from a qualified engineer before proceeding.

Slope Category	Gradient (%)	Typical Fall on Suburban Lot	General Implications for Building
Very Gentle	0 – 5%	Under 2 m	Standard construction. Usually no extra work needed.
Slight	5 – 10%	2 – 3.5 m	Minor earthwork or design changes may be needed. Usually straightforward.
Moderate	10 – 15%	3.5 – 5.5 m	Earthwork, stepped slabs or extra piers are often required.
Steep	15 – 25%	5.5 – 9 m	Heavy earthwork, split-level design or pole footings are commonly needed.
Very Steep	Over 25%	Over 9 m	Significant earthworks, retaining walls and detailed engineering are usually required.

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Easements

No Easement



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 Selected property

- **No Easement**

Common Types of Easement:

- **Public Utility Easements:** The most common type, granted to authorities (e.g., local Councils, Energex, or Unitywater) for infrastructure like sewerage, drainage, electricity, or water supply.
- **Right of Way / Access:** Allows a neighbor to cross your property to reach their own, often used for shared driveways or landlocked "battle-axe" lots.
- **Statutory Easements:** Automatically created in community titles schemes (like apartments or townhouses) for things like common walls, utility services, and building maintenance access.
- **Support, Light, and Air:** Protects shared structures (party walls) or prevents a neighbor from blocking sunlight or ventilation in high-density areas.

TECHNICAL DETAILS

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Noise Overlay

Noise Overlay Present



 Selected property

- **Affected by the noise overlay from the Local government Road**

Properties with this overlay typically consider

Noise overlays require higher acoustic standards for walls, windows and ventilation to protect internal living areas from external sources such as roads, rail or airports.

This influences building orientation, material choices and habitable room placement, and may require acoustic engineering certification as part of any development approval.

TECHNICAL DETAILS

Technical details outline detailed overlays and constraints

Flood Risk No Flood Risk



 Selected property

Properties with this overlay typically consider

- **Floor Level Requirements:** For any new house or extension in a Flood Hazard area, habitable floor levels (bedrooms, living rooms) must be built at or above the flood planning level.
- **Construction Standards:** You may be required to use flood-resilient materials and provide a Structural Engineering Design Report to prove the building can withstand flood forces, velocity and scour. Non-habitable areas below the flood planning level must use high water-resistance materials.
- **No Adverse Impact:** You must prove that your development (including any filling of the land) does not redirect water onto neighbouring properties or increase flood levels elsewhere.
- **Triggered Applications:** Even if a house is usually “accepted development,” the presence of this overlay often triggers a Material Change of Use or Operational Works application to Council. Additional costs for elevated construction, engineering certification and flood-resilient detailing are generally incurred.

TECHNICAL DETAILS

Technical details outline detailed overlays and constraints

Biodiversity Overlays

No Biodiversity Overlays



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 Selected property

- **No Biodiversity Overlays**

Properties with this overlay typically consider

- **Vegetation Clearing Restrictions:** Any proposed clearing of mapped vegetation (including Locally Significant Vegetation or Biodiversity Corridors) generally triggers a Development Application. Buyers must formally demonstrate that clearing has been avoided or minimised, and any unavoidable clearing may incur significant financial offsets or require strict environmental management plans.
- **Ecological Assessment Reports:** Council will typically require a formal Ecological Assessment or Vegetation Management Plan, prepared by a suitably qualified Ecologist, to be submitted with any DA. This report identifies the significance of the habitat on site (such as koala habitat) and details the required mitigation strategies.
- **Restricted Building Envelopes:** To protect mapped ecological features, Council dictates that all new buildings, driveways, and infrastructure must be clustered into the least environmentally sensitive areas of the block. This can significantly reduce the usable development area, dictate house designs, and restrict subdivision layouts.

TECHNICAL DETAILS

Technical details outline detailed overlays and constraints

Acid Sulfate Soils

No Acid Sulfate Soils



 Selected property

- **No Acid Sulfate Soils**

Properties with this overlay typically consider

- **Investigation Requirements:** Any proposed excavation or filling on land mapped as Acid Sulfate Soils usually requires an Acid Sulfate Soils Investigation Report prepared by a qualified geotechnical or environmental consultant.
- **Management Plan:** If potential acid sulfate soils are confirmed, a Management Plan must be prepared showing how acid generation will be prevented or treated (typically through lime mixing, neutralisation or controlled drainage).
- **Construction Standards:** Special foundation treatments and corrosion-resistant concrete are often required to protect footings, slabs and services from acidic conditions.
- **Triggered Applications:** Even small-scale works can trigger a development application or Operational Works approval when acid sulfate soils are present on the site.

TECHNICAL DETAILS

Technical details outline detailed overlays and constraints

Bushfire **No Bushfire Risk**



 Selected property

- **No Bushfire risk**

Properties with this overlay typically consider

- **Triggers Development Applications:** If your property falls within this overlay, you may be required to lodge a development application for certain works that would otherwise be exempt, such as building a new house, extensions, or sub-dividing land.
- **Construction Standards:** It designates land as a "bushfire prone area" under the National Construction Code (NCC), which forces compliance with Australian Standard AS3959-2018 (Construction of buildings in bushfire-prone areas)

TECHNICAL DETAILS

Technical details outline detailed overlays and constraints

Character/ Heritage

No Character/ Heritage



 Selected property

- **No character/ heritage overlay**

Properties with this overlay typically consider

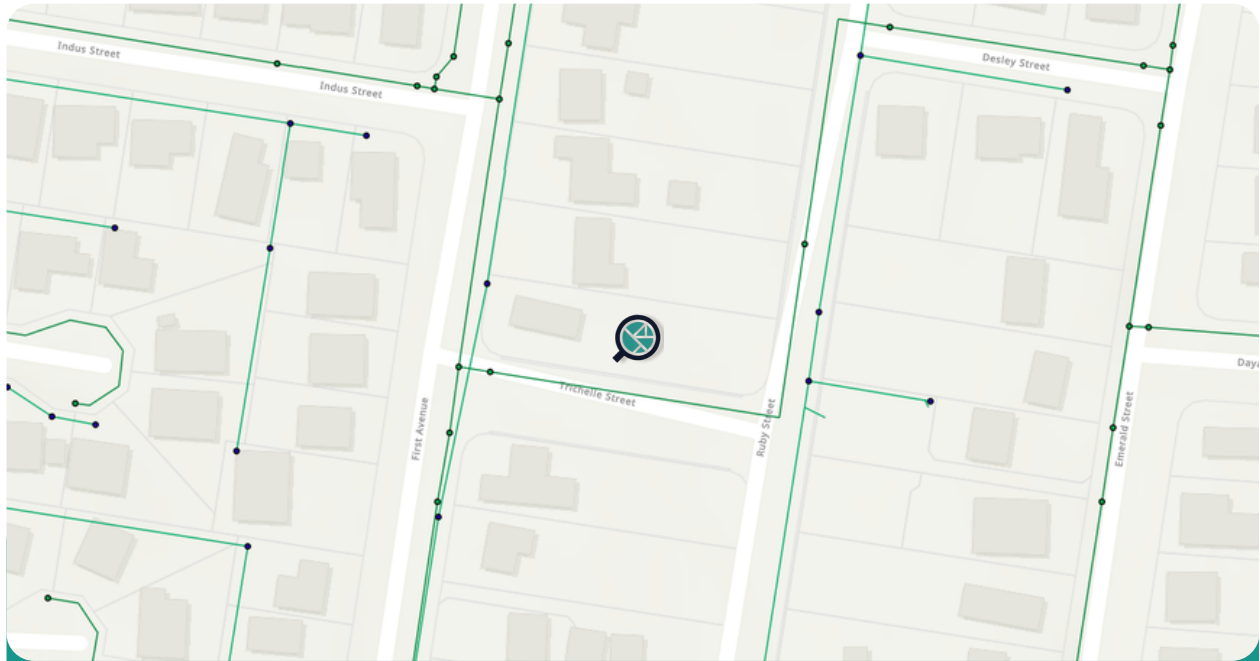
Properties in a character or heritage overlay are subject to strict controls on exterior alterations, extensions, new outbuildings and demolition to preserve the traditional streetscape and building form.

Most works, including granny flats, carports or renovations, require a development application and must comply with specific design standards for materials, roof pitch and visual contribution to the area.

TECHNICAL DETAILS

Technical details outline detailed overlays and constraints

Clean Water & Sewer Connection



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 Selected property

- **Standard Clean Water (dark green) connection**
- **Sewer pipe (light green) runs in front of the property**
- **The site is clear of pipes**

Note: Clean water is supplied through council mains, normally available at the property boundary for immediate connection.

Sewer infrastructure may be absent (requiring on-site treatment) or present as pipes that restrict building locations.

Any sewer line on site limits where structures, driveways or subdivision can occur and usually requires special approval to build near or over.

Technical details outline detailed overlays and constraints

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SVP
EXISTING

 Selected property

- **Detailed stormwater pipes (as-constructed) – Kerb drainage.**
- **The site natural slope support the current point of connection for stormwater/ drainage.**

Note: Stormwater is handled by natural surface flow or council pipes that collect water from multiple properties.

Overland flow paths or mains create protected corridors that cannot be obstructed by buildings or fill.

This directly affects site grading, drainage design and the location of any new structures or subdivision works.

TECHNICAL DETAILS

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Electrical



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 Selected property

- **Standard Electrical Connection**

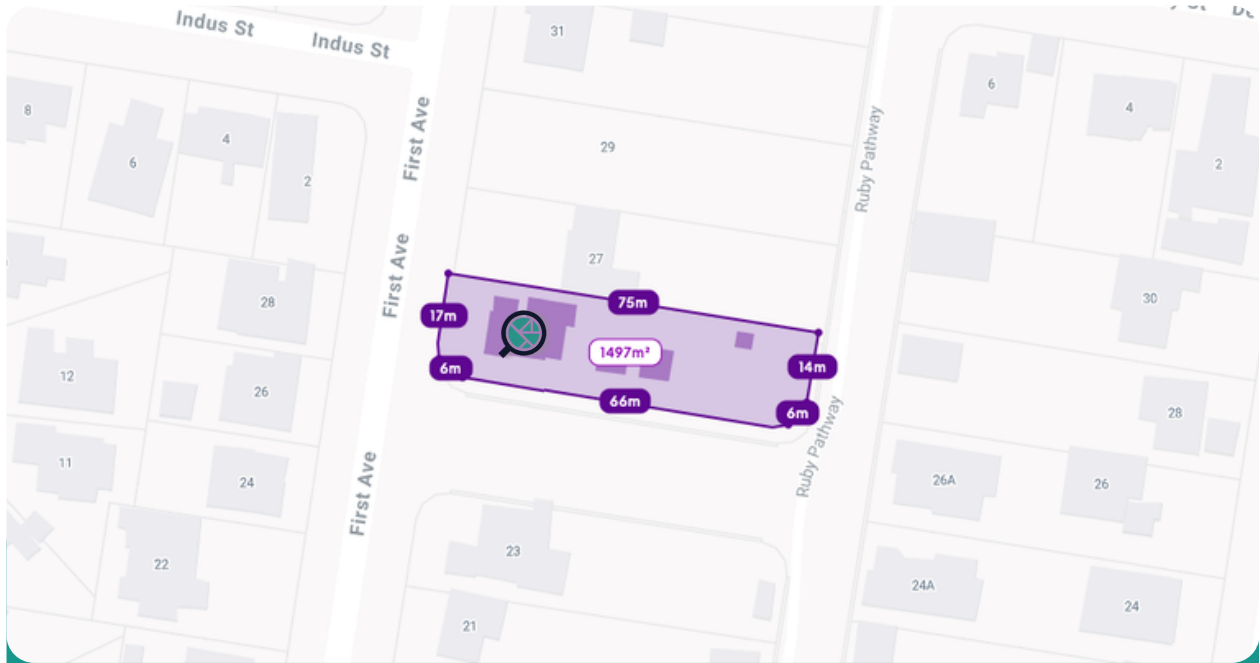
Note: Electrical supply runs via overhead or underground lines, typically connected at the street frontage. Lines crossing the property form restricted zones where construction is limited.

The type and location of electrical infrastructure influences building placement, driveway layout and any future subdivision potential.

TECHNICAL DETAILS

Technical details outline detailed overlays and constraints

Boundary



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 Selected property

- ~17m frontage (First Ave)
- ~75m long

Note: These dimensions establish the precise building envelope after applying zoning setbacks, site coverage ratios, open space requirements and car parking standards.

Regular rectangular lots with good street frontage typically offer maximum flexibility for secondary dwellings, townhouses or subdivision into multiple allotments.

Narrow frontages, irregular shapes or battle-axe configurations can substantially reduce usable development area, restrict driveway and structure placement, and increase the likelihood of needing a development application for variations.

PREVIOUS DEVELOPMENT APPLICATION SUBMISSION

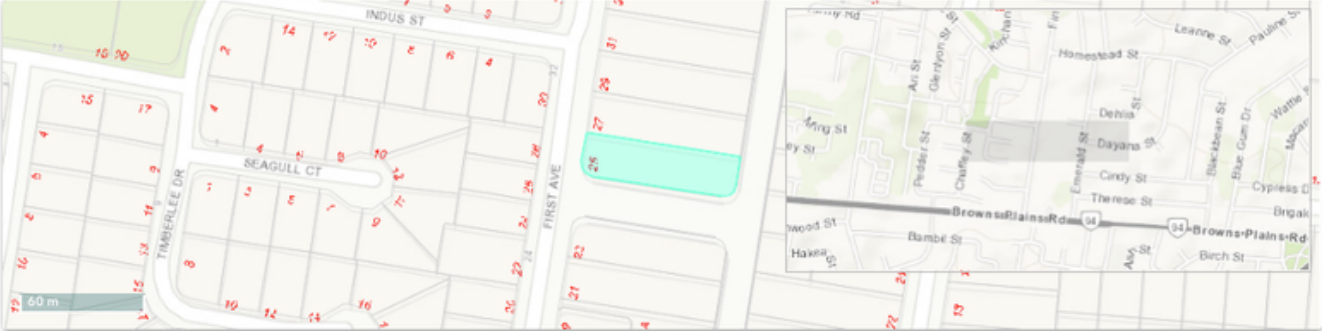
No recent development application

Property Details

Lot Plan	Lot 40 RP 125855
Property Key	207588
Address	25 First Avenue MARSDEN 4132
Division	05
Status	Current

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Linked applications

Link	Application no	Description	Status
	BW/27216/2001	DOMESTIC - GARAGE	Active
	BW/71116/2001	BA Only BS04399 DWELLING	Historicised

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Source: Logan Council – Verified March 2026*

- No recent development applications
- The only record available is from 2001
- Number 13 First Ave got DA Approval for one into three subdivision in 2018
- Number 35 First Ave got DA Approval for one into three subdivision in 2018

Your Next 90-Day Action Plan

This plan is provided only as a helpful general guide if you wish to explore your options further. There is no pressure and no obligation.

Common next steps — if you choose to proceed



Optional Recommended Partners

We've hand-selected an experienced town planner who specialises in **Logan Council** developments. They're familiar with the local planning scheme and assessment processes. You are under no obligation to contact them — you are welcome to engage any qualified professional you choose.

Brian Matthew Private Town Planner



Brian – Director

Phone: 1300 616 200

Email: brian@privatetownplanner.com.au

25+ years delivering residential development approvals across SEQ. Specialist in duplexes, townhouses, and subdivisions — from feasibility through to DA approval.

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